

CITY OF CHILLIWACK
Regular Meeting of Council

Tuesday, June 18, 2024, 2:00 pm

8550 Young Road,
Chilliwack, BC V2P 8A4

1. Call to Order

The City of Chilliwack acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

2. Delegations/Hearings

2.1 Delegation - Chilliwack Search and Rescue

Recommendation

Jeremy Plesman, Manager, Chilliwack Search and Rescue, is in attendance to provide Council with an update on the building project progress.

3. Adoption of Minutes

Recommendation

That the Minutes of the Regular Meeting of Council held June 4, 2024, be adopted as circulated.

4. Business Arising

5. Consent Agenda

Recommendation

That the following bylaws be adopted:

“Zoning Bylaw Amendment Bylaw 2024, No. 5377”;
“Transit-Oriented Area Bylaw 2024, No. 5394”; and,
“Zoning Bylaw Amendment Bylaw 2024, No. 5395”.

6. Quarterly Reports

7. Departmental Reports

7.1 Communications - Updates to Flag Guidelines

Recommendation

That Policy Directive No. J-10 "Flag Guidelines" be approved, as amended.

7.2 Engineering - Closure of a Portion of Gore Avenue

Recommendation

That "Highway Closure and Removal of Dedication Bylaw 2024, No. 5387" be given first and second reading.

Recommendation

That "Highway Closure and Removal of Dedication Bylaw 2024, No. 5387" be given third reading.

7.3 Engineering - Closure of a Portion of Lane Connecting Princess Avenue to Gore Avenue

Recommendation

That "Highway Closure and Removal of Dedication Bylaw 2024, No. 5388" be given first and second reading.

Recommendation

That "Highway Closure and Removal of Dedication Bylaw 2024, No. 5388" be given third reading.

7.4 Engineering - Transit 2024/2025

Recommendation

That Council approve the "2024/2025 Annual Operating Agreement" for a one-year term, from April 1, 2024 to March 31, 2025, between the City of Chilliwack and British Columbia Transit for the provision of conventional and custom transit services; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

7.5 Engineering - Traffic Signal and Street Light Maintenance Contract Extension

Recommendation

That Council approve the one-year extension, from March 15, 2024 to March 15, 2025, for the Traffic Signal and Street Light Maintenance Contract with Crown Contracting Ltd. under the existing terms and conditions; plus, a five percent increase on labour unit rates and an additional line item for conflict monitor testing.

7.6 Operations - Tender No. 2024-05 Mill and Pave Program Tender Award

Recommendation

That Council award the tender for the "2024 Mill and Pave Program" to Loewen Paving Ltd. in the amount of \$269,355.78; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

7.7 Finance - Annual Municipal Report

Recommendation

That Council receive the "2023 Annual Municipal Report" for information.

7.8 Finance - Schedule of Council Remuneration and Expenses

Recommendation

That Council receive the "2023 Schedule of Remuneration and Expenses for Elected Officials" for information.

7.9 Legislative Services - Chilliwack Economic Partners Corporation

Recommendation

That Council hold an Annual General Meeting of Chilliwack Economic Partners Corporation; approve the resolution appended to the staff report dated June 10, 2024; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

7.10 Legislative Services - Tourism Chilliwack Inc.

Recommendation

That Council hold an Annual General Meeting of Tourism Chilliwack Inc.; approve the resolution appended to the staff report dated June 10, 2024; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

7.11 Planning - RZ001708 - 46068 and 46074 Fourth Avenue and 9011 and 9023 Nowell Street

Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2024, No. 5396" which proposes to amend the Official Community Plan designation with respect to properties located at 46068 and 46074 Fourth Avenue and 9011 and 9023 Nowell Street, from "Residential 1 - Downtown Single Family" to "Urban Quarter" as per the Downtown Land Use and Development Plan, be denied.

Recommendation

That "Zoning Bylaw Amendment Bylaw 2024, No. 5397", which proposes to rezone properties located at 46068 and 46074 Fourth Avenue and 9011 and 9023 Nowell Street, from an R1-A (Urban Residential) Zone to a C9 (Mid Rise Apartment Commercial) Zone, be denied.

7.12 Planning - RZ001755 - 10665 Young Road

Recommendation

That "Zoning Bylaw Amendment Bylaw 2024, No. 5400", which proposes to amend the text of the RS-FHA (Flood Hazard Area) Zone to facilitate the construction of a single detached dwelling, be given first and second reading.

Recommendation

That "Zoning Bylaw Amendment Bylaw 2024, No. 5400", which proposes to amend the text of the RS-FHA (Flood Hazard Area) Zone to facilitate the construction of a single detached dwelling, be given third reading.

- 7.13 Planning - RZ001393 - 46001 Gore Avenue, 46002 and 46010 Princess Avenue, and 9232 and 9240 Young Road

Recommendation

That "Zoning Bylaw Amendment Bylaw 2024, No. 5401", which proposes to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from an R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone, be given first and second reading.

Recommendation

That "Zoning Bylaw Amendment Bylaw 2024, No. 5401", which proposes to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from an R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone, be given third reading.

- 7.14 DARES - 43701 Industrial Way - Floodplain Site Specific Exemption

Recommendation

That Council grant a site-specific exemption under the Floodplain Regulation Bylaw for the proposed megadome open-air structure at 43701 Industrial Way to be situated at an elevation of 9.20 m, subject to the conditions specified in the staff report dated June 11, 2024.

- 7.15 DARES - 10665 Young Road - Floodplain Site Specific Exemption

Recommendation

That Council grant a site-specific exemption under the Floodplain Regulation Bylaw for the proposed single-family dwelling at 10665 Young Road, subject to the conditions specified in the staff report dated June 11, 2024.

8. Mayor and Councillors' Reports

9. Motion to Adjourn to a Closed Session

10. Meeting Reconvened

The City of Chilliwack acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

11. Delegations/Hearings

11.1 Delegations

11.2 Section 57 Hearing / Section 74 Hearing / Unsightly Premises Hearing

11.3 Public Hearing

11.4 Public Information Meeting

12. **Clerk's Reports**

13. **Application Reports**

14. **Items Deferred**

15. **Other Business**

15.1 Decisions Referred from Closed Session

15.2 Additional Items

16. **Public Questions**

17. **Adjournment**

AGENDA ITEM NO: 2.1

MEETING DATE: June 18, 2024

STAFF REPORT - COVER SHEET

SUBJECT: Delegation – Chilliwack Search and Rescue Date: June 11, 2024

DEPARTMENT: Clerk's Prepared by: Jacqueline Morgan

1. SUMMARY OF ISSUE:

Jeremy Plesman, Manager, Chilliwack Search and Rescue, is in attendance to provide Council with an update on the building project progress.

2. RECOMMENDATION:

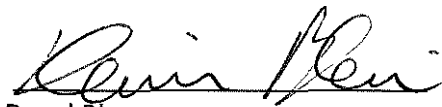
That the delegation of Jeremy Plesman, Manager, Chilliwack Search and Rescue, be received.



Jacqueline Morgan, CMC
Manager of Legislative Services/
Corporate Officer

**3. CHIEF ADMINISTRATIVE OFFICER'S
RECOMMENDATION/COMMENTS:**

Supports recommendation.



David Blain,
Chief Administrative Officer

AGENDA ITEM NO: 3.

MEETING DATE: June 18, 2024

STAFF REPORT - COVER SHEET

SUBJECT: Adoption of Minutes Date: June 10, 2024

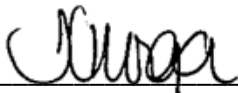
DEPARTMENT: Clerk's Prepared by: Jacqueline Morgan

1. SUMMARY OF ISSUE:

Minutes of the Regular Meeting of Council held June 4, 2024, for adoption.

2. RECOMMENDATION:

That the Minutes of the Regular Meeting of Council held June 4, 2024, be adopted as circulated.



Jacqueline Morgan, CMC
Manager of Legislative Services/
Corporate Officer

City of Chilliwack
Regular Meeting Minutes

June 4, 2024, 2:00 pm
8550 Young Road
Chilliwack, BC V2P 8A4

Present: All members of Council, with the exception of Councillor Kloot

Staff Present: D. Blain, Chief Administrative Officer
J. Morgan, Manager of Legislative Services/Corporate Officer
J. Hahn, Deputy Chief Administrative Officer/Director of Human Resources
J. Leggatt, Director of Communications and Legislative Services
G. Villeneuve, Director of Planning
C. Wilson, Assistant Fire Chief
K. Stanton, Director of Public Safety and Social Development
G. White, Director of Development and Regulatory Enforcement Services
E. Leidekker, Director of Information Technology
J. Koczur, Director of Public Works and Parks
G. Schipper, Deputy Director of Development and Regulatory Enforcement Services
S. Hamilton, Director of Utility Operations
K. Jefford, Director of Engineering
C. Marleau, Manager of Recreation Services and Corporate Wellness
R. Koole, Manager of Long Range Planning
E. Leary, Manager of Development Planning
C. Weston, Manager of Bylaw Enforcement
M. Winn, Manager of Accounting Services
D. Mossey, Manager of Transportation and Drainage
C. Nwaoha, Manager of Utilities
L. Knutson, Property Manager
J. Stevens, Assistant Superintendent of Recreation Facilities
C. Carruthers, Deputy Director of Information Technology
G. Palaniuk, Manager of IT Business Solutions
R. Ratzlaff, Business Application Support Specialist
C. Wilkinson, Deputy Corporate Officer/Recording Secretary

Call to Order

The City of Chilliwack acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

Mayor Popove was Chair and called the meeting to order at 2:00 pm.

Adoption of Minutes

Moved / Westeringh

Seconded / Lum

That the Minutes of the Regular Meeting of Council held May 21, 2024, be adopted as circulated.

Carried unanimously

Consent Agenda

Moved / Read

Seconded / Shields

That the Minutes of the following Committee meetings be received for information:

Public Safety Advisory Committee, held March 20, 2024;

Public Safety Advisory Committee, held April 17, 2024;

Agricultural and Rural Advisory Committee, held May 8, 2024;

Chilliwack Parks and Trails Advisory Committee, held May 14, 2024; and,

Public Art Advisory Committee, held May 17, 2024.

Carried unanimously

Departmental Reports

Recreation and Culture - Downtown Chilliwack Business Improvement Association Village Classic 2024 Car Show

Moved / Read

Seconded / Westeringh

That Council approve the request from the Downtown Chilliwack Business Improvement Association for funding under the Community Development Initiatives Funding Policy, in the amount of \$3,200.00, for the "2024 Village Classic Car Show".

Carried unanimously

Planning - Small-Scale, Multi-Unit Housing Zoning Regulations

The Director of Planning and the Manger of Long Range Planning provided Council with a presentation on “Small Scale, Multi-Unit Housing Regulations”.

Moved / Westeringh

Seconded / Read

That "Zoning Bylaw Amendment Bylaw 2024, No. 5395", which proposes to complete text amendments related to establishing small-scale, multi-unit housing regulations, be given first and second reading.

Carried unanimously

Moved / Westeringh

Seconded / Lum

That "Zoning Bylaw Amendment Bylaw 2024, No. 5395", which proposes to complete text amendments related to establishing small-scale, multi-unit housing regulations, be given third reading.

Carried unanimously

Planning - Transit-Oriented Area Bylaw Creation

Moved / Mercer

Seconded / Lum

That “Transit-Oriented Area Bylaw 2024, No. 5394”, be given first and second reading.

Carried unanimously

Moved / Lum

Seconded / Westeringh

That “Transit-Oriented Area Bylaw 2024, No. 5394”, be given third reading.

Carried unanimously

Planning - RZ001708 - 46068 and 46074 Fourth Avenue and 9011 and 9023 Nowell Street

Moved / Shields

Seconded / Read

That Council direct staff to not pre-consult with First Nations or other provincial and federal agencies with respect to the subject application, which proposes to amend the 2040 Official

Community Plan designation of properties located at 46068 and 46074 Fourth Avenue, and 9011 and 9023 Nowell Street, from "Residential 1 - Downtown Single Family" to "Urban Quarter", as per the Downtown Land Use and Development Plan.

Carried unanimously

Planning - DP001274 - 8460 Young Road

Moved / Shields

Seconded / Read

That Council approve the issuance of Development Permit DP001274 with respect to property located at 8460 Young Road, subject to the recommendations of the Design Review Advisory Committee and the conditions as set out within the draft Development Permit.

Carried unanimously

Planning - DP001683 - 45873 Trethewey Avenue

Moved / Westeringh

Seconded / Lum

That Council approve the issuance of Development Permit DP001683 with respect to property located at 45873 Trethewey Avenue, subject to the recommendations of the Design Review Advisory Committee and the conditions as stipulated within the draft Development Permit.

Carried unanimously

Planning - DP001775 - 43701 Industrial Way

Moved / Westeringh

Seconded / Read

That Council approve the issuance of Development Permit DP001775 with respect to property located at 43701 Industrial Way, subject to the recommendations of the Design Review Advisory Committee and the conditions as stipulated within the draft Development Permit.

Main motion, carried unanimously

Moved / Lum

Seconded / Read

That the motion be amended by adding the following words:

“and further, that the Development Permit be amended by deleting bullet 3 in its entirety and substituting with a new bullet 3 as follows:

- That an irrigation system be included into the landscaped areas 1 and 2 within the site.

Against (3): Mercer, Shields, and Westeringh

Amendment motion defeated (3 to 3)

Planning - TUP00175 (Renewal) - 7123 Maitland Avenue

Moved / Lum

Seconded / Read

That Council approve the renewal of Temporary Use Permit TUP00175 with respect to property located at 7123 Maitland Avenue, subject to the recommendations as stipulated within the draft Temporary Use Permit.

Carried unanimously

Planning - Official Community Plan Review RFP Award

Moved / Westeringh

Seconded / Mercer

That Council accept the proposal for "Chilliwack 2050 - Official Community Plan Review", from Modus Planning, Design & Engagement Inc., in the amount of \$366,457.00; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

Carried unanimously

Moved / Westeringh

Seconded / Read

That the agenda be varied by bringing forward Agenda Item Number 15.2.1 with respect to "Public Art - This is Chilliwack - Street Banner".

Carried unanimously

Additional Item

Recreation and Culture - Public Art - "This is Chilliwack" Street Banner Selection

Moved / Westeringh

Seconded / Read

That Council accept the final rendering of the "This is Chilliwack" street banner, as designed by Maxine Wolodko, and recommended by the Chilliwack Public Art Advisory Committee, as contained within the staff report dated May 31, 2024.

Carried unanimously

Mayor and Councillors' Reports

The Mayor and Councillors' reports were received for information.

Motion to Adjourn to a Closed Session – Regular Meeting to Reconvene at 6:30 pm

Moved / Lum

Seconded / Read

That, in accordance with Section 90(1)(e), (i) and 92(2)(b) of the *Community Charter*, Council hold a Closed Meeting to discuss property matters; information which is subject to solicitor-client privilege; and, negotiations between a municipality and provincial government.

Carried unanimously

Meeting Reconvened

The City of Chilliwack Acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

The Regular Meeting adjourned at 3:10 pm and reconvened at 6:30 pm.

Present: All members of Council, with the exception of Councillor Klood.

Staff present: J. Hahn, Deputy Chief Administrative Officer

J. Morgan, Corporate Officer

G. Villeneuve, Director of Planning

R. Ratzlaff, Business Application Support Specialist

C. Wilkinson, Deputy Corporate Officer/Recording Secretary

Delegations/Hearings

Public Hearing

Temporary Use Permit TUP00228

Public Hearing on Temporary Use Permit TUP00228 with respect to property located at 44490 Keith Wilson Road, to permit the operation of a child care facility for up to 24 children, within

the CD-16 (Comprehensive Development-16) Zone. As the CD-16 Zone only permits in home multi-age child care as an Accessory Home Occupation for up to 8 children in care, a Temporary Use Permit is required.

There were no representations with respect to Temporary Use Permit TUP00228.

Moved / Westeringh

Seconded / Lum

That Temporary Use Permit TUP00228 be referred for Council's further consideration following the close of the Public Hearing.

Carried unanimously

Temporary Use Permit TUP00235

Public Hearing on Temporary Use Permit TUP00235 with respect to property located at 8600 Young Road, to permit the continued use of the subject property as a commercial off-street parking area within the CS2 (Tourist Commercial) Zone.

There were no representations with respect to Temporary Use Permit TUP00235.

Moved / Westeringh

Seconded / Read

That Temporary Use Permit TUP00235 be referred for Council's further consideration following the close of the Public Hearing.

Carried unanimously

Public Information Meeting

Development Variance Permit DVP01405

Public Information Meeting on Development Variance Permit DVP01405 with respect to property located at 43400 Alameda Drive, which proposes to vary the setback and parking space length within the RR (Rural Residential) Zone as follows:

- reduce the minimum front lot line setback from 7.5m to 3m;
- reduce the minimum interior side lot line setback from 3m to 2.3m; and,
- reduce the minimum off-street parking space length from 6m to 3m,

to facilitate an addition to the existing single detached dwelling.

Fred Wieler, Owner, 43400 Alameda Drive, advised Council that he had applied in 2019; however, the permit has expired. This is a reapplication of the same requested variances.

Moved / Shields

Seconded / Lum

That the representation with respect to Development Variance Permit DVP01405 be received for information; and further, that Development Variance Permit DVP01405 be referred for Council's further consideration following the close of the Public Information Meeting.

Carried unanimously

Development Variance Permit DVP01406

Public Information Meeting on Development Variance Permit DVP01406 with respect to property located at 7747 Orr Road, which proposes to reduce the rear and interior lot line setbacks within the AL (Agricultural Lowland) Zone, from 3m to 1.2m, to facilitate construction of a detached shop.

Jesse Rayner, Applicant, JCR Design Ltd., 45269 Keith Wilson Road, was available to answer any questions from Council; he addressed the rationale for the variances explaining that it allows the owner to utilize the larger backyard more efficiently.

Moved / Read

Seconded / Westeringh

That the representation with respect to Development Variance Permit DVP01406 be received for information; and further, that Development Variance Permit DVP01406 be referred for Council's further consideration following the close of the Public Information Meeting.

Carried unanimously

Development Variance Permit DVP01419

Public Information Meeting on Development Variance Permit DVP01419 with respect to property located at 10495 Bell Road, which proposes to reduce the minimum interior side lot line setback from 3m to 2m, to facilitate the conversion of an existing ancillary building into a coach house.

Barry Vandebeek, Owner, 10495 Bell Road, was available to answer any questions from Council.

Moved / Westeringh

Seconded / Read

That the representation with respect to Development Variance Permit DVP01419 be received for information; and further, that Development Variance Permit DVP01419 be referred for Council's further consideration following the close of the Public Information Meeting.

Carried unanimously

Development Variance Permit DVP01422

Public Information Meeting on Development Variance Permit DVP01422 with respect to property located at 45495 Campus Drove, which proposes to:

- reduce the minimum interior side lot line setback from 4.5m to 3.6m, to accommodate roof and balcony projections on the east side of Building D; and,
- reduce the minimum required separation distance from garbage, composting and recycling containers to a residential use from 6m to 5m,

to facilitate construction of an apartment development.

There were no representations with respect to Development Variance Permit DVP01422.

Moved / Westeringh

Seconded / Lum

That Development Variance Permit DVP01422 be referred for Council's further consideration following the close of the Public Information Meeting.

Carried unanimously

Application Reports

Temporary Use Permit TUP00228

Moved / Westeringh

Seconded / Shields

That Council approve the issuance of Temporary Use Permit TUP00228 with respect to property located at 44490 Keith Wilson Road, subject to the recommendations as stipulated within the draft Temporary Use Permit.

Carried unanimously

Temporary Use Permit TUP00235

Moved / Lum

Seconded / Read

That Council approve the issuance of Temporary Use Permit TUP00235 with respect to property located at 8600 Young Road, subject to the recommendations as stipulated within the draft Temporary Use Permit.

Carried unanimously

Development Variance Permit DVP01405

Moved / Shields

Seconded / Mercer

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01405 with respect to property located at 43400 Alameda Drive, subject to the recommendations as stipulated within the draft Development Variance Permit.

Carried unanimously

Development Variance Permit DVP01406

Moved / Westeringh

Seconded / Read

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01406 with respect to property located at 7747 Orr Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

Carried unanimously

Development Variance Permit DVP01419

Moved / Westeringh

Seconded / Mercer

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01419 with respect to property located at 10495 Bell Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

Carried unanimously

Development Variance Permit DVP01422 and Development Permit DP001760

Moved / Mercer

Seconded / Shields

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01422 with respect to property located at 45495 Campus Drive, subject to the recommendations as stipulated within the draft Development Variance Permit.

Carried unanimously

Moved / Read

Seconded / Mercer

That Council approve the issuance of Development Permit DP001760 with respect to property located at 45495 Campus Drive, subject to the recommendations of the Design Review Advisory Committee and the conditions as stipulated within the draft Development Permit.

Carried unanimously

Public Questions

Mayor Popove called for questions from the public. None were received.

Adjournment

Moved / Westeringh

Seconded / Lum

On a motion of Councillor Westeringh, and seconded by Councillor Lum, the meeting adjourned at 6:49 pm.

Carried unanimously

Mayor

Corporate Officer

AGENDA ITEM NO: 5.

MEETING DATE: June 18, 2024

STAFF REPORT - COVER SHEET

SUBJECT: Consent Agenda Date: June 12, 2024

DEPARTMENT: Clerk's Prepared by: Jacqueline Morgan

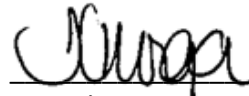
1. SUMMARY OF ISSUE:

Consent Agenda items for Council's consideration.

2. RECOMMENDATION:

That the following bylaws be adopted:

"Zoning Bylaw Amendment Bylaw 2024, No. 5377";
"Transit-Oriented Area Bylaw 2024, No. 5394"; and,
"Zoning Bylaw Amendment Bylaw 2024, No. 5395".



Jacqueline Morgan, CMC
Manager of Legislative Services/
Corporate Officer

City of Chilliwack

Bylaw No. 5377

A bylaw to amend the “Zoning Bylaw 2020, No. 5000”

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Zoning Bylaw Amendment Bylaw 2024, No. 5377”**.
2. “Zoning Bylaw 2020, No. 5000” is hereby amended by rezoning properties described as:
 3. PID: 009-362-029, Lot 3 Except: Part Subdivided By Plan 45952, District Lot 334 Group 2 New Westminster District Plan 9063 (9378 McNaught Road); and,
 4. PID: 011-366-613, Lot 4 District Lot 334 Group 2 New Westminster District Plan 9063 Except Part Subdivided By Plan 45952 (9396 McNaught Road);from an R1-A (Urban Residential) Zone to an R1-C (Urban Infill) Zone.

Received first and second reading on the 7th day of May, 2024.

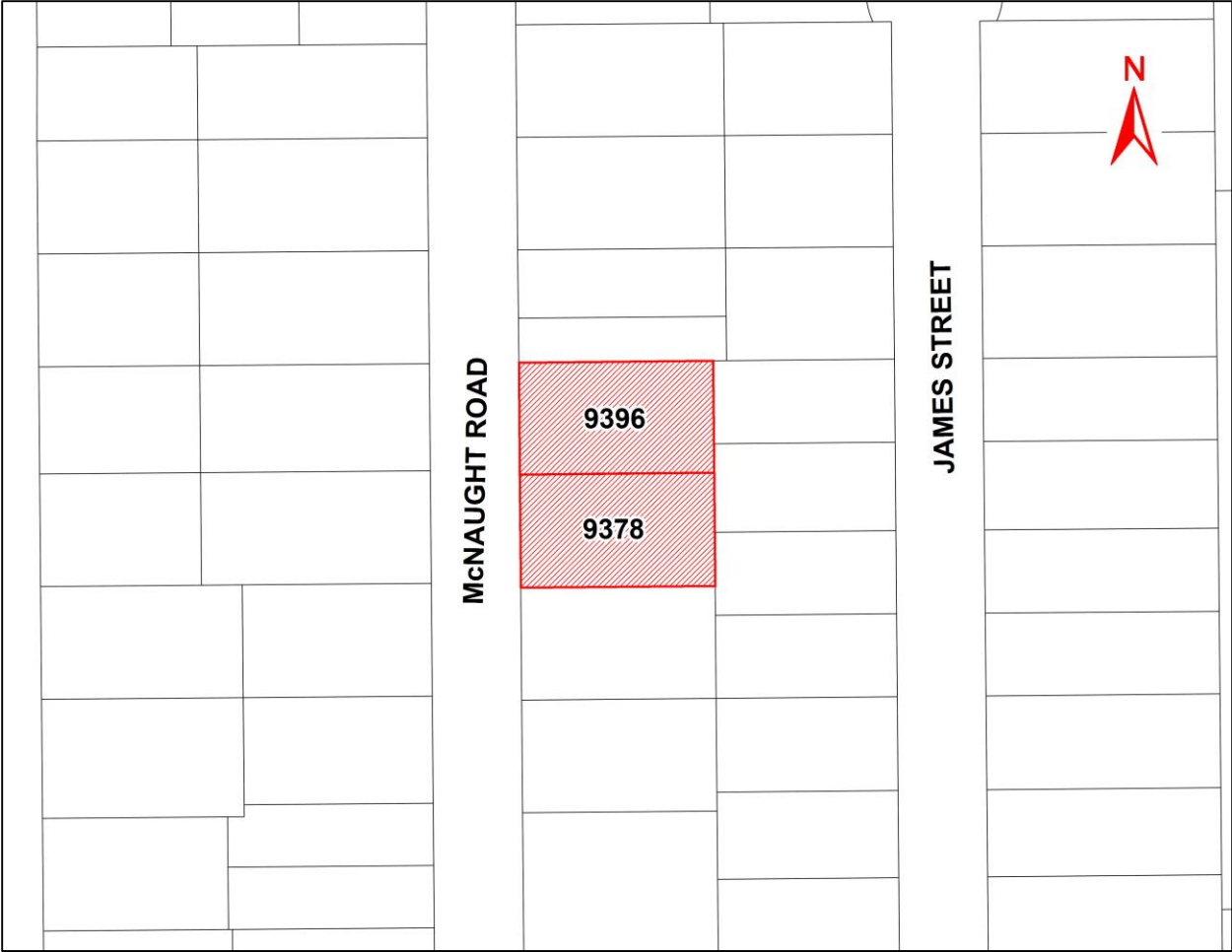
Received third reading on the 7th day of May, 2024.

Received adoption on the

Mayor

Corporate Officer

“Zoning Bylaw Amendment Bylaw 2024, No. 5377”



City of Chilliwack

Bylaw No. 5394

A bylaw to designate the Downtown Chilliwack Exchange as a Transit-Oriented Area and make regulations in relation thereto, pursuant to the provisions of the *Local Government Act*

The Council of the City of Chilliwack in open meeting assembled, enacts as follows:

1. This bylaw may be cited as “**Transit-Oriented Area Bylaw 2024, No. 5394**”.
2. The Council has considered the Transit-Oriented Area Provincial Policy Manual.
3. The provisions of this Bylaw shall apply to lots identified within the Transit-Oriented Area Map shown in Schedule “A”.

DEFINITIONS

4. “FLOOR AREA RATIO”, “LOT”, “OFF-STREET LOADING”, “OFF-STREET PARKING”, “RESIDENTIAL USE”, and “STOREY” have the same meaning as defined in “Zoning Bylaw 2020, No. 5000”, as amended.

PARKING

5. Minimum OFF-STREET PARKING space requirements for RESIDENTIAL USE in the Zoning Bylaw do not apply on LOTS identified in Area A or Area B within the Transit-Oriented Area Map shown in Schedule “A”.
 - (1) For clarity, the requirements pertaining to OFF-STREET LOADING, disabled persons parking, and bicycle parking in the Zoning Bylaw apply.
6. Where OFF-STREET PARKING spaces for RESIDENTIAL USE are provided on LOTS identified in Area A or Area B, within the Transit-Oriented Area Map shown in Schedule “A”, they must meet all other OFF-STREET PARKING requirements in the Zoning Bylaw.

Received first and second reading on the 4th day of June, 2024.

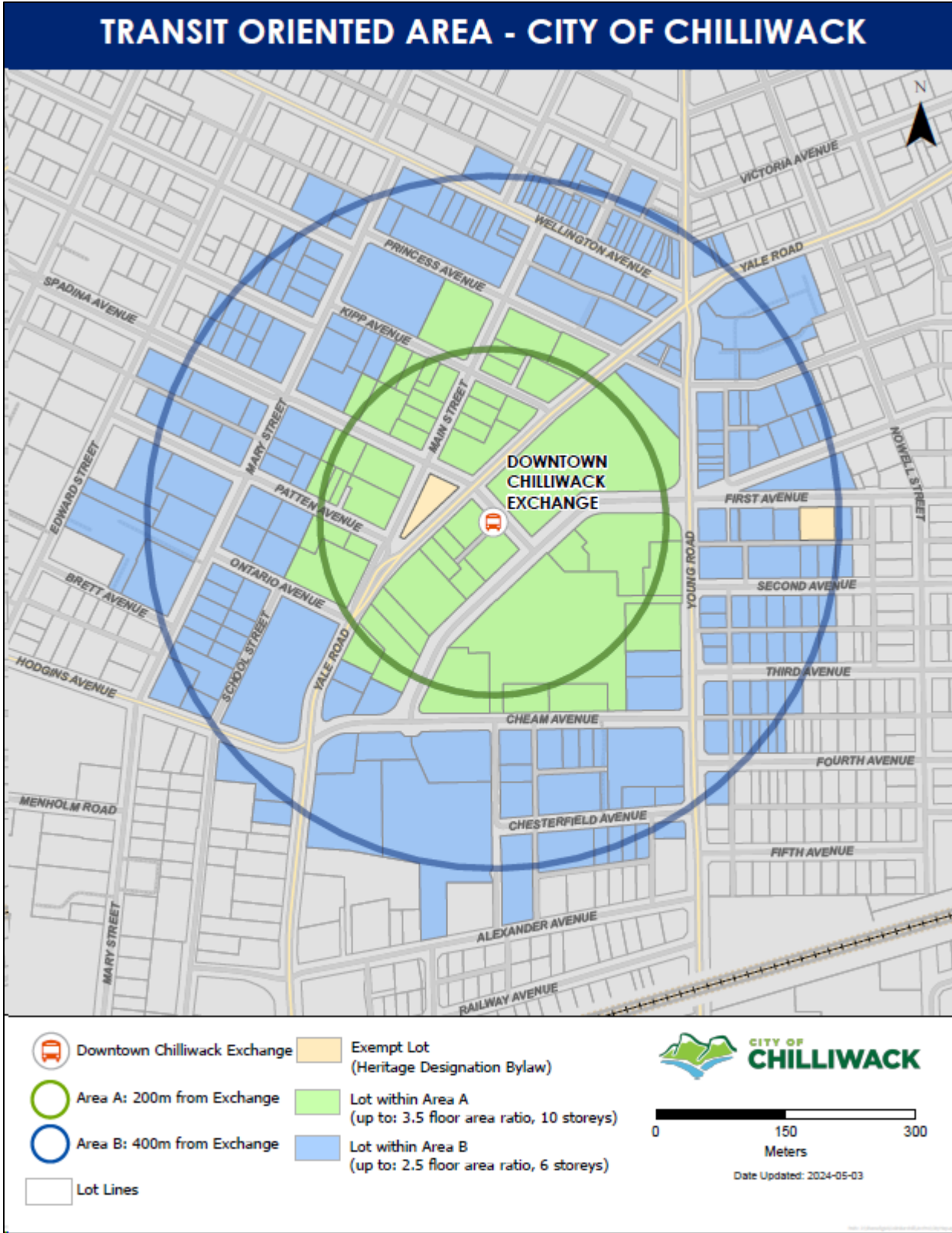
Received third reading on the 4th day of June, 2024.

Received adoption on the

.....
Mayor

.....
Corporate Officer

SCHEDULE "A" TRANSIT-ORIENTED AREA MAP



City of Chilliwack

Bylaw No. 5395

A bylaw to amend the “Zoning Bylaw 2020, No. 5000”

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Zoning Bylaw Amendment Bylaw 2024, No. 5395”**.
2. The Council has considered the Provincial Policy Manual and Site Standards for Small-Scale, Multi-Unit Housing.
3. “Zoning Bylaw 2020, No. 5000” is hereby amended in SECTION 4 – GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, by adding a new Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, as follows:

“(7) SMALL-SCALE, MULTI-UNIT HOUSING

- (a) 3 or 4 DWELLING UNITS are considered intensive residential and are permitted on LOTS that meet the following criteria:
 - (i) Within an AL, AR, AS, RR, R1-A, R1-B, R1-C, R3, M1-A ZONE, or in the SINGLE DETACHED DWELLING and DUPLEX areas of the following COMPREHENSIVE DEVELOPMENT ZONES:
 - (A) CD-9, CD-11, CD-14, CD-16, CD-19, or CD-21;
 - (ii) Within the urban growth boundary;
 - (iii) Connected to COMMUNITY WATER SYSTEM and COMMUNITY SANITARY SEWER SYSTEM;
 - (iv) Less than 4,050m² in area;
 - (v) Not protected by a Heritage Designation Bylaw as of December 7, 2023;
 - (vi) Not within a designated transit-oriented area; and,
 - (vii) Where an extension has not been granted by the Ministry.
- (b) The maximum number of DWELLING UNITS on a LOT is:
 - (i) 3 units on LOTS less than or equal to 280m² in area; or,
 - (ii) 4 units on LOTS greater than 280m² in area.
- (c) DWELLING UNITS are permitted in any combination of the following forms:
 - (i) ACCESSORY DWELLING UNIT in the form of SECONDARY SUITES, COACH HOUSES, or GARDEN SUITES;
 - (ii) SINGLE DETACHED DWELLING, which may contain 1 SECONDARY SUITE;

- (iii) DUPLEX, which may contain 1 SECONDARY SUITE per DUPLEX unit;
 - (iv) TOWNHOUSE, which may contain 1 SECONDARY SUITE per TOWNHOUSE unit; or,
 - (v) APARTMENT, including SMALL UNIT APARTMENT.
- (d) In each LOT'S ZONE, the sections titled 'LOT COVERAGE (MAXIMUM)', 'FLOOR AREA RATIO (MAXIMUM)', 'SETBACKS (MINIMUM)', 'SITING', and 'BUILDING HEIGHT (MAXIMUM)' sets out the regulations.
- (i) Where a LOT is in the AL, AR, AS, or RR ZONE, it shall meet the sections listed in (d) above in the R1-A ZONE.
 - (ii) Where a LOT'S ZONE does not contain regulations for a detached ACCESSORY DWELLING UNIT, it shall meet the sections listed in (d) above in the R1-A ZONE.
- (e) GENERAL REQUIREMENTS:
- (i) Where a LOT has LANE access, all vehicle access, including parking, must be from the LANE.
 - (ii) Where a LOT does not have LANE access, the maximum number of driveways permitted is 1, except on a LOT with 1 DUPLEX or 2 or more SINGLE DETACHED DWELLINGS that is greater than 20m in width.
 - (iii) A driveway may have a maximum width of 6m total paved area extending from the FRONT LOT LINE or EXTERIOR SIDE LOT LINE to the GARAGE on the LOT, except that on LOTS less than 12m in width the driveway is limited to a maximum width of 4m at the FRONT LOT LINE or EXTERIOR SIDE LOT LINE, but may taper up to a maximum width of 6m.
 - (iv) Notwithstanding other regulations of this BYLAW:
 - (A) More than 1 ACCESSORY DWELLING UNIT may be located on a LOT.
 - (B) 1 OFF-STREET PARKING SPACE is required for each ACCESSORY DWELLING UNIT, regardless of the number of bedrooms.
 - (C) An OFF-STREET LOADING SPACE is not required.
 - (D) Except for enclosed tandem parking configurations, all required OFF-STREET PARKING SPACES may be located in a GARAGE.
 - (E) 1 unenclosed OFF-STREET PARKING SPACE per LOT is required for visitor parking where 2 DUPLEXES are on a LOT."

4. Said Bylaw is hereby further amended in SECTION 8 – RESIDENTIAL ZONES, Subsection 8.01 R1-A (URBAN RESIDENTIAL) ZONE, Paragraph (5) LOT COVERAGE (MAXIMUM), by adding a new Subparagraph (h), as follows:

- “(h) Notwithstanding the above, the maximum LOT COVERAGE for a detached ACCESSORY DWELLING UNIT does not apply on a LOT where small-scale, multi-unit housing is permitted.”

- 5.** Said Bylaw is hereby further amended in SECTION 8 – RESIDENTIAL ZONES, Subsection 8.03 R1-C (URBAN INFILL) ZONE, Paragraph (9) BUILDING HEIGHT (MAXIMUM), Subparagraph (a), Column ‘Maximum Building Height’, by deleting the figure “8.5” and substituting with the figure “10”.

Received first and second reading on the 4th day of June, 2024.

Received third reading on the 4th day of June, 2024.

Received adoption on the

.....
Mayor

.....
Corporate Officer

AGENDA ITEM NO: 7.1

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Updates to Flag Guidelines DATE: June 11, 2024

DEPARTMENT: Communications & Legislative Services PREPARED BY: Liana Wiebe

1. SUMMARY OF ISSUE:

Staff recently became aware of a housekeeping issue with the City's Policy Directive No. J-10: Flag Guidelines. Appendix A of the City's Flag Guidelines identifies flagpole locations to which the policy applies. However, two locations listed, the Chillwack Museum and Archives, and the RCMP Community Policing Office, are managed by third parties who may have different protocols, and should therefore be removed from the list.

Recommended updates to the policy are attached.

2. RECOMMENDATION:

That Policy Directive No. J-10 "Flag Guidelines" be approved, as amended.



Jamie Leggatt, Director of Communications
and Legislative Services

**3. CHIEF ADMINISTRATIVE OFFICER'S
RECOMMENDATION/COMMENTS:**

Supports recommendation.



David Blain, CAO

**STAFF REPORT ON
UPDATES TO FLAG GUIDELINES**

PREPARED BY: Liana Wiebe DATE: June 11, 2024

POSITION: Communications Manager DEPARTMENT: Communications & Legislative Services

1. FACTORS:

- 1.1 Appendix A of Policy Directive No. J-10: Flag Guidelines outlines flagpole locations to which the policy is intended to apply.
- 1.2 The RCMP Community Policing Office is operated by the RCMP and hosts a courtesy flagpole in addition to flagpoles for the Canadian flag, British Columbia flag, and City of Chilliwack flag. The RCMP follows their own national policy and procedures for flags.
- 1.3 The Chilliwack Museum is operated by the Chilliwack Museum and Historical Society. The Chilliwack Museum currently hosts a single flagpole with the Canadian flag.
 - a. The flagpole at Veterans Memorial Park cenotaph, adjacent to the Museum, is operated by the City of Chilliwack and would remain in the policy following these proposed updates.

2. RECOMMENDATION:

That Policy Directive No. J-10 "Flag Guidelines" be approved, as amended.

Appendix "A"

FLAGPOLE LOCATIONS

1. Chilliwack City Hall
2. The Landing Sports Centre
3. Evergreen Hall
4. Townsend Park
5. ~~Chilliwack Museum and Archives~~
6. Veterans Memorial Park Cenotaph
7. All Sappers Memorial Park Cenotaph
8. ~~RCMP Community Policing Office~~
9. Public Works Yard
10. Fire Halls Nos. 1, 2, 3, 4, 5, and 6
11. Waste Water Treatment Plant

POLICY DIRECTIVE NO. J-10

SUBJECT: FLAG GUIDELINES

APPROVAL DATE: April 5, 2016 LAST REVIEW DATE: _____

REFERENCE: _____

A. PURPOSE:

The purpose of this Policy Directive is to ensure that all flags at City Hall and other City owned or operated facilities are flown and displayed in a consistent and appropriate manner.

B. PROCEDURE:

1. Displaying of Flags

- (a) Only the National Flag of Canada, the Provincial Flag of British Columbia, and the City of Chilliwack Flag are raised on the flagpoles at the facilities identified in Appendix A, Flagpole Locations. In the event that only one flagpole exists on the property, either the Canadian Flag or the City of Chilliwack Flag may be displayed.
- (b) Flags displayed at City facilities shall be displayed according to the official protocol recommended by the Government of Canada and the Province of British Columbia unless otherwise stated in this policy.
- (c) Flags may be temporarily changed to accommodate filming at the discretion of the City of Chilliwack.
- (d) The City of Chilliwack will not display flags or guest organizational banners on City flagpoles as listed in Appendix A, other than those described above.
- (e) Flags will be maintained in good condition and replaced when showing signs of wear, tear or discolouration.
- (f) Flags removed from service will be disposed of in a dignified manner and immediately replaced.
- (g) At no time will the City of Chilliwack display flags deemed to be inconsistent with the City's policies or bylaws, or those supporting discrimination, prejudice, hatred or violence.
- (h) Subject to (c), the City will not display flags supporting political or religious movements or commercial entities.
- (i) Flags on property owned by the City of Chilliwack but operated by a third party are excluded from this Policy.

2. Half-Masting of Flags

- (a) Flags are flown at half-mast as a sign of mourning. The flag is brought to the half-mast position by raising it to the top of the mast and immediately lowering it slowly to half-mast.
- (b) The decision to fly flags at half-mast usually occurs at the lead of the Federal or Provincial governments, although the City does not always fly flags at half-mast when senior levels of government decide to do so.
- (c) The official period of mourning is defined as “the day of passing until sunset on the day of the funeral or celebration of life”.
- (d) Flags will be flown at half-mast at all City facilities to mark periods of official mourning upon the death of:
 - i. The Sovereign;
 - ii. An immediate relative of the Sovereign;
 - iii. The Governor General of Canada;
 - iv. The Prime Minister of Canada;
 - v. The Lieutenant-Governor of BC;
 - vi. The Premier of BC;
 - vii. A local Member of the Legislative Assembly;
 - viii. A local Member of Parliament;
 - ix. The Mayor, or former Mayor, of the City of Chilliwack;
 - x. A Councillor, or former Councillor, of the City of Chilliwack; or,
 - xi. An in the line of duty death of a City of Chilliwack employee.
- (e) Flags will be flown at half-mast on an annual basis to commemorate the following occasions:

Date	Occasion	Duration
April 28	National Day of Mourning for Persons Killed or Injured in the Workplace	Sunrise to Sunset
November 11	Remembrance Day	Sunrise to Sunset

- (f) The Administration Department is responsible for coordinating the lowering of flags at City Facilities.
- (g) Should half-masting need to be commenced on a weekend or statutory holiday, flags are permitted to be lowered on Friday evening prior to the half-masting date and raised again on the Monday morning.

3. Half-Masting of Flags (continued)
 - (a) In the event of a death not specified in this policy, the City of Chilliwack will follow the direction of the Federal Department of Canadian Heritage.
 - (b) Decisions to fly flags at half-mast on municipal property, on occasions not provided for in this policy, will be made in consultation between the Mayor and Chief Administrative Officer.

4. Responsibility and Maintenance of Flags
 - (a) The Administration Department has the responsibility and authority for making decisions regarding half-masting and other discretionary matters.
 - (b) Maintenance of the flags flown at City Hall is the responsibility of the Recreation and Culture Department.
 - (c) Maintenance of the flags at other buildings will be delegated within each department as appropriate.

Chief Administrative Officer

Appendix "A"

FLAGPOLE LOCATIONS

1. Chilliwack City Hall
2. The Landing Sports Centre
3. Evergreen Hall
4. Townsend Park
5. Veterans Memorial Park Cenotaph
6. All Sappers Memorial Park Cenotaph
7. Public Works Yard
8. Fire Halls Nos. 1, 2, 3, 4, 5, and 6
9. Waste Water Treatment Plant

AGENDA ITEM NO: 7.2

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Closure of a Portion of Gore Avenue DATE: June 10, 2024

DEPARTMENT: Engineering PREPARED BY: Wayne Moseanko

1. SUMMARY OF ISSUE:

1094188 BC Ltd. and 1052334 BC Ltd., the developers of properties located at 46001 Gore Avenue, 9232 and 9240 Young Road and 46002 and 46010 Princess Avenue is requesting that a 194.1 square metre portion of Gore Avenue as shown on the attached Schedule "A" to "Highway Closure and Removal of Dedication Bylaw 2024, No. 5387" be closed. Should the Bylaw be approved, the developer would purchase the closed road area at fair market value and then consolidate the closed road portion of Gore Avenue with their development site to facilitate the construction of a multi-level parkade.

Those utilities, being a Telus pole line, Fortis gas main and a City water main located within the area of road to be closed will be protected by way of a statutory right of way, until such time as those utilities have been appropriately relocated at the developer's expense.


The developer is paying the surveying and registration costs of the legal plans needed to facilitate the road closure and then to have the closed road area consolidated with their own property, including the cost to prepare and register the appropriate statutory right of way agreements to protect the affected utilities.

The highway closure bylaw is attached for Council's consideration.

2. RECOMMENDATION:

Recommendation that "Highway Closure and Removal of Dedication Bylaw 2024, No. 5387" be given first and second reading.

Recommendation that "Highway Closure and Removal of Dedication Bylaw 2024, No. 5387" be given third reading.



Kara Jefford, Director of Engineering

City of Chilliwack

Bylaw No. 5387

A bylaw to close a portion of Gore Avenue, no longer required for road purposes

The Council of the City of Chilliwack in open meeting assembled, enacts as follows:

WHEREAS a portion of highway to be closed was dedicated as road on Plan 1737;

AND WHEREAS said portion of highway is no longer required for road purposes;

AND WHEREAS private utilities affected by this Bylaw will be protected by statutory rights of way;

AND WHEREAS access to adjacent properties will not be affected;

NOW THEREFORE BE IT RESOLVED that the Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Highway Closure and Removal of Dedication Bylaw 2024, No. 5387”**.
2. That the portion of highway designated as Lot “A” contained within the area outlined in heavy black linage on Reference Plan EPP127237 to accompany City of Chilliwack **“Highway Closure and Removal of Dedication Bylaw 2024, No. 5387”**, prepared by Cornelius W. Kerkhoff, BC Land Surveyor, and dated April 16, 2024, a copy of which is attached hereto as Schedule “A” and forming part of this Bylaw, is hereby stopped up and closed to traffic of all kinds.
3. The highway dedication shall be removed and the title of land comprised within the road so stopped up and closed shall be vested with the City of Chilliwack.
4. This Bylaw shall be advertised once each week for two consecutive weeks in a newspaper published and circulating in the City of Chilliwack prior to its adoption.
5. The Mayor and Corporate Officer of the City of Chilliwack are hereby authorized to execute such conveyances, deeds, maps and other documents on behalf of the City of Chilliwack as may be necessary for the purposes aforesaid and to affix the corporate seal of the City of Chilliwack thereto.

Received first and second reading on the
Received third reading on the

Published in two editions of the Chilliwack Progress on the XX and the XX.

Received adoption on the

Mayor

Corporate Officer

AGENDA ITEM NO: 7.3

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Closure of a Portion of Lane Connecting Princess Avenue to Gore Avenue DATE: June 10, 2024

DEPARTMENT: Engineering PREPARED BY: Wayne Moseanko

1. SUMMARY OF ISSUE:

1094188 BC Ltd. and 1052334 BC Ltd., the developers of properties located at 46001 Gore Avenue, 9232 and 9240 Young Road and 46002 and 46010 Princess Avenue is requesting that a 275.3 square metre portion of lane located between the properties at 9240 Young Road and 46002 Princess Avenue as shown on the attached Schedule "A" to "Highway Closure and Removal of Dedication Bylaw 2024, No. 5388" be closed. Should the Bylaw be approved, the developer would dedicate a new lane (as noted on attached map) to provide a continued lane connection between Princess and Gore Avenues. Should the area of the lane to be closed be greater than the areas of new lane to be dedicated, the difference in area would be purchased by the developer at fair market value.

Private utilities located within the area of lane to be closed will be protected by way of a statutory right of way or relocated or removed prior to purchase and consolidation with the development site. The developer is required to pay all costs associated with completing the lane closure.

The highway closure bylaw is attached for Council's consideration.

2. RECOMMENDATION:

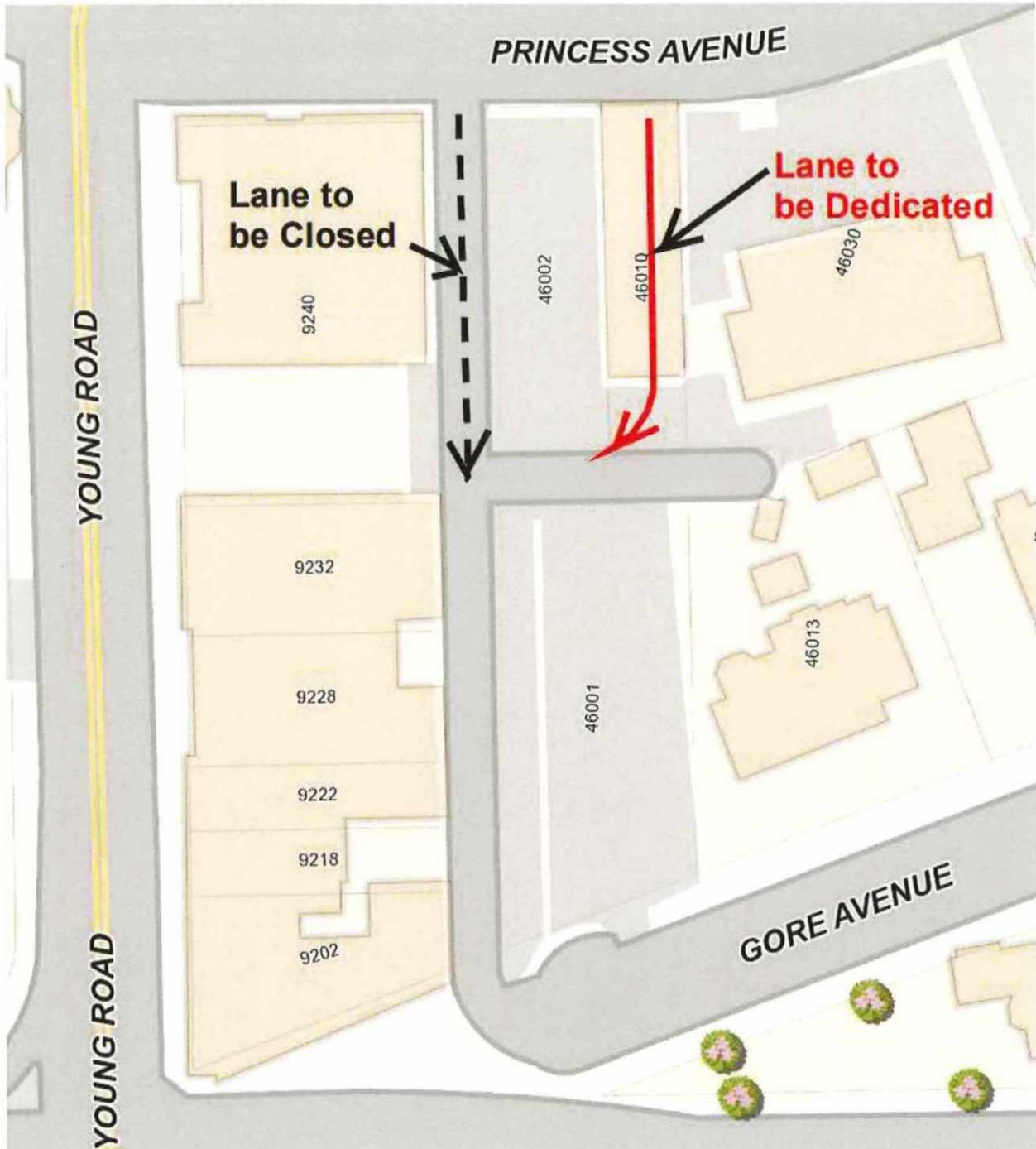
Recommendation that "Highway Closure and Removal of Dedication Bylaw 2024, No. 5388" be given first and second reading.

Recommendation that "Highway Closure and Removal of Dedication Bylaw 2024, No. 5388" be given third reading.



Kara Jeffery, Director of Engineering

Map Showing Lane to be Closed and Lane to be Dedicated



City of Chilliwack

Bylaw No. 5388

**A bylaw to close a portion of highway running between Gore Avenue and Princess Avenue,
no longer required for lane purposes**

The Council of the City of Chilliwack in open meeting assembled, enacts as follows:

WHEREAS a portion of highway to be closed was dedicated as lane on Plan 1737;

AND WHEREAS said portion of highway is no longer required for lane purposes;

AND WHEREAS private utilities affected by this Bylaw will be protected by statutory rights of way;

AND WHEREAS access to adjacent properties will not be affected;

NOW THEREFORE BE IT RESOLVED that the Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Highway Closure and Removal of Dedication Bylaw 2024, No. 5388”**.
2. That the portion of highway designated as Lot “A” contained within the area outlined in heavy black linage on Reference Plan EPP127238 to accompany City of Chilliwack “Highway Closure and Removal of Dedication Bylaw 2024, No. 5388”, prepared by Cornelius W. Kerkhoff, BC Land Surveyor, and dated April 16, 2024, a copy of which is attached hereto as Schedule “A” and forming part of this Bylaw, is hereby stopped up and closed to traffic of all kinds.
3. The highway dedication shall be removed and the title of land comprised within the lane so stopped up and closed shall be vested with the City of Chilliwack.
4. This Bylaw shall be advertised once each week for two consecutive weeks in a newspaper published and circulating in the City of Chilliwack prior to its adoption.
5. The Mayor and Corporate Officer of the City of Chilliwack are hereby authorized to execute such conveyances, deeds, maps and other documents on behalf of the City of Chilliwack as may be necessary for the purposes aforesaid and to affix the corporate seal of the City of Chilliwack thereto.

Received first and second reading on the
Received third reading on the

Published in two editions of the Chilliwack Progress on the XX and the XX.

Received adoption on the

Mayor

Corporate Officer

AGENDA ITEM NO: 7.4

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Transit 2024/2025 DATE: June 10, 2024

DEPARTMENT: Engineering PREPARED BY: K. Jefford


1. SUMMARY OF ISSUE:

Council to consider approving the Chilliwack Transit System Annual Operating Agreement (AOA) for the term from April 1, 2024 to March 31, 2025. The agreement is between the City of Chilliwack and British Columbia Transit. The 2024/2025 AOA includes a 2,100-hour handyDART expansion to extend evening handyDART service on weekdays to 6:30pm and to introduce handyDART service on Sundays, which helps meet the City's goals of accessibility and inclusivity.

Under the transit delivery model, the annual AOA must be approved to continue operation of transit services in Chilliwack in 2024/2025.

2. RECOMMENDATION:

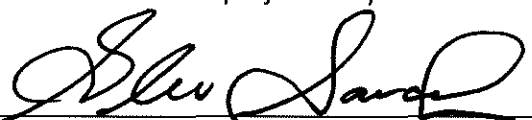
Recommendation that Council approve the "2024/2025 Annual Operating Agreement" for a one-year term, from April 1, 2024 to March 31, 2025, between the City of Chilliwack and British Columbia Transit for the provision of conventional and custom transit services; and further, that Mayor and Corporate Officer be authorized to sign any necessary documentation.



Kara Jefford, Director of Engineering

3. FINANCE COMMENTS:

The Financial Plan contains sufficient funds to cover transit costs projected by BC Transit.



Glen Savard, Director of Finance

4. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports Recommendation.



David Blain, CAO

**STAFF REPORT ON
TRANSIT 2023/2024 ANNUAL OPERATING AGREEMENT**

PREPARED BY: Doug Mossey DATE: June 10, 2024

POSITION: Manager of Transportation & DEPARTMENT: Engineering
 Drainage

1. DEFINITION OF ISSUE:

Council to consider approving the Chilliwack Transit System Annual Operating Agreement (AOA) for the term from April 1, 2024 to March 31, 2025. The agreement is between the City of Chilliwack and British Columbia Transit.

2. BACKGROUND:

2.1 The transit Annual Operating Agreement (AOA) binds the BC Transit and the City of Chilliwack to the conditions and fee schedule for the provision of conventional and custom transit services for a one-year period.

3. FACTORS:

3.1 Chilliwack has been approved for a 2,100-hour handyDART expansion to extend evening handyDART service on weekdays to 6:30pm and to introduce handyDART service on Sundays. The requested Conventional expansion package that included 4,200 hours of expansion to improve frequency on Routes 51, 52, 57, 58 and 54 buses was denied.

3.2 At the May 21, 2024 regular meeting of council, Council referred the AOA back to staff to get more information from BC Transit regarding the lack of transit expansion funding. BC Transit responded with the attached letter which describes their position, details the reasons behind the expansion decision.

3.3 BC Transit received a \$162.6M operating grant for 2024-25 that did enable BC Transit to expand service levels in transit systems across the province to meet some increased demand.

3.4 Local governments across the province requested an unprecedented level of expansion for 2024/25, and this exceeded the availability of matching funding and resources. Therefore the expansion evaluation process was applied to the list of expansion requests to determine where available provincial expansion funding would be allocated.

3.5 According to the letter, the evaluation of each funding request is specific to the expansion request, not the system-wide performance. The downside of this is that requests can lump multiple initiatives from the Transit Future Plan together, and the requests were not tailored to best meet the evaluation criteria. The City of Chilliwack's request included the following service hour expansion (table from the Chilliwack Transit Future Action Plan endorsed by Council in 2021).

Table 15: Resources required for Chilliwack System -Service Package 1

Transit Route	Service Day	Est. Service Hours	Frequency Peak (Base)	Service Span	Peak Expansion Buses
51 Vedder FTN	Sunday	900	30 minutes (30 minutes)	9:15 a.m. – 6:15 p.m.	0
52 Evans LTN	Weekday	1,500	45 minutes (45 minutes)	7:00 a.m. – 10:30 p.m.	1
	Saturday			8:30 a.m. – 10:30 p.m.	
57 Broadway LTN	Weekday	700	60 minutes (60 minutes)	5:45 a.m. – 10:00 p.m.	0
	Saturday			9:30 a.m. – 10:00 p.m.	
58 Tyson LTN	Weekday	400	60 minutes (60 minutes)	5:30 a.m. – 9:30 p.m.	0
	Saturday			9:00 a.m. – 9:30 p.m.	
54 Promontory LTN	Weekday	420	60 minutes (60 minutes)	5:30 a.m. – 10:30 p.m.	1
	Saturday	260		8:30 a.m. – 10:30 p.m.	
Total	-	4,200	-	-	2

3.6 The multiple account evaluation that BC Transit used to rank funding requests considers the following when allocating provincial expansion funds:

- Alignment to the goals and objectives in BC Transits Provincial Mandate Letter
- Identification in a transit-planning document, such as a Transit Future Plan or service review
- Ridership productivity
- Operational performance
- Planning, land use and environmental context
- Vehicle and facility capacity, utilization and availability
- Social and economic value

3.6.1 The quantitative indices focus on ridership productivity and include the following:

- Boarding’s per service hour - this measures the effectiveness of a service.
- Boarding’s per service kilometre - monitors the level of productivity of a route.
- Cost per Passenger trip - is a measure of how expensive a service is to operate relative to the volume of people using the service.
- Cost Recovery - is a measure of the cost of providing the service versus the rate of return through the fare box.
- Passengers per Capita – this is a relative measure of the overall service level.

3.6.2 Each expansion has a maximum number of available points and each expansion request is evaluated against others regardless of system or community size. Additional

considerations need to be made for services that have been experiencing chronic pass up or capacity issues such as the Fraser Valley Express #66 service. Regardless of score, some factors can prevent expansion from being feasible. These may include:

3.6.3 Capacity of the operational facility

- Unfunded critical infrastructure - requirements to enable the expansion to occur (for instance a new exchange)
- Vehicle availability

- 3.7 All expansion resources have been allocated at this time, however BC Transit staff are investigating system by system, to ensure all expansion allocations will be able to be 100% utilized. If an approved transit system can no longer commit to all or part of the expansion hours and budget agreed to, they will look to repurpose any available hours and the associated provincial expansion funding to the next highest rated expansion request (which may or may not be Chilliwack).
- 3.8 BC Transit staff have worked with their planning department to determine possible Chilliwack transit expansion scenarios that would not require additional fleet resources such as added evening or weekend service and staff have resubmitted these requests for review and possible support if resources become available this fiscal.
- 3.9 Procurement timelines of new buses now are in excess of 24 months and BC Transit is challenged to forecast demand and order buses well in advance of approved local and provincial government funding timelines, which creates added complexity to the process.
- 3.10 The capacity at the existing Chilliwack transit operations and maintenance facility is a constraint, however BC Transit has procured a new property in Chilliwack and BC Transit staff are working with Chilliwack and FVRD staff on the planning process for the new operations and maintenance facility to support long term transit expansion in Chilliwack and the FVRD.
- 3.11 In addition, the BC Transit strategic planning team will be reviewing and re-evaluating the expansion evaluation process this year and on an ongoing basis. This will ensure they are effectively capturing the needs of rapidly growing communities like Chilliwack and giving weight to communities who did not qualify for expansions in spite of consistent plans and sustained support for transit.
- 3.12 City staff met with BC Transit planning staff following the May 21 Council meeting to provide feedback on the evaluation process and discuss additional criteria that may be considered in the future, such as mandated housing targets, transit oriented development areas, First Nations transit requests within the transit service area, population growth rates and past funding approvals.
- 3.13 In response to Council's inquiry, BC Transit staff communicated that Kelowna did get transit expansion funding this year, but that population growth was not a determining factor in expansion allocation, ridership productivity was, and Kelowna has experienced consistent overcrowding and pass-ups of passengers over the last 2 years.
- 3.14 A list of which communities got funding and how much each community received has not been released.

3.15 The annual cost of conventional and custom transit service comparison shown below from the past 5 years:

Year	2020/2021 amended AOA to include Safe Restart funds	2021/2022 Includes Local Trust (Safe Restart) funds	2022/2023	2023/2024	2024/2025
Local Share of Operating Costs	\$2,701,635	\$2,838,151	\$3,643,192	\$3,676,900	\$4,333,690

3.16 The Local Share costs are offset by approximately \$1,154,369 in anticipated revenue from fares, bus passes and onboard advertising.

3.17 The Province of BC through BC Transit funds \$2,838,197 in transit operating costs.

3.18 The projected costs are based on a variable fuel cost. Fuel costs make up about 13% of the total budget.

3.19 The provincially mandated “Free Transit 12 and Under” program is continuing in 2024/25 and the fare revenue provided for this is included in the AOA Agreement.

3.20 If the annual AOA is not approved, then BC Transit could not continue operation of transit services in Chilliwack in 2024/2025.

4. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

Recommendation that Council approve the “2024/2025 Annual Operating Agreement” for a one-year term, from April 1, 2024 to March 31, 2025, between the City of Chilliwack and British Columbia Transit for the provision of conventional and custom transit services; and further, that Mayor and Corporate Officer be authorized to sign any necessary documentation.

Substantiation:

Under the transit delivery model currently in place, if the annual AOA is not approved, then BC Transit could not continue operation of transit services in Chilliwack in 2024/2025.



June 7, 2024

Doug Mossey
Manager of Transportation and Drainage
City of Chilliwack
8550 Young Rd Chilliwack BC
V2P 8A4

Re: Certified Resolution of Council of the City of Chilliwack May 21, 2024

Dear Doug,

Thank you for your update regarding the City of Chilliwack’s regular council meeting on the May 21, 2024. I appreciate you presenting our Annual Operating Agreement to council for approval and understand that council has referred the matter back to staff so that Mayor and Council are provided with additional information on transit expansion funding as well as to formally appeal to BC Transit for increased funding for Chilliwack service expansions this fiscal. I hope this letter will support you, Mayor and Council in understanding the processes, challenges and opportunities that exist concerning expansion funding this year.

BC Transit and our local government partners work hard each year to match service with demand in the communities we serve. Our goal remains to expand transit service to meet increasing demand and maintaining safety and reliability in support of growing communities. As you know, transit expansion requests require funding from both local governments and the Province as BC Transit services are cost shared between the local governments and the Province.

Following the recent communication to local governments in February regarding BC Transit's 2024-25 Budget and Service Plan, we provided the City of Chilliwack with an update on the outcome of our expansion prioritization process to confirm any expansion initiatives that would be moving forward for implementation. As outlined in that communication, BC Transit received a \$162.6M operating grant for 2024-25 that did enable BC Transit to expand service levels to meet some of this increased demand.

Local governments across the Province requested an unprecedented level of expansion for 2024/25, and this exceeded the availability of matching funding and resources. Therefore, the results of our expansion evaluation process were applied to our list of expansion requests to determine where available Provincial expansion funding would be allocated. Through this process, the following expansion initiative was approved for implementation in Chilliwack:

CHILLIWACK CUSTOM	Extend evening handyDART service on weekdays by two hours to 6:30pm. Additionally, introduce handyDART service on Sundays, aligned with Saturday service span.	2,100 annual service hours	No expansion vehicles
------------------------------	--	--	--------------------------

Unfortunately the following expansion initiative was not approved for implementation and is scheduled to be put forward for consideration in the next annual transit expansion cycle.

CHILLIWACK CONVENTIONAL	Implementation of expansion package 1 from the 2021 TFAP. Better frequency for Route 51 (Sundays), Route 52 (Monday – Saturday), Routes 57 and 58 (Saturdays). Additional service for Route 54 in the afternoon peak.	4,200 annual service hours	4 expansion vehicles
--------------------------------	---	--	--------------------------------

Expansion Evaluation Process

BC Transit is often faced with municipal requests for expansion of transit service that exceed the availability of matching Provincial funds or available transit resources. As a result, it is necessary to evaluate expansion requests and determine where available expansion funding and resources should be allocated. An expansion evaluation process based on standard transit measures and alignment with provincial strategic priorities allows BC Transit to:

- Monitor, compare, and prioritize expansion requests
- Address value for investment by being performance focused
- Reduce unpredictability regarding new service requests
- Ensure funding availability is best aligned with local needs and provincial funding
- Develop a long term plan with greater confidence

The process is a performance based multiple account evaluation (MAE). The evaluation uses a mixture of qualitative and quantitative criteria to measure the proposed service expansion. Each criteria are allocated a value and weight. The evaluation is specific to the expansion request, not the system-wide performance. The MAE considers the following when allocating provincial expansion funds:

- Alignment to the goals and objectives in BC Transits Provincial Mandate Letter
- Identification in a transit-planning document, such as a Transit Future Plan or service review
- Ridership productivity
- Operational performance
- Planning, land use and environmental context
- Vehicle and facility capacity, utilization and availability
- Social and economic value

The quantitative indices focus on ridership productivity and include the following:

- Boarding's per service hour - this measures the effectiveness of a service.
- Boarding's per service kilometre - monitors the level of productivity of a route.
- Cost per Passenger trip - is a measure of how expensive a service is to operate relative to the volume of people using the service.
- Cost Recovery - is a measure of the cost of providing the service versus the rate of return through the fare box.
- Passengers per Capita – this is a relative measure of the overall service level.

Each expansion has a maximum number of available points and each expansion request is evaluated against others regardless of system or community size. Additional considerations need to be made for services that have been experiencing chronic pass up or capacity issues such as the Fraser Valley Express #66 service.

Regardless of score, some factors can prevent expansion from being feasible. These may include:

- Capacity of the operational facility
- Unfunded critical infrastructure - requirements to enable the expansion to occur (for instance a new exchange)
- Vehicle availability

The expansion evaluation process flags these issues so that consideration can be given as to whether they can be addressed in time to enable expansion to occur within the fiscal year being evaluated. This year we encountered a situation where we lacked sufficient fleet vehicle resources to meet total expansion demands. This is due in part to the unprecedented demand in expansion requests combined with a bus procurement environment that has seen extended bus manufacturing timelines caused by supply shortages and significant increases in bus demand from transit agencies across North America. Procurement timelines of new buses now are in excess of 24 months and BC Transit is challenged to forecast demand and order buses well in advance of approved local and provincial government funding timelines, which creates added complexity to the process.

Chilliwack Request for Additional Funding for Transit Expansions

BC Transit and I personally recognize the rapid growth that Chilliwack is experiencing and the strain this is putting on mobility and congestion in and around the city's core. In addition, Chilliwack has had strong track record of committed support to transit planning and transit expansion initiatives through its Transportation Committee and your Mayor and Council. Recent support for the strategic planning of a new operations and maintenance master plan and facility further showcases the cities desire to continue to invest in transit as a long term solution to its mobility, affordability, housing and environmental goals.

As all expansion resources have been currently allocated at this time, we are investigating system by system, to ensure all expansion allocations will be able to be 100% utilized. If an approved transit system can no longer commit to all or part of the expansion hours and budget agreed to, we will look to repurpose any available hours and the associated provincial expansion funding to the next highest rated expansion request. I have worked with our planning department to determine possible Chilliwack transit expansion scenarios that would not require additional fleet resources such as added evening or weekend service and we have resubmitted these requests for review and possible support if resources become available this fiscal. We will work closely with you and keep you updated and informed as we progress through this process.

In addition, our strategic planning team will be reviewing and re-evaluating our expansion evaluation process this year and on an ongoing basis. This will ensure we are effectively capturing the needs of rapidly growing communities like Chilliwack and giving weight to communities who did not qualify for expansions in spite of consistent plans and sustained support for transit.

As we go forward, we will continuing to monitor ridership growth and the associated demand for service expansions and work closely with the Province to establish future funding needs. In the meantime, we remain committed to making transit your best transportation solution and we greatly appreciate the support that you, Mayor and Council have shown over the past few years that has allowed us to rebuild ridership in Chilliwack back up and beyond pre-pandemic levels.

If you have any further questions regarding this matter, please feel free to reach out to me directly at #250-888-3926 or via email at r.ringma@bctransit.com.

Sincerely,



Rob Ringma,
Senior Manager, Government Relations
BC Transit

AGENDA ITEM NO: 7.5

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Traffic Signal & Street Light Maintenance Contract Extension DATE: June 11, 2024

DEPARTMENT: Engineering PREPARED BY: Doug Mossey


1. SUMMARY OF ISSUE:

The current Traffic Signal & Street Light Maintenance contract expired on March 14th, 2024. The agreement states that the Contract may be extended by four additional one-year terms upon successful negotiations. The current contractor, Crown Contracting Ltd, has agreed to extend the contract for one year under the existing terms and conditions plus a five percent increase on labour unit rates and an additional line item for conflict monitor testing.

Approval of the contract extension is required.

2. RECOMMENDATION:

Recommendation that Council approve the one-year extension of the Traffic Signal & Street Light Maintenance Contract with Crown Contracting Ltd. under the existing terms and conditions plus a five percent increase on labour unit rates and an additional line item for conflict monitor testing.


Kara Jefford, Director Engineering


3. FINANCE COMMENTS:

Funding for this contract has been allocated within the approved 2024 Financial Plan.


Glen Savard, Director of Finance

4. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.


David Blain, CAO

**STAFF REPORT ON
TRAFFIC SIGNAL & STREET LIGHT MAINTENANCE CONTRACT EXTENSION**

PREPARED BY: Keegan MacIsaac June 11, 2024
POSITION: Senior Roads Technician DEPARTMENT: Engineering

1. DEFINITION OF ISSUE:

The current Traffic Signal & Street Light Maintenance contract expired on March 14th, 2024. The agreement states that the Contract may be extended by four additional one-year terms upon successful negotiations. The current contractor, Crown Contracting Ltd, has agreed to extend the contract for one year under the existing terms and conditions plus a five percent increase on labour unit rates and an additional line item for conflict monitor testing.

Approval of the contract extension is required.

2. FACTORS:

- 2.1 The Traffic Signal & Street Light Maintenance contract provides the terms and conditions for the services of an electrical contractor, equipped with all necessary equipment and tools, to conduct day to day routine maintenance and emergency repairs.
- 2.2 Extending this service results in the uninterrupted service provided by a contractor that is familiar with the requirements of the City. During this time, Crown Contracting has aided staff in updating the City's aging traffic signal and street lighting infrastructure to be in line with industry standards.
- 2.3 Crown Contracting was awarded the contract in 2022 following a three-tender submission with one tenderer withdrawing their bid. Tender Results (excluding GST) are as follows:

Tenderer	Tender price (excluding GST)
Crown Contracting Limited	\$381,685.00
M. Dickey & Sons	\$507,502.00

- 2.4 Conflict monitor testing is a recommended annual or bi-annual program and is a requirement of most municipalities. It tests and certifies the equipment responsible for detecting errors and conflicts within the traffic signal and safeguards against errors which could result in collisions.

- 2.5 The addition of the conflict monitor testing will add \$31,565.00 (excluding GST) to the current contract. Sufficient funds are available in the 2024 budget to accommodate this additional work.
- 2.6 The contractor must have staff available to respond to the field location within one hour during regular business hours and three hours outside of regular hours, 24 hours a day and 7 days a week.
- 2.7 The contractor must have a yard and warehouse to store City street light and traffic signal parts.
- 2.8 The contract is based on hourly rates for skilled electricians and equipment for the repair of traffic signal and street lights, as and when required.
- 2.9 The knowledge and experience of Crown Contracting staff minimizes assistance and supervision required by City staff.
- 2.10 Sufficient funds have been allocated in the 2024 traffic signal and streetlight budgets to accommodate the work.

3. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

Recommendation that Council approve the one-year extension of the Traffic Signal & Street Light Maintenance Contract with Crown Contracting Ltd. under the existing terms and conditions plus a five percent increase on labour unit rates and an additional line item for conflict monitor testing.

Substantiation:

Crown Contracting has been servicing the City's electrical infrastructure since 2022 and during this time they have consistently provided satisfactory service.

AGENDA ITEM NO: 7.6

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Tender No. 2024-05 Mill and Pave Program Tender Award DATE: June 13, 2024

DEPARTMENT: Operations PREPARED BY: Jody Burke

SUMMARY OF ISSUE:

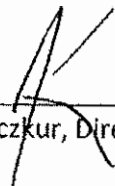
The City has received two public tenders for mill and paving services of utility trench cuts at various locations throughout the City for 2024. A decision is required to accept one of the tenders.

A summary of the tenders is as follows:

1. Loewen Paving Ltd. \$ 269,355.78
2. City Paving Ltd. \$ 368,243.93

2. RECOMMENDATION:

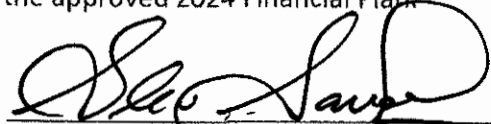
That Council award the tender for the "2024 Mill and Pave Program" to Loewen Paving Ltd. in the amount of \$269,355.78; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.



Joe Koczur, Director of Operations

3. FINANCE COMMENTS:

Funding for these services has been allocated within the approved 2024 Financial Plan.



Glen Savard, Director of Finance

4. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.



David Blain, CAO

**STAFF REPORT ON
TENDER NO. 2024-05 MILL AND PAVE PROGRAM TENDER AWARD**

PREPARED BY: Jody Burke DATE: June 13, 2024

POSITION: Assistant Superintendent DEPARTMENT: Operations

1. DEFINITION OF ISSUE:

The City has received two public tenders for mill and paving services of utility trench cuts at various locations throughout the City for 2020. A decision is required to accept one of the tenders.

A summary of the tenders is as follows:

- | | |
|-----------------------|---------------|
| 1. Loewen Paving Ltd. | \$ 269,355.78 |
| 2. City Paving Ltd. | \$ 368,243.93 |

2. FACTORS:

- 2.1 The tenders submitted have been reviewed and found to be accurate.
- 2.2 Loewen Paving Ltd. has provided mill and paving services for the City in the past and have provided satisfactory service.
- 2.3 The Loewen Paving Ltd. tender submission is the low bid and provides the best value for the City.

3. RECOMMENDATION AND SUBSTANTIATION:

RECOMMENDATION:

That Council award the tender for the "2024 Mill and Pave Program" to Loewen Paving Ltd. in the amount of \$269,355.78; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

SUBSTANTIATION.

The Loewen Paving Ltd. tender meets the specifications, is the low bid and provides the best value for the City.

AGENDA ITEM NO: 7.7

MEETING DATE: June 18, 2024

STAFF REPORT - COVER SHEET

SUBJECT: Annual Municipal Report Date: June 10, 2024

DEPARTMENT: Finance Prepared by: Glen Savard

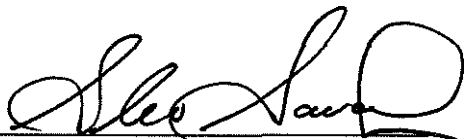
1. SUMMARY OF ISSUE:

Section 98 of the *Community Charter* requires a municipality to prepare an *Annual Report* that includes requirements as specified within this section of the Charter. These include the audited financial statements of the previous year (previously presented to Council), reporting respecting municipal services and operations of the previous year as well as progress made in relation to established objectives and measures.

The 2023 Annual Report is attached for Council's information.


2. RECOMMENDATION:

That Council receive the 2023 Annual Municipal Report for information.


Glen Savard, Director of Finance

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

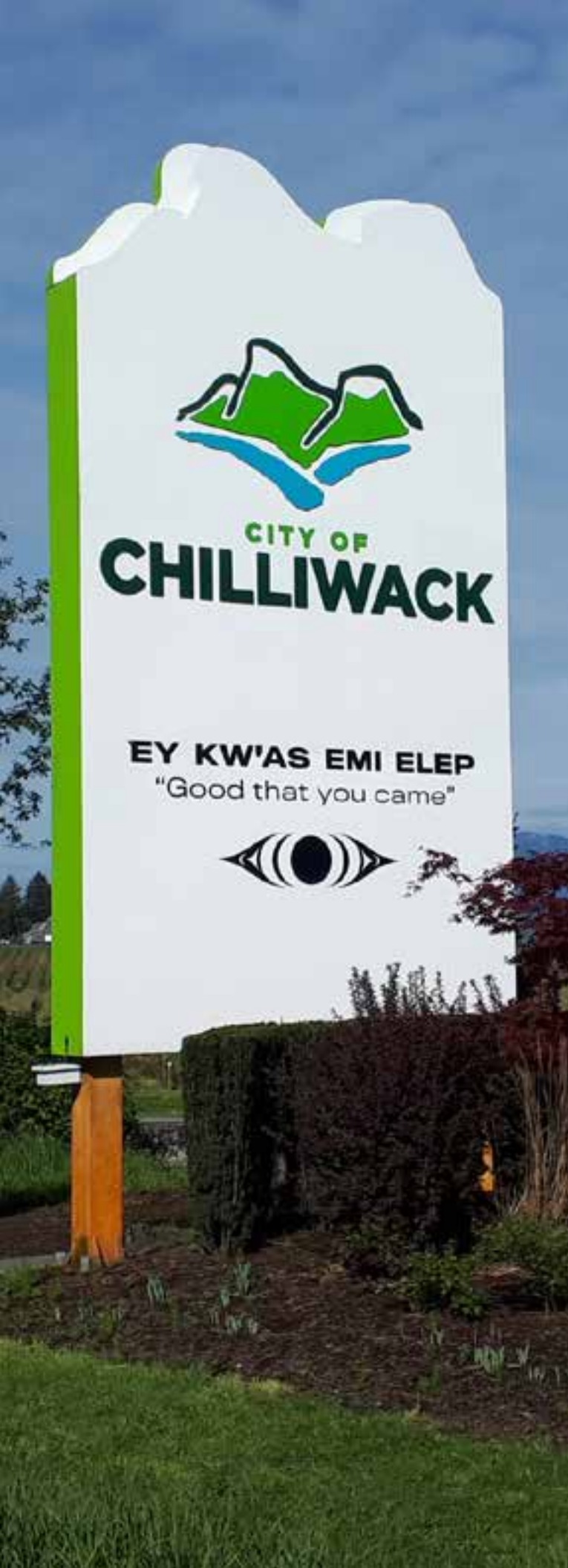

David Blain, CAO



2023

ANNUAL REPORT

For the fiscal year ended December 31, 2023



City of Chilliwack

British Columbia, Canada

2023 Annual Municipal Report
For the fiscal year ended December 31, 2023

PREPARED BY THE CITY OF CHILLIWACK
FINANCE DEPARTMENT

8550 YOUNG ROAD ~ CHILLIWACK, BC ~ V2P 8A4



TERRITORY ACKNOWLEDGEMENT

The City of Chilliwack acknowledges that we are honoured to live, work, and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.



Views from Qoqó:lem Trail
City Staff

Table of Contents

Introduction

City Snapshot.....	10
Message from the Mayor	11
Organizational Chart.....	13
City Council	14
Boards & Committees	15
2023 Highlights.....	16
Council's Strategic Goals.....	18

Department Overviews

Administration.....	41
Communications	42
Corporate Services	43
Development & Regulatory Enforcement Services (DARES)	44
Engineering.....	46
Finance	49
Fire Protection	50
Information Technology	52
Planning	53
Public Safety & Social Development	55
Public Works & Parks Operations	56
Recreation & Culture.....	57
Utility Operations	58

Subsidiaries

Chilliwack Economic Partners Corporation (CEPCO)	60
Tourism Chilliwack Inc.....	63

Statistical Information

Statistical Comparisons.....	65
Permissive Tax Exemptions.....	73

2023 Audited Financial Statements

KPMG LLP Auditor's Report	77
Consolidated Statement of:	
- Financial Position	80
- Operations & Accumulated Surplus.....	81
- Change in Net Financial Assets.....	82
- Cash Flows	83
Notes to Consolidated Financial Statements.....	84
Chilliwack Economic Partners Corporation (CEPCO).....	95
Tourism Chilliwack Inc.	113



*Mr. Scoops at Bill Kelly Park
© Chilliwack City Staff*

Introduction

City Snapshot

Message from the Mayor

Organizational Chart

City Council

Boards & Committees

2023 Highlights

Council's Strategic Goals

City Snapshot

***103,500**
Population



** Estimated.*



***\$739,108**

Average House Price

** Source: Chilliwack and District Real Estate Board (CADREB)*



618

New Business Licences Issued



42,800 acres

Farmland



66%

Curbside Waste Diversion Rate



7

Off Leash Dog Areas



\$274M

Building Permit Construction Values





Message from the Mayor

I am pleased to present the 2023 Annual Report for the City of Chilliwack on behalf of Council. In this report you will find important information about City operations, including a financial overview, accomplishments and progress made on Council's strategic goals. I hope that, through this report, you will learn more about the work we do to support a strong city, and where we plan to go next.

2023 featured a milestone for the City of Chilliwack, as we acknowledged the 150th anniversary of the City's incorporation with public art and community events. A number of new community amenities were also completed, including novice pump tracks at Vedder and Jinkerson Parks, dog off-leash areas in Crimson Ridge, Jinkerson, and Fairfield Parks, the Little Mountain Stairs, and Qoqó:lem Park. We took steps to improve accessibility in some of our parks, adding an accessible playground at the Landing, and a rubber surface to the playground at Yarrow Pioneer Park.

Like all communities, we faced climate-related challenges in 2023. In the summer, we moved to stage 4 water restrictions to conserve water during prolonged, province-wide drought conditions. We are grateful for the community's willingness to adapt to changing conditions, and we continue to take steps to address climate change through projects like the waste heat recovery system installed this year. This new system pipes excess heat from the Coliseum to the Landing Leisure Centre in order to heat the aquatic area. We also added electric vehicle charging stations to six locations around the city, totaling sixteen level 2 charging ports and two level 3 charging ports.

Commuting along Vedder Road became a little easier this year, as we wrapped up the upgrades to the Vedder and South Sumas intersection. Out on the roads, our street sweeping team gained a new member in Sweeperella, the City's new bike lane sweeper, named thanks to your suggestions and votes. Downtown, we opened a new parking lot on Princess Avenue, and began another lot on Victoria Avenue.

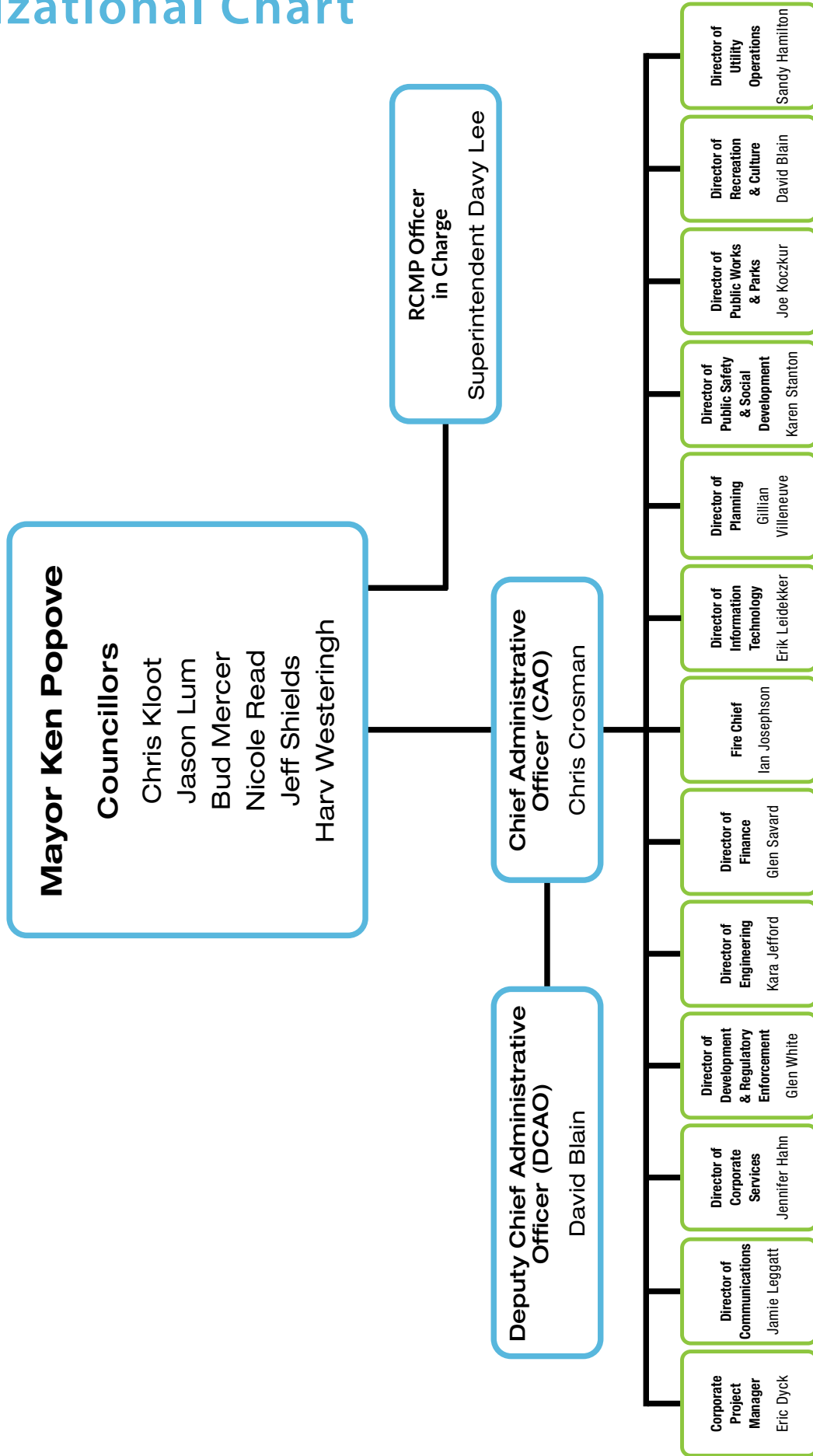
What we achieved in 2023 would not have been possible without the hard work and dedication of Council, advisory committee members, volunteers, City staff, and you, the citizens of Chilliwack. Thank you to anyone who called, emailed, took a survey, left a comment, participated in a public hearing, or attended a meeting this year. We look forward to hearing from even more of you in the future as we work to make Chilliwack a community where all residents have the opportunity to thrive.

Enjoy the read!

Mayor Ken Popove



Organizational Chart



City Council



Mayor Ken Popove



***Councillor
Chris Kloot***



***Councillor
Jason Lum***



***Councillor
Bud Mercer***



***Councillor
Nicole Read***



***Councillor
Jeff Shields***



***Councillor
Harv Westeringh***

Chilliwack City Council includes the Mayor and six Councillors who are elected for a four-year term. Members of the current City Council were elected in October 2022 and took office on November 1, 2022.

Boards & Committees

Affordable Housing and Development Advisory Committee

Councillor Harv Westeringh (Chair)
Councillor Bud Mercer (Vice Chair)

Agricultural and Rural Advisory Committee

Councillor Chris Kloot (Chair)
Councillor Harv Westeringh (Vice-Chair)

Accessibility and Inclusion Advisory Committee

Councillor Jason Lum (Chair)
Councillor Jeff Shields (Vice-Chair)

Chilliwack Business Improvement Association (BIA)

Councillor Jeff Shields (Liaison)

Chilliwack Arts and Cultural Centre Society Board

Councillor Jeff Shields (Liaison)

Chilliwack Community Advisory Board (Reaching Home)

Mayor Ken Popove
Councillor Harv Westeringh

Chilliwack Community Safety Governance Committee

Councillor Bud Mercer (Chair)
Clint Hames, Former Chilliwack City Mayor (Vice-Chair)
Mayor Ken Popove

Chilliwack Creative Commission

Councillor Jason Lum (Liaison)

Chilliwack Economic Partners Corporation

Mayor Ken Popove (Ex-Officio)
Councillor Nicole Read (Liaison)

Chilliwack Healthier Community

Mayor Ken Popove (Chair)
Councillor Jeff Shields (Alternate)

Chilliwack Parks and Trails Advisory Committee

Councillor Bud Mercer (Chair)
Councillor Harv Westeringh (Vice-Chair)

Design Review Advisory Committee

Councillor Chris Kloot (Chair)
Councillor Bud Mercer (Vice-Chair)

Emergency Executive Committee

Mayor Ken Popove (Chair)
Councillor Jason Lum
Councillor Chris Kloot

Fraser Valley Aboriginal Relations Committee

Mayor Ken Popove
Councillor Jeff Shields (Alternate)

Fraser Valley Regional District Board

Mayor Ken Popove
Councillor Jason Lum
Councillor Chris Kloot
Councillor Bud Mercer
Councillor Nicole Read (First Alternate)
Councillor Jeff Shields (Second Alternate)
Councillor Harv Westeringh (Third Alternate)

Fraser Valley Regional Hospital Board

Mayor Ken Popove
Councillor Jason Lum
Councillor Chris Kloot
Councillor Bud Mercer
Councillor Nicole Read (First Alternate)
Councillor Jeff Shields (Second Alternate)
Councillor Harv Westeringh (Third Alternate)

Fraser Valley Regional Library

Councillor Nicole Read
Mayor Ken Popove (Alternate)

Heritage Advisory Committee

Councillor Nicole Read (Chair)
Councillor Bud Mercer (Vice-Chair)

Parcel Tax Roll Review Panel

Councillor Jeff Shields
Councillor Harv Westeringh
Councillor Bud Mercer

Public Art Advisory Committee

Councillor Nicole Read (Chair)
Councillor Harv Westeringh (Vice-Chair)

Public Safety Advisory Committee

Councillor Bud Mercer (Chair)
Councillor Nicole Read (Vice-Chair)

Tourism Chilliwack

Councillor Harv Westeringh (Liaison)

Transportation Advisory Committee

Councillor Jeff Shields (Chair)
Councillor Jason Lum (Vice-Chair)

2023 HIGHLIGHTS

GOOD STEWARDSHIP OF MUNICIPAL INFRASTRUCTURE

- Replaced 450 metres of aging cast iron pipes.
- Replaced 580 lineal metres of aging downtown stormwater drainage pipe.
- Upgraded the Vedder and South Sumas Road intersection to accommodate traffic volumes.
- Completed construction of Promontory Zone 2 Reservoir and Zone 2 & 3 Booster Pump Stations.



VIBRANT ECONOMY

- Enhanced crosswalks with pedestrian activated flashing beacons at seven locations in the downtown area.
- Completed downtown parking lot on Princess Avenue with electric vehicle chargers and landscaping improvements.



ENVIRONMENTAL STEWARDSHIP

- Planted 3,800 trees along Camp Slough, Hope Slough, Bell Slough, and Chilliwack Creek.
- Achieved a curbside diversion rate of 66% and reduced curbside recycling contamination rate from 6.2% to 4.8%.
- Introduced a Book Recycling Program at the Bailey Landfill Recycling Depot.
- Converted 1,738 streetlights to long lasting LED fixtures.

STRONG NEIGHBOURHOODS

- Installed accessible play structure in Yarrow Pioneer Park.
- Completed the Little Mountain Nature Park Trail loop.
- Completed Qoqó:lem Trail and Park at Vedder Mountain.
- Completed the Bill Kelly playground at The Landing.

COMMUNITY SAFETY

- Provided fire safety and emergency preparedness sessions to more than 1,300 people.
- Worked with First Nations on flood preparedness.
- Recruited and trained five additional Emergency Support Services (ESS) volunteers.
- Added two electric bicycles to the Bylaw department to facilitate more efficient patrols.

CHILLIWACK CURLING & COMMUNITY CENTRE

CHILLIWACK
& COMMUNITY CENTRE

9TH END CAFE




We're hosting a
Curling competition!
Come on in and cheer it out!

45566 SPADINA AVE

OPEN

COUNCIL'S STRATEGIC GOALS

Council's strategic goals provide a framework for the decisions made by Council and guide the City's approach for delivering services to the community.

<p>Financial Stability</p>  <p>Plan for current and anticipated community needs while maintaining reasonable property tax levels for taxpayers.</p>	<p>Good Stewardship of Municipal Infrastructure</p>  <p>Ensure proactive and preventative maintenance of roads, utility, water systems, civic facilities, municipal fleet, and other municipal infrastructure to maximize life span.</p>	<p>Environmental Stewardship</p>  <p>Encourage waste diversion and a "zero waste" philosophy, reducing energy consumption and greenhouse gases while protecting waterways, riparian zones and airsheds.</p>
<p>Strong Neighbourhoods</p>  <p>Support accessibility, inclusion, diversity and truth and reconciliation. Fostering community spirit, attracting community events and supporting cultural groups, while providing high-quality parks and recreational opportunities.</p>	<p>Vibrant Economy</p>  <p>Work to create an environment that is positive for business creation, and contract with CEPCO for economic development.</p>	<p>Connected Community</p>  <p>Provide opportunities to hear from the community, meet with other levels of government and share information throughout the community.</p>
<p>Organizational Excellence</p>  <p>Employ recruitment strategies that focus on attracting the best workforce, while providing opportunity for internal advancement. Provide focus on workplace safety and on-site training while encouraging ongoing professional development.</p>	<p>Customer Service</p>  <p>Ensure employees receive customer service training in order to provide excellent and efficient service to the public.</p>	<p>Community Safety</p>  <p>Offer a wide range of services to support safety and sense of belonging in the community. Support RCMP initiatives and improvements in traffic safety.</p>



**STRATEGIC GOAL #1:
FINANCIAL STABILITY**

Plan for current and anticipated community needs while maintaining reasonable property tax levels for taxpayers.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>ADDRESS COMMUNITY NEEDS</p> <p>Prepare for anticipated and unanticipated community needs.</p>	<ul style="list-style-type: none"> ✦ Completed the annual update of our long-term Comprehensive Municipal Plan, outlining short-term priorities and anticipated long-term needs. ✦ Planning and funding strategies are built into the Comprehensive Municipal Plan for projects that may be eligible for future infrastructure grants to ensure municipal funding portions remain in place.
<p>BALANCED BUDGET</p> <p>Fund planned capital expenditures without long-term borrowing debt and identify grant opportunities.</p>	<ul style="list-style-type: none"> ✦ All capital expenditures funded without long-term debt in the 2023 Comprehensive Municipal Plan. ✦ Completed successful applications for available government grant funding programs, to help offset project costs. ✦ Ongoing grant research for eligible project opportunities.
<p>REASONABLE PROPERTY TAXATION</p> <p>Maintain reasonable property tax levels and ensure new growth pays for itself.</p>	<ul style="list-style-type: none"> ✦ Chilliwack continues to have a low business class property tax multiplier. ✦ Chilliwack maintains the lowest general municipal taxation levy, on a representative home, when compared to 19 Lower Mainland communities surveyed. With the inclusion of water, sewer and curbside waste collection fees, Chilliwack’s total fees are lower by an even greater margin, while providing vast services and amenities. ✦ Reviewed Development Cost Charge (DCC) Bylaw and amended rates accordingly to ensure growth-driven capital needs are completed and funded by DCCs where eligible.



STRATEGIC GOAL #2:

GOOD STEWARDSHIP OF MUNICIPAL INFRASTRUCTURE

Ensure proactive and preventative maintenance of roads, utility, water systems, civic facilities, municipal fleet, and other municipal infrastructure to maximize life span.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>ROAD AND UTILITY SYSTEM MAINTENANCE</p> <p>Maintain utility systems, minimize service delivery interruptions and meet pavement quality index goals for roadways.</p>	<ul style="list-style-type: none"> ✦ Ongoing investment in the road rehabilitation program, resulting in seven kilometres of roads repaved. ✦ Completed and updated survey and report for the City’s current road pavement conditions and maintenance methodology to supplement the asphalt rehabilitation program ✦ Replaced approximately 450 metres of aging cast iron pipes. ✦ Completed inspections of 26 road culverts to ensure safe condition and ongoing maintenance of assets. ✦ Upgraded the Vedder and South Sumas Road intersection to better accommodate traffic volumes and improve intersection safety. ✦ Constructed a multi-use path, with two flashing crosswalks and new streetlighting, on Chilliwack River Road to improve active transportation safety. ✦ Upgraded railway crossing signals on Yarrow Central and Vedder Roads to meet new Transport Canada regulations. ✦ Maintenance of surface infrastructure at ten railway crossings. ✦ Replaced two aging traffic signal controllers and completed one full traffic signal upgrade. ✦ Installed back-up battery systems at two signalized intersections in the event of power outages. ✦ Design and permitting of Wastewater Treatment Plan outfall rehabilitation underway. ✦ Completed construction of Promontory Zone 2 Reservoir and Zone 2 and Zone 3 Booster Pump Stations. ✦ Completed installation of a temporary centrifuge facility at the Wastewater Treatment Plant to improve bio-solids removal and management. ✦ Replaced 580 lineal metres of aging downtown stormwater drainage pipe. ✦ Procured a stormwater infrastructure master plan to evaluate the condition of the storm drainage network and to identify infrastructure replacement needs and funding requirements. ✦ Repaired sections of Hope River Road and Camp River Road embankment and roadway damaged by flooding. ✦ Planted 4,500 new trees along sections of Hope River and Camp River Roads.



STRATEGIC GOAL #2 CONTINUED:
GOOD STEWARDSHIP OF MUNICIPAL INFRASTRUCTURE

Ensure proactive and preventative maintenance of roads, utility, water systems, civic facilities, municipal fleet, and other municipal infrastructure to maximize life span.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>MUNICIPAL FACILITY AND FLEET MAINTENANCE</p> <p>Extend the life of buildings by funding repairs and maintenance in a timely manner. Maintain fleet for optimal performance and life span.</p>	<ul style="list-style-type: none"> ✦ Regular maintenance and roof inspections completed. ✦ Major stage lighting system upgrade at Cultural Centre. ✦ New lighting, paint, and layout in the weight room, plus a new divider curtain and refinished floor in the gym at Cheam Leisure Centre. ✦ Installed new ultraviolet system for disinfecting the pool water and replaced sand filter media at the Chilliwack Landing Leisure Centre. ✦ Completed the restoration and finishing of the hardwood flooring in Evergreen Hall. ✦ Completed new addition to City Hall. ✦ Completed interior painting at Evergreen Hall. ✦ Continued the replacement of older fitness and gym equipment at the Cheam Leisure Centre and Chilliwack Landing Leisure Centre. ✦ 527 heavy duty vehicles/equipment serviced and inspected. ✦ Completed over 1,855 repairs and preventative maintenance work orders for equipment and fleet.
<p>WATER QUALITY</p> <p>Ensure an adequate water supply and maintain potable water standards.</p>	<ul style="list-style-type: none"> ✦ Stage 2, 3, and 4 summer watering restrictions implemented, and extended to October 15, to conserve water during drought conditions. ✦ Water samples tested weekly and quarterly through a drinking water quality testing program for a variety of parameters. ✦ Completed the semi-annual water main flushing, reservoir cleaning and production well repairs. ✦ Completed the East Chilliwack groundwater supply feasibility study and exploratory well drilling investigation.



STRATEGIC GOAL #2 CONTINUED:
GOOD STEWARDSHIP OF MUNICIPAL INFRASTRUCTURE

Ensure proactive and preventative maintenance of roads, utility, water systems, civic facilities, municipal fleet, and other municipal infrastructure to maximize life span.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>FLOOD PROTECTION</p> <p>Maintain dikes to provincial standards, ensure adequate drainage and maximize funding opportunities.</p>	<ul style="list-style-type: none"> ✦ Signed Memorandum of Understanding with Sqwá First Nation and Shxwhá:y Village to confirm alignment for a new dike to expand the flood protection area for all three communities. ✦ Signed an agreement together with the province, Semá:th, Matsqui and Leq'á:mel First Nations, and City of Abbotsford to make Sumas Prairie more resilient to flooding. ✦ 47,000 linear channel metres of drainage watercourses, plus three shale traps, were cleaned with approval from Fisheries and Oceans Canada and the Ministry of Water, Land and Resource Stewardship. ✦ All dikes, pump stations and flood boxes inspected and maintained prior to high winter stream flows. Annual 2023 dike inspection reports submitted to BC Inspector of Dikes, as per the provincial Dike Maintenance Act requirements. ✦ Flood Response Plans for the Fraser River and Vedder River are updated annually to provide protocol for monitoring and responding to emergency conditions from high water levels on the respective rivers, under the City of Chilliwack's Emergency Response Plan. ✦ Supported provincial agencies and their consultants as they plan to carry out additional sediment removals in 2024 to address the 440,000 m³ that deposited during the 2021 atmospheric river events. ✦ Received funding through UBCM for the Community Emergency Preparedness Fund Disaster Risk Education funding stream for the Chilliwack Creek Drainage Pump Station Upgrade – Preliminary Engineering Design. ✦ Upgraded three aging culverts with new concrete culverts to improve flow and prevent floodwater backup. ✦ Procured the development of a city-wide urban drainage stormwater model to identify deficiencies in the systems and to inform future capital plans. ✦ Advanced a study focusing on surface water flooding and mitigation in a Chilliwack Proper neighbourhood. ✦ Began a stormwater infrastructure master asset study to gain condition data and prioritize future stormwater utility upgrades.



STRATEGIC GOAL #3:
ENVIRONMENTAL STEWARDSHIP

Encourage waste diversion and a "zero waste" philosophy, reducing energy consumption and greenhouse gases while protecting waterways, riparian zones and airsheds.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>PROTECT WATERWAYS AND RIPARIAN AREAS</p> <p>Enhance fish habitat and maintain Riparian Areas Protection Regulation standards.</p>	<ul style="list-style-type: none"> ✦ Collaborated with First Nations communities, local businesses and community volunteers to remove invasive species and replant native trees and shrubs along creeks. ✦ Mitigative measures undertaken to preserve and enhance fish habitats during open channel drainage maintenance. ✦ Completed an environmental and hydraulic study to identify opportunities for water quality, flow and habitat improvement in the Bell Slough. ✦ Collaborated with Fraser Valley Conservancy to enhance habitat for the Oregon Spotted Frog population. ✦ Supported biannual Adopt-a-River events and other river cleanups undertaken by volunteers. ✦ Completed design for a new culvert crossing at Bell Slough to improve fish habitat.
<p>WASTE DIVERSION</p> <p>Achieve a 75% curbside program waste diversion rate by 2025, promote a "zero waste" philosophy and maximize recycling initiatives.</p>	<ul style="list-style-type: none"> ✦ Achieved curbside diversion rate of 66%, to date. ✦ Zero waste initiatives undertaken including curbside recycling and compostable waste programs, Household Hazardous Waste Day, City-Wide Garage Sales and Shred-A-Thon events. ✦ Curbside recycling contamination rate reduced from 6.2% to 4.8% through weekly recycling audits and education programs. ✦ Introduced a Book Recycling Program at the Bailey Landfill Recycling Depot. ✦ Assisted Fraser Valley Regional District in meeting region-wide separation requirements for recycling and compostable materials through source separation requirements for all properties in Chilliwack and enforcement of surcharges on loads of garbage containing more than 25% compostable waste at the Bailey Landfill. ✦ Single-Use Item Reduction Bylaw increased minimum fees for paper bags to \$0.25 and reusable bags to \$2.00 as per provincial regulation. ✦ Promoted Waste Diversion Kits for event hosts, to provide three-stream collection bins for garbage, recycling, and compost. ✦ Environmental Educational Campaign for local elementary schools to promote stewardship and create Champions of the Environment.



**STRATEGIC GOAL #3 CONTINUED:
ENVIRONMENTAL STEWARDSHIP**

Encourage waste diversion and a "zero waste" philosophy, reducing energy consumption and greenhouse gases while protecting waterways, riparian zones and airsheds.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>AIR QUALITY</p> <p>Protect the airshed, measure greenhouse gas emissions and implement energy efficiency opportunities where feasible.</p>	<ul style="list-style-type: none"> ✦ Followed the provincial Agricultural Environmental Management Code of Practice. ✦ Commenced implementation of the Corporate and Community Climate Action Plans. ✦ Utilized methane from Wastewater Treatment Plant to run biogas boiler to heat anaerobic digesters. ✦ Extracted landfill gas at the Bailey Landfill through horizontal gas collectors and vertical wells. ✦ Completed the Radon Test Kit Challenge by providing residents with 400 free test kits and then reporting the results in partnership with Take Action on Radon, the BC Lung Foundation and Fraser Valley Regional District. ✦ Worked with the Ministry of Environment to respond to air quality complaints. ✦ Enforced the Open Burning Bylaw and promoted alternatives to burning to reduce smoke. ✦ Continued design and construction work recommended by the Active Transportation Plan to encourage more active modes of transportation. ✦ Completed installation of 22 electric vehicle charging port stations in seven locations within the City. ✦ Amended contract terms to include Reclaimed Asphalt Pavement and Warm Mix Asphalt for paving projects, reducing greenhouse gases and waste materials.



**STRATEGIC GOAL #3 CONTINUED:
ENVIRONMENTAL STEWARDSHIP**

Encourage waste diversion and a "zero waste" philosophy, reducing energy consumption and greenhouse gases while protecting waterways, riparian zones and airsheds.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>SUSTAINABILITY</p> <p>Explore renewable energy opportunities, facilitate sustainable transportation and prepare long-term plan for landfill.</p>	<ul style="list-style-type: none"> ✦ Provided free transit for Canada Day and supported implementation for provincially mandated free transit for children under 12. ✦ Converted 867 streetlights from High Pressure Sodium (HPS) to more energy efficient and longer lasting LED fixtures. ✦ Continued converting lighting to LED at Fire Hall #1, Townsend Park, Cheam Leisure Centre and Heritage Park. ✦ Received grant approval and installed a heat pump and energy transfer system to capture waste heat from Chilliwack Coliseum and transfer it to Chilliwack Landing Leisure Centre, resulting in an estimated reduction to City’s greenhouse gas emissions by 553 tonnes (11.6%) per year. ✦ Completed installation of 22 electric vehicle charging port stations in seven locations. ✦ Continued to install solar-powered Rectangular Rapid Flashing Beacon (RRFB) crosswalks. ✦ Changed construction standards to greater efficiency LED street lighting and traffic signals. ✦ Installed storm drainage infiltration systems to support groundwater recharge. ✦ Continued design and construction work recommended by the Active Transportation Plan for sidewalks, multi-use pathways and protected bike lanes. ✦ Completed pre-feasibility study on additional sustainable water supply sources. ✦ Utilized Local Government Climate Action Program funding to support home energy upgrade rebates through the CleanBC Better Homes program and fund active transportation projects. ✦ Converted conventional building thermostats to smart controlled devices. ✦ Installed new LED field lights at Exhibition Field.



STRATEGIC GOAL #4:
STRONG NEIGHBOURHOODS

Support accessibility, inclusion, diversity and truth and reconciliation. Fostering community spirit, attracting community events and supporting cultural groups, while providing high-quality parks and recreational opportunities.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>COMMUNITY CULTURE</p> <p>Foster community spirit by attracting community events and supporting cultural groups, community organizations and public art initiatives.</p>	<ul style="list-style-type: none"> ✦ Funded a large number of block parties and neighbourhood gatherings through the Celebration and Activity Grant Program. ✦ The Chilliwack Public Art Advisory Committee continued to support public art initiatives. ✦ Community Development Initiatives policy funded a number of community non-profit service providers.
<p>PARKS AND TRAILS</p> <p>Provide and enhance quality parks and recreational opportunities.</p>	<ul style="list-style-type: none"> ✦ Installation started on a new multi-use gaming area (MUGA) at Jinkerson Park. ✦ Upgraded the outdoor fitness area in Yarrow Pioneer Park. ✦ Installed off-leash dog areas at Jinkerson Park and Fairfield Park. ✦ Installed accessible rubber surface in Yarrow Pioneer Park playground. ✦ Two parks added to the Parks inventory: Weeden Park and Crimson Ridge Park. ✦ Branding and signage upgrades began on the Vedder Greenway. ✦ Continued work with Fraser Valley Regional District to enhance regional connections in Chilliwack. ✦ Completed phase 1 of the Hope River Trail, from Chartwell Drive to Kinsmen Park, to create a looping opportunity for Little Mountain trails. ✦ Construction began on a new play structure at Sardis Park, featuring accessible play features for children ages 2-5. ✦ Novice pump tracks added to Jinkerson Park and Vedder Park. ✦ Completed the Little Mountain Nature Park Trail loop. ✦ Completed Qoqó:lem Trail and Park at Vedder Mountain. ✦ Installed a drinking fountain at Townsend Park. ✦ Completed parking lot upgrades at Meadowbrook Park. ✦ Completed upgrades to west end parking lot at Townsend Park. ✦ Expanded the parking lot at Yarrow Community Centre. ✦ Completed the Bill Kelly playground at the Landing. ✦ Completed new parking lot at the Landing.



**STRATEGIC GOAL #4 CONTINUED:
STRONG NEIGHBOURHOODS**

Support accessibility, inclusion, diversity and truth and reconciliation. Fostering community spirit, attracting community events and supporting cultural groups, while providing high-quality parks and recreational opportunities.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>INCLUSIVENESS</p> <p>Identify and support projects and programs that nurture accessibility, inclusion and diversity.</p>	<ul style="list-style-type: none"> ✦ Continued implementation of the Mayor’s Task Force on Inclusiveness, Diversity and Accessibility Action Plan. ✦ Developed the Accessibility and Inclusion Advisory Committee. ✦ Installed new fully accessible change room and completed other accessibility upgrades at the Chilliwack Landing Leisure Centre. ✦ Installed a new elevator at the Landing Sports Centre for accessibility. ✦ Supported Pink Shirt Day. ✦ Continued to utilize alternative text on social media to make images more accessible. ✦ Continued to update accessible signage, including parking signs, with a new symbol of access from the Accessible Icon Project. ✦ Provided funding for inclusive events through Community Development Initiatives funding and the Neighbourhood Grant Program. ✦ The new addition to City Hall met or exceeded current accessibility standards. ✦ Installed new accessible doors at existing City Hall building. ✦ Continued to make accessible sidewalk and crosswalk improvements, including the installation of curb letdowns and five new audible crosswalks. ✦ Chilliwack City Council supported and funded the Downtown Chilliwack Business Improvement Association’s Pride and Veterans banner program. ✦ Playground accessibility improvements were included within the 10-year Comprehensive Municipal Plan.



STRATEGIC GOAL #4 CONTINUED: STRONG NEIGHBOURHOODS

Support accessibility, inclusion, diversity and truth and reconciliation. Fostering community spirit, attracting community events and supporting cultural groups, while providing high-quality parks and recreational opportunities.

HOW WE WILL GET THERE

WHAT WE ACHIEVED IN 2023

TRUTH AND RECONCILIATION

Build relationships of mutual respect and understanding with local First Nations.

- ✦ Relationship building continues at the Council level.
- ✦ Ongoing support for Chilliwack Healthier Community and the Opening Doors Task Team.
- ✦ Indigenous led training supported through Reaching Home.
- ✦ Supported Experience Indigenous Culture and Knowledge Day through Chilliwack Healthier Community.
- ✦ Staff utilized the Indigenous author library to further their education and understanding.
- ✦ Honoured the National Day for Truth and Reconciliation.
- ✦ Staff and Council have continued their education with courses including Historical Impacts Training through Stó:lō Nation, as well as attending Community to Community forums.
- ✦ Partnered with Skowkale First Nation to install new speed reader boards on Chilliwack River Road, with funding support from Fraser Health.
- ✦ Completed construction on a new multi-use pathway, including lighting and drainage, on Chilliwack River Road from Promontory Road to Bailey Road, in partnership with Tzeachten First Nation.
- ✦ Continued working with S.A.Y. Lands on the design of a new multi-use pathway, featuring lighting and drainage, along Knight Road from Chilliwack River Road to the Valley Rail Trail.
- ✦ Signed Memorandum of Understanding with Sqwá First Nation and Shxwhá:y Village to confirm alignment for a new dike to expand the flood protection area for all three communities.
- ✦ Signed an agreement together with the province, Semá:th, Matsqui and Leq'á:mel First Nations, and City of Abbotsford to make Sumas Prairie more resilient to flooding.



**STRATEGIC GOAL #5:
VIBRANT ECONOMY**

Contract with CEPCO for economic development and encouragement of development in the downtown area. Work to create an environment that is positive to business creation.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>OPEN FOR BUSINESS</p> <p>Attract and maintain business.</p>	<ul style="list-style-type: none"> ✦ Worked with CEPCO to set mutual priorities for economic development. ✦ Continued to provide low business property taxes and fees compared to other Lower Mainland communities to attract and retain business within the city. ✦ Participating member of the Inter-Municipal Transportation Network Business Licence program for ride hailing services. Uber began service to the city with additional ride hailing services anticipated in the future. ✦ Promoted Industrial Revitalization Tax Exemption Bylaw to attract business expansion and reinvestment within the community. ✦ Worked with the Chilliwack Economic Resource Network to develop and facilitate strategies to assist and support local businesses.
<p>PLANNING</p> <p>Ensure plans are in place to facilitate regional growth predictions.</p>	<ul style="list-style-type: none"> ✦ Chilliwack's Official Community Plan and Comprehensive Municipal Plan continue to accommodate regional growth. ✦ Created an R1-C (Urban Infill) Rezoning Process policy to guide development of infill areas through rezoning and future subdivisions. ✦ Began implementation of the Heritage Strategic Action Plan with a review of the 1991 Heritage Inventory. ✦ Applied for the Housing Accelerator Fund: a competitive grant program from Canada Mortgage and Housing Corporation intended to help speed up housing development and increase housing supply.



STRATEGIC GOAL #5 CONTINUED:
VIBRANT ECONOMY

Contract with CEPCO for economic development and encouragement of development in the downtown area. Work to create an environment that is positive to business creation.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>TOURISM</p> <p>Maintain, enhance and promote Chilliwack's natural beauty and walkability.</p>	<ul style="list-style-type: none"> ✦ Enhanced crosswalks with pedestrian activated flashing beacons at seven locations in the downtown area. ✦ Continued to implement improvements identified in the Cycle Vision and Active Transportation Plans to create connectivity with existing trails and facilities.
<p>DOWNTOWN REVITALIZATION</p> <p>Encourage redevelopment in the downtown area.</p>	<ul style="list-style-type: none"> ✦ Revitalization tax exemptions available to promote business reinvestment in the downtown core. ✦ Multi-phase downtown redevelopment at District 1881 is nearly complete with a number of commercial businesses operating successfully within the site. ✦ Completed storm sewer upgrades on Williams Road and Yale Road to support redevelopment in the downtown area. ✦ Constructed new parking lots at Victoria Avenue and Princess Avenue, including electric vehicle charging stations, streetlights and landscaping. ✦ Completed road rehabilitation on several downtown streets: <ul style="list-style-type: none"> • Yale Road – Williams Street to Charles Street, • Williams Street – Reece Avenue to Yale Road, • Butchart Street – Chilliwack Central Road to McCaffrey Boulevard, • Pearson Street – Chilliwack Central Road to McCaffrey Boulevard, • Lombardy Crescent, • Elm Street – Chilliwack Central Road to Norrish Avenue, • McCaffrey Boulevard – Broadway to Cornwall Crescent. ✦ Approved public art to continue to enhance the downtown area.



STRATEGIC GOAL #6:
CONNECTED COMMUNITY

Provide opportunities to hear from the community, meet with other levels of government and share information throughout the community.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>SHARE INFORMATION</p> <p>Make timely and accurate information available to the community.</p>	<ul style="list-style-type: none"> ✦ Over 50 print ads placed and six radio campaigns run to communicate information. ✦ 31 press releases issued. ✦ Responded to more than 203 media enquiries. ✦ Shared monthly e-newsletters about general City news and transportation projects. ✦ City website updated regularly. ✦ Information shared through the City's Facebook and Twitter accounts five days a week. ✦ The City has 16,103 Facebook and 8,536 Twitter followers. ✦ Created brochures and community information campaigns about water conservation and responsible wastewater management. ✦ Provided education and service alerts through the Curbside Collection app, which has over 25,000 users. ✦ Updated brochures and webpages about Building Protection for commercial developments and redevelopment applications. ✦ Engaged a consultant to prepare neighbourhood profiles that summarize demographic data in easy to read brochures.
<p>RELATIONSHIPS</p> <p>Build and maintain relationships with other governments, organizations, and the community.</p>	<ul style="list-style-type: none"> ✦ Continued to build relationships with the development community. ✦ Ongoing dialogue between City elected officials and other municipal, provincial, federal and First Nations officials.



STRATEGIC GOAL #6 CONTINUED:
CONNECTED COMMUNITY

Provide opportunities to hear from the community, meet with other levels of government and share information throughout the community.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>COMMUNITY FORUMS</p> <p>Provide platforms for community feedback on major issues.</p>	<ul style="list-style-type: none"> ✦ Hosted in-person engagement for water conservation and environmental programs. ✦ Hosted an in-person community engagement event for active transportation and road safety. ✦ Community feedback was collected online, in-person, via email, mail and phone for various initiatives. ✦ Surveys conducted for various initiatives. ✦ Parks Operations used Engage Chilliwack to receive feedback from residents on future park designs in their neighbourhoods. ✦ Utilized online Engage Chilliwack platform for resident input on City Studio projects with the University of the Fraser Valley, naming the City’s bike lane sweeper, the 2024 Financial Plan, and the upcoming curbside contract. ✦ Provided opportunities for residents to engage and participate in planning processes and projects, including open houses and rezoning consultations. ✦ Partnered with the BC Conservation Officer Service and WildSafe BC to host an information session for residents on waste storage requirements and best practices to reduce conflict with wildlife. ✦ Utilized online EngageChilliwack platform to receive input and feedback on budget priorities for the City's Comprehensive Municipal Plan.



STRATEGIC GOAL #7:
ORGANIZATIONAL EXCELLENCE

Employ recruitment strategies that focus on attracting the best workforce, while providing opportunity for internal advancement. Provide focus on workplace safety and on-site training while encouraging ongoing professional development.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>RECRUITMENT</p> <p>Strategize to attract and retain staff.</p>	<ul style="list-style-type: none"> ✦ Focus on opportunities for internal advancement for staff. ✦ Educational opportunities offered to promote advanced knowledge and qualifications.
<p>PROFESSIONAL DEVELOPMENT</p> <p>Encourage employee development and create opportunities for internal advancement.</p>	<ul style="list-style-type: none"> ✦ A combination of virtual and in-person training sessions were completed for a variety of educational courses. ✦ Provided refresher courses on important policy information. ✦ Provided refresher courses in relation to mental health to frontline workers. ✦ Implemented trauma informed workplace training for first responders and staff who work at the RCMP detachment. ✦ Continued to provide employer paid psychological services and counselling to all career firefighters. ✦ Organized a six-part leadership workshop for all Fire Department career staff.
<p>EFFICIENCY</p> <p>Provide fast and efficient service.</p>	<ul style="list-style-type: none"> ✦ Concerns and issues followed up on promptly. ✦ Maintained efficient turnaround times on approvals for all types of development. ✦ Established a web portal that ties into the existing permitting system and cloud-based software associated with building permit applications with funding from the Union of BC Municipalities Local Government Development Approvals Program. ✦ Updated the Design Guidelines for Development Permit Area No. 10 (Coach Houses and Garden Suites) to exempt properties in the Agricultural Land Reserve (ALR) and Ryder Lake.



STRATEGIC GOAL #8:
CUSTOMER SERVICE

Ensure employees receive customer service training in order to provide excellent and efficient service to the public.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>TRAINING</p> <p>Train employees to provide quality customer service.</p>	<ul style="list-style-type: none"> ✦ Customer Service Training provided for new staff members.
<p>WORKPLACE SAFETY</p> <p>Build and maintain a safe and respectful workplace that minimizes work days lost due to injury.</p>	<ul style="list-style-type: none"> ✦ Additional support provided to staff, after an incident, resulting in less Lost Time Incidents and a stronger Return to Work process. ✦ Conducted monthly safety meetings to encourage greater staff engagement. ✦ Staff from all departments represented on three active Joint Health and Safety Committees. ✦ Provided Respectful Conduct in the Workplace training for all staff. ✦ Provided training specific to safety-sensitive work including: <ul style="list-style-type: none"> • Occupational First Aid, • Traffic Control Certification, • Defensive Driving, • Blood Pathogens. ✦ Continued certification training for operationally relevant and safety-sensitive courses including: <ul style="list-style-type: none"> • Fall Protection, • Confined Space Entry and Rescue, • Overhead Crane Operator, • Utility Locating, • Trench and Evacuation, • Forklift. ✦ Training conducted by experienced employees to their colleagues expanded for the Operations Department to include: <ul style="list-style-type: none"> • Crane Operations, • Bucket Truck Operations, • Boom Lift, • Light Duty Snow Plow Operations, • Winter Snow and Ice Control Training. ✦ Continued annual hearing tests and respirator fit testing to maintain employee health and safety. ✦ Provided further knowledge for psychological safety and health education through poster campaigns, educated toolbox talks, and courses.



**STRATEGIC GOAL #9:
COMMUNITY SAFETY**

Offer a wide range of services to support safety and sense of belonging in the community.
Support RCMP initiatives and improvements in traffic safety.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>FIRE AND LIFE SAFETY</p> <p>Provide effective fire and life safety education to the community and increase safety in multi-family residential buildings and gated communities.</p>	<ul style="list-style-type: none"> ✦ Conducted fire safety and emergency preparedness sessions, both virtually and in-person, for 3,059 residents. ✦ Community Risk Reduction programs continued to be developed, including the Community Risk Assessment which is currently 80% complete. ✦ Continued working with building owners to upgrade fire alarm systems in their multi-family residential buildings.
<p>EMERGENCY PREPAREDNESS</p> <p>Prepare for response and recovery of the City in times of disaster and work with First Nations to integrate emergency plans.</p>	<ul style="list-style-type: none"> ✦ Exercised the City’s Emergency Response and Recovery Plan via two tabletop exercises. ✦ Trained additional Emergency Operations Centre (EOC) team members in EOC Essentials and Pipeline Spill Response. ✦ Focused on understanding and providing comment on the new “BC Emergency and Disaster Management Act” and supporting regulations. ✦ Secured approximately \$58,000 in grant funding for EOC upgrades and Emergency Support Services (ESS) supplies. ✦ Recruited and trained eight additional Emergency Support Services (ESS) volunteers.
<p>FIREFIGHTERS</p> <p>Continued firefighter staffing requirement planning and increase quality and quantity of firefighter training and education.</p>	<ul style="list-style-type: none"> ✦ Continued to develop and implement the training passport system to support firefighter and fire officer training and professional development. ✦ Continued on-site improvements at the fire training centre. ✦ Hired one additional full-time career firefighter. ✦ Hired one additional fire inspector/public educator. ✦ Continued working towards maintaining crews of four firefighters, on Engines 1 and 4, at all times. ✦ Trained and equipped career and Paid On-Call firefighters to deliver wildfire suppression. ✦ Provided additional training and education to develop career and Paid On-Call firefighters and fire officers.



STRATEGIC GOAL #9 CONTINUED:
COMMUNITY SAFETY

Offer a wide range of services to support safety and sense of belonging in the community.
 Support RCMP initiatives and improvements in traffic safety.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>TRAFFIC EDUCATION</p> <p>Support road safety initiatives, working with RCMP and ICBC.</p>	<ul style="list-style-type: none"> ✦ Continued Safe Roads initiatives that provided motorists, pedestrians and cyclists with road safety knowledge to reduce crash statistics. ✦ Hosted the annual Chilliwack Safety Fair, sharing safety tips from community partners with hundreds of community members. ✦ Digital pedestrian safety education tools assist all road users in learning about crosswalks, Rectangular Rapid Flashing Beacon crosswalks, and school crossing guards. ✦ A dedicated rail safety web page and regular advertising providing tips and reminders for all road users on safe rail crossing choices.
<p>ADDRESS SOCIAL ISSUES</p> <p>Support improved inter-agency coordination and address homelessness.</p>	<ul style="list-style-type: none"> ✦ Continued work with the Community Safety Governance Committee to implement the Chilliwack Community Safety Plan. ✦ Continued supporting programs to address homelessness, including the establishment of a Wellness Centre (opened in January) offering one-stop health and wellness services, overdose prevention services, and additional supports for outreach. ✦ Received additional grant funding through Reaching Home, supporting projects operated by the following organizations to prevent and reduce homelessness: <ul style="list-style-type: none"> • Cyrus Centre – Indigenous Youth and Youth Outreach. • Salvation Army Homelessness Prevention and Diversion. • Pacific Community Resources Society Housing Hub, Housing and Indigenous Housing Support Facilitators (2); Community Integration and Coordination (Outreach, Situation Table). • Wilma’s Transition Society Homelessness Prevention and Diversion. • Pacific Community Resources Society – Wellness Centre.



STRATEGIC GOAL #9 CONTINUED:
COMMUNITY SAFETY

Offer a wide range of services to support safety and sense of belonging in the community.
 Support RCMP initiatives and improvements in traffic safety.

HOW WE WILL GET THERE	WHAT WE ACHIEVED IN 2023
<p>SAFE PUBLIC SPACES</p> <p>Improve the safety of parks and public spaces.</p>	<ul style="list-style-type: none"> ✦ Crime Prevention Through Environmental Design (CPTED) principles applied in park and public space upgrades. ✦ Continued mobile security patrols: four patrol vehicles worked overnight, and one additional two guard patrol in the downtown and Business Improvement Association area. ✦ Night patrols ensured any temporary shelters in parks were removed at the prescribed time. ✦ High visibility patrols with RCMP, Bylaw and security conducted throughout the downtown core and various commercial areas.
<p>RCMP SUPPORT</p> <p>Support RCMP activities and initiatives and maintain an adequate number of police officers.</p>	<ul style="list-style-type: none"> ✦ Health and Safety Inspection Team shut down one controlled substance/marijuana grow operation and conducted 12 health and safety inspections. ✦ City staff worked cooperatively with RCMP on trouble buildings and hotspots. ✦ Funded three additional members, one support municipal employee and have funded 41 members over the past nine years. ✦ Maintained a population to member ratio of under 800. ✦ Completed conversion of the former Operations building into additional space for the RCMP Detachment, to better serve the needs of public and staff.
<p>BYLAW ENFORCEMENT</p> <p>Provide enhanced bylaw enforcement.</p>	<ul style="list-style-type: none"> ✦ Eight full-time Bylaw Officers provided year-round support including evening and weekend coverage. ✦ Added two uniformed Assistant Managers to assist with day-to-day bylaw enforcement activities. ✦ Four Bylaw Officers completed bicycle training in order to assist with proactive bicycle patrols in the downtown, parks and trails and other hotspot areas. ✦ Two electric bicycles were added to the bicycle fleet to facilitate expanded and more efficient patrols. ✦ On average, Bylaw Officers had over 1,000 interactions with members of the public each month.



Views of Mt. Cheam
 *Tourism Chilliwack*

Department Overviews

Administration

Communications

Corporate Services

Development & Regulatory Enforcement Services (DARES)

Engineering

Finance

Fire Protection

Information Technology

Planning

Public Safety & Social Development

Public Works & Parks

Recreation & Culture

Utility Operations

Subsidiaries

Chilliwack Economic Partners Corporation (CEPCO)

Tourism Chilliwack



ADMINISTRATION

The Chief Administrative Officer (CAO) is appointed by Chilliwack City Council and is accountable to Council for the policies and programs delivered by the City of Chilliwack. As the most senior official in the City's administrative structure, the CAO provides guidance and advice to Council and provides direction to all City departments.

Administration provides support for Council, Committees of Council and departmental operations. By providing guidance to the City's departments, Administration ensures a coordinated and balanced implementation of Council's policies.

This division of local government is responsible for ensuring:

- The most cost effective delivery of services to the public.
- Corporate fiscal responsibility and accountability.
- The provision of efficient, timely and friendly customer service.
- Responsive action to community needs.
- Open communication with the community to create a better understanding and appreciation of Council's role, its policies and its statutory responsibilities.
- Continuation of fostering positive relationships with other levels of government.



2023 HIGHLIGHTS

11

ADVISORY
COMMITTEES

68

ADVISORY COMMITTEE
MEETINGS



COMMUNICATIONS

The City of Chilliwack's Communications Department works directly with Mayor and Council, senior management, and all City departments to support communications, engagement, media relations, marketing and brand management for the City.

The Communications Department is responsible for supporting clear and effective communication and engagement through a variety of methods, including:

- Advertising.
- E-Newsletters.
- Emergency/Crisis communications.
- engagechilliwack.com.
- Public engagement meetings.
- Website and social media content.



In addition to the role of communications, the Communications Department also supports Equity, Diversity and Inclusion initiatives, including education and resources for staff and Council and the Accessibility and Inclusion Advisory Committee (AIAC).

2023 HIGHLIGHTS

31

PRESS
RELEASES

700+

E-NEWSLETTER
SUBSCRIBERS

8,536

TWITTER
FOLLOWERS

16,103

FACEBOOK
FOLLOWERS

1,901

RESIDENTS REGISTERED ON
ENGAGECHILLIWACK.COM



Residents can sign up at chilliwack.com/alertable.

Public Alerting System for Emergencies

- ◆ Launched a new emergency notifications app, Alertable, where residents can sign up for free emergency alerts on their mobile phones, emails, landlines, smart speakers and more.
- ◆ 7,350 subscribers are signed up for alerts.

CORPORATE SERVICES

The Corporate Services Department serves the city in the statutory function of the Corporate Officer, by facilitating council business in the following ways:

- Preparing minutes and agendas.
- Composing, reviewing and providing advice on municipal bylaws.
- Initiating the follow-up action to Council meetings.
- Providing adjudication services for bylaw offences.

The department also provides a variety of services to Council and other City departments:

- Access to information.
- Human Resources:
 - » Benefits administration.
 - » Employee and labour relations.
 - » Occupational health and safety.
 - » Recruitment and selection.
 - » Training and development.
- Liquor licensing.
- Property management.
- Bylaw adjudication system.
- Records management.
- Administrative support services.



2023 HIGHLIGHTS

162

JOB POSTINGS

116

POSITION CHANGES

63

NEW EMPLOYEES HIRED

102

BYLAWS ADOPTED

99

FREEDOM OF INFORMATION
(FOI) REQUESTS

24

COUNCIL MEETINGS

21

PUBLIC HEARING MEETINGS



DEVELOPMENT & REGULATORY ENFORCEMENT SERVICES (DARES)

The Development and Regulatory Enforcement Department manages land development and construction in Chilliwack, ensuring it is designed and constructed utilizing development policies in accordance with the Official Community Plan. In addition to managing development, the department also oversees bylaw enforcement and property records.

Land Development.

- Subdivisions.
- Development Permits (Geotechnical/Environmental/Riparian).
- Development Cost Charges.
- Riparian Areas.
- Property Record Maintenance.

Building Services.

- Permits.
- Inspections.

Bylaw Enforcement.

- Bylaw complaint response.



2023 HIGHLIGHTS

10,381

BUILDING INSPECTIONS

151

NEW SINGLE FAMILY DWELLINGS CONSTRUCTED

422

OTHER DWELLINGS CONSTRUCTED (INC. MULTI-FAMILY)

176

NEW LOTS CREATED

153

LAND DEVELOPMENT APPLICATIONS

96

APPROVED DEVELOPMENTS

22

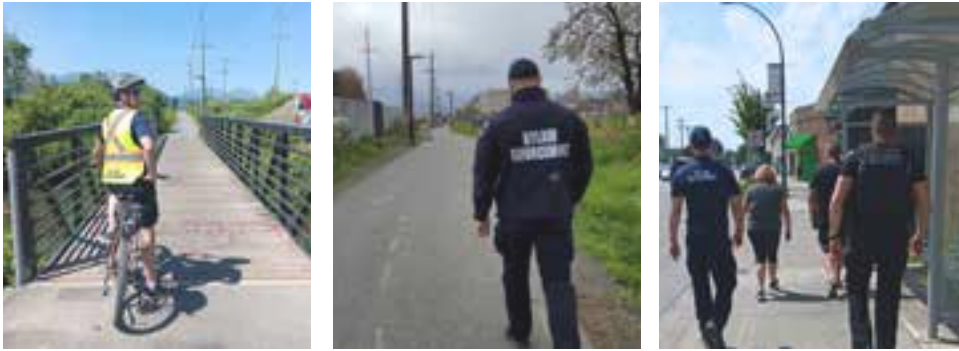
DEVELOPMENT PERMIT APPLICATIONS

14

HEALTH & SAFETY INSPECTIONS



Bylaw Enforcement



- ✓ Added two new supervisory positions to assist with evening and weekend coverage.
- ✓ Purchased two additional bicycles and completed bicycle training with three Bylaw Officers to assist with bicycle patrols.
- ✓ Engaged in proactive bicycle and foot patrols in the downtown core, parks, trails and other hot-spot areas.
- ✓ Over 2,500 complaints received for violations of bylaws relating to unsightly premises, excessive noise and on-street parking.
- ✓ Responded to over 8,500 bylaw infractions relating to parking, camping in prohibited areas or during prohibited times, smoking in parks and other nuisance issues.



ENGINEERING

The Engineering Department is responsible for the planning, design and construction of various infrastructure. This includes the provision of transportation related services, public transit system, drainage and flood protection and sewer and water utilities. Property management services are part of the Engineering Department.

Engineering is also responsible for various environmental initiatives including waste reduction, climate change and biodiversity.

2023 HIGHLIGHTS

Transportation & Drainage

- ✔ Vedder Road at South Sumas Road Intersection.
 - Designated north and southbound left turn lanes.
 - Curb, gutter and 3 m wide sidewalks.
 - Storm sewer system upgrades.
 - 260 m of road widening.
 - Lighting, traffic signal and controller upgrades.



- ✔ Chilliwack River Road Multi-Use Pathway.
 - Partnering agreement with Tzeachten First Nation.
 - \$1M contributed from the BC Active Transportation Grant.
 - Paving, road markings, drainage, street lights and two flashing crosswalks.
 - 3 m wide asphalt pathway to improve safety for pedestrians and cyclists.

- ✔ Electric Vehicle Charging Stations.
 - Chilliwack Tourism Centre.
 - City Hall.
 - Sardis Sports Complex.
 - Chilliwack Landing Leisure Centre.
 - Victoria Avenue parking lot.
 - Chilliwack Courthouse parking lot.



- ✔ Princess Avenue Parking Lot.
 - 34 new parking stalls and streetlighting.
- ✔ Victoria Avenue Parking Lot.
 - 41 new parking stalls and streetlighting.
 - Four stalls have Level 2 chargers for electric vehicles.
 - One-way, from Young Road to Nowell Street, to allow for additional parking.

- ✓ Asphalt Rehabilitation Completed.
 - Dyke Road.
 - Lower Landing Road.
 - Vedder Road and Luckakuck Way intersection.
 - Elk View Road - Payne Road to Ryder Lake Road.
 - Karson Road.
 - Kitchen Road - Ballam Road to Fairfield Road.
 - Prest Road - Trans-Canada Highway to Chilliwack Central Road.
 - Sylvan Drive - Lutz Road to Promontory Road.
 - Yarrow Central Road - No. 3 Road to Eckert Street.
 - Elm Drive - Chilliwack Central Road to Norrish Avenue.
 - Yale Road - Charles Street to Williams Street.
 - Williams Street - Yale Road to Reece Avenue.
 - Railway Crossings:
 - » Lickman Road.
 - » Yarrow Central Road.
 - » Vedder Road.

1,475 M

MULTI-USE
PATHWAYS

867

LED STREETLIGHT
UPGRADES

188 M

NEW STORM
SEWER PIPING

76

NEW LED
STREETLIGHTS

15

NEW STORM DRAINAGE
SOAKAWAYS



7.2 KM

ROADS
RE-PAVED

4

TRAFFIC SIGNAL
REPLACEMENTS

2.53 KM

NEW/IMPROVED
BIKE LANES

2

SPEED READER
BOARDS INSTALLED

3

RECTANGULAR RAPID FLASHING
BEACON CROSSWALKS INSTALLED

- ✓ Downtown Streetlighting - completed installation of ornamental and decorative LED streetlights.
 - Mary Street - Spadina Avenue to Wellington Avenue.
 - Wellington Avenue - Cook Street to College Street.
 - Cook Street - Wellington Avenue to Henderson Avenue.
 - College Street - Wellington Avenue to Young Road.
 - First Avenue - Spadina Avenue to Young Road.
 - Spadina Avenue - Yale Road to Mary Street.



Utilities Division

20%

REDUCTION IN WATER CONSUMPTION DUE TO WATER CONSERVATION MEASURES

27

TOILETS REPLACED THROUGH THE TOILET REBATE PROGRAM

360 M

WATERMAIN UPGRADES

- ✔ Non-Linear Project Completion.
 - One new water reservoir with booster pump.
 - Two additional water booster pump stations.
 - One sanitary lift station replacement.
 - One water production well sound abatement.

- ✔ Wastewater Treatment Plant (WWTP).
 - Sludge Thickener Pilot Project - continued pilot scale rotary drum thickener to reduce excess solids from treatment process.
 - Decanter Centrifuge Project - extracted suspended solids from waste water prior to entering the anaerobic digester, to help reduce the total suspended solids in the plant's process.

Environmental Services



- ✔ Education and Stewardship.
 - Education on human to bear conflict in partnership with BC Conservation Officer Service and WildSafe BC.
 - Educated 600+ students regarding environmental issues.
 - Completed four habitat enhancement projects.

- ✔ Waste Management.
 - Installed a 6,260 m² double geomembrane liner and leachate collection system, to protect ground and surface water, at Bailey Landfill.
 - Household Hazardous Waste Day helped dispose of 25,000 litres of hazard waste.
 - 70 tonnes of scrap metal recycled for free at Bailey Landfill.
 - Five tonnes of waste collected along Vedder and Chilliwack River through Adopt-a-River events.

- ✔ Air Quality and Climate Change.
 - Distributed 200 radon kits in partnership with FVRD and Take Action on Radon.
 - Issued Municipal Top-Ups for Residential Energy Rebates for 45 heat pumps and four electrical service upgrades.



9,015 TONNES
OF COMPOSTABLES
COLLECTED

3,635 TONNES
OF GLASS & MIXED
RECYCLABLES COLLECTED

209 KM
ROADSIDE CLEANED BY 124
ADOPT-A-ROAD GROUPS

255
HOMES PARTICIPATED IN
CITY-WIDE GARAGE SALES

70 TONNES
OF SCRAP METAL RECYCLED
FOR FREE AT BAILEY LANDFILL

66%
DIVERSION RATE THROUGH
CURBSIDE PROGRAM

FINANCE

The Finance Department is responsible for the financial management of the City, which includes:

- Accounts receivable.
- Accounts payable.
- Payroll.
- Property taxes.
- Water/sewer utility billing.
- Curbside recycling and solid waste billing.
- Safekeeping of all financial instruments.
- Investment management.
- Risk management.
- Procurement.
- Inventory Management.

The Finance Department is also responsible for the development of the City's annual Financial Plan (budget), preparation of the annual financial statements, the annual review of the Development Cost Charge (DCC) Bylaw, the preparation of the Annual Report plus annual reporting of financial activities to the Province.

The Purchasing/Stores section oversees the procurement processes for the City, ensuring a fair and open acquisition process that ensures maximum value for the City's procurement.

Finance staff liaise with all City departments and various external organizations, including the RCMP and the Fraser Valley Regional Library, to coordinate the City's financial activities.

2023 HIGHLIGHTS

23,262
MYCHILLIWACK
ACCOUNTS

4,656
TAX PREPAYMENT
PLAN PARTICIPANTS



FIRE PROTECTION

The Chilliwack Fire Department employs 45 full-time and 123 Paid on-Call (POC) firefighters and fire officers responding out of six strategically located firehalls. Our dedicated, well-trained, and well-equipped firefighters proudly serve our community and are expertly supported by four chief fire officers, two administrative support staff, three fire inspectors and two training officers.

We serve our residents and visitors across a wide area covering over 260 square kilometres. We deliver fire protection for various residential, commercial, and industrial occupancies in our rural, suburban and urban areas. Our firefighters and fire officers provide emergency response to a diverse number of incidents such as fires, public service, public hazards, medical aid, motor vehicle incidents, fire alarm activations, burning complaints, rescues and hazardous materials incidents.

2023 HIGHLIGHTS



- ✓ Fire Prevention.
 - Completed 709 Fire Inspections.
 - Educated 3,059 residents.



- ✓ Trained and graduated 20 new Paid on-Call firefighters.



- ✓ Emergency Management.
 - Completed a review of the new BC Emergency and Disaster Management Act.
 - Facilitated a Trans Mountain Pipeline Awareness presentation and exercises to test emergency plans.
 - Provided orientation training for new Emergency Support Services (ESS) team members.
 - ESS members provided over 440 volunteer hours to support local residents during emergency events.

- ✓ Community Events.
 - Participated in various events including Fire Prevention Week, Emergency Services Food Drive and the Christmas Parade.
 - Firefighters Education Fund awarded seven post-secondary financial awards to high school graduates.
 - Firefighters Charitable Society awarded four scholarships to high school graduates.



4,591

TOTAL CALLS FOR SERVICE

The following five leading calls for service accounted for 93% of total calls for service:

1,644

PUBLIC SERVICE INCIDENTS

1,073

ALARMS ACTIVATED

778

FIRES

519

MOTOR VEHICLE INCIDENTS

249

EMERGENCY MEDICAL AID



Sunset Views on Evans Road
📷 *Chilliwack City Staff*

INFORMATION TECHNOLOGY

The Information Technology (IT) Department provides computer related technical support services to all departments of the City. The services include:

- Website development & maintenance.
- Programming services for in-house applications.
- Technical help-desk support.
- Network administration & maintenance.
- PC support.
- Telecommunications.
- Security systems administration.
- Systems Control and Data Acquisition (SCADA) programs monitoring that maintain flows and controls of the water and sewer systems.
- Technical support and tips.

Another function of the IT Department is the Geographic Information Systems (GIS) section. GIS maintains detailed cadastral mapping information that tracks exact lot lines, properties, right of ways, setbacks, zonings and the location of utilities like sewer and water, manholes and fire hydrants.

22,242

PARCELS OF LAND MAINTAINED
IN THE GIS SYSTEM



Image designed using resources by Freepik.com

PLANNING

Planning for the future is important to ensure growth and development are managed wisely, while also being mindful of the diverse needs of our community. The Planning Department is responsible for current and long range planning and development planning.

Long range planning includes the development of land use plans, strategies, policies and regulations to guide growth and development. It also includes studies of key topics, emerging trends and provides guidance to update regulatory tools or shift evolving City practices.

2023 HIGHLIGHTS

618

NEW BUSINESS LICENCES

- ✔ Adopted Building Protection Design Guidelines to support pedestrian activity in commercial areas, and to allow business owners to secure their commercial property, while recognizing Building and Fire Code safety standards.

93

FORM & CHARACTER DEVELOPMENT PERMITS

- ✔ Mapping the City's Density. Introduced new layers within the City's online mapping tool. This feature shows density and population changes over a ten-year period, to show how local neighbourhoods have grown and changed over the years.

65

DEVELOPMENT VARIANCE PERMITS



- ✔ City and Neighbourhood Profiles. Planning consultants hired to prepare profiles including a ten-year community trends overview, using data from the 2011, 2016, and 2021 Census years. Anticipated completion is March 2024.

49

REZONING APPLICATIONS

- ✔ Projects.
 - UFV – Chilliwack City Studio Partnership.
 - Housekeeping updates to the Zoning Bylaw and Official Community Plan.

16

AGRICULTURAL LAND RESERVE APPLICATIONS

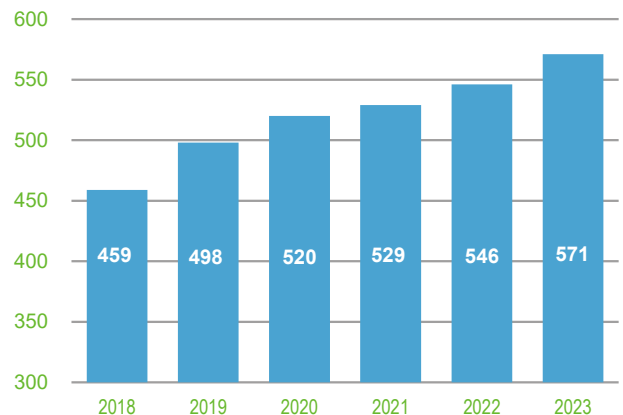
- ✔ Heritage Interest Inventory Review and Update. Consultants updated the City's 1991 Heritage Inventory according to the Standards and Guidelines for the Conservation of Historic Places in Canada.

13

TEMPORARY USE PERMITS



Intermunicipal Business Licences





PUBLIC SAFETY AND SOCIAL DEVELOPMENT

The Public Safety and Social Development Department is responsible for the provision of administrative and support services to Chilliwack RCMP as well as the development and implementation of collaborative plans and initiatives to address social issues and improve community safety.

Police Support Services

The Chilliwack RCMP Community Policing Office (CPO) is part of an Integrated Regional Detachment that serves the Upper Fraser Valley area. The Chilliwack CPO is the operational hub for police services in Chilliwack, supplemented by the City of Chilliwack Crime Prevention Services Office, located in the heart of downtown Chilliwack.

Policing services provided by the Chilliwack RCMP include frontline and community policing, general investigations, serious crimes, traffic safety, drugs and street enforcement. Municipal employees provide administrative and operational support in the areas of exhibits, prisoner guarding, client services, records management, crime analysis, crime prevention services, court services, media relations and fleet maintenance. A large team of dedicated volunteers work with municipal employees and RCMP to deliver crime prevention programs such as Speed Watch, Block Watch, City Watch and the Crime Free Multi-Housing.

Social Development

This section works with a wide range of community partners and senior levels of government to address social issues and improve the health, safety and well-being of the community. Social Development staff are responsible for developing and implementing the following community-based plans and initiatives:

- Chilliwack Healthier Community.
- Chilliwack Homelessness Action Plan.
- Chilliwack Community Safety Plan.
- Reaching Home Projects - funded through Infrastructure Canada to prevent and reduce homelessness.

2023 HIGHLIGHTS

26,900+

VISITS TO THE WELLNESS CENTRE



- ✓ Opened the Wellness Centre, providing a safe, welcoming space for people experiencing homelessness with access to health, social services, shelter and housing services.

38,470

POLICE CALLS FOR SERVICE

- ✓ Established the Mobile Integrated Crisis Team - pairing an RCMP mental health liaison with a psychiatric nurse to respond to residents experiencing mental health crises.



18

SAFETY PRESENTATIONS

- ✓ Reaching Home Program granted over \$1,068,923 to local service providers for the provision of coordinated outreach and housing support services.

28

SCHOOL SAFETY TALKS BY SCHOOL LIAISONS



PUBLIC WORKS AND PARKS

The Public Works and Parks Department maintains over 100 parks and natural areas which together make up over 400 hectares of green space. Most community parks provide a variety of facilities suitable for a day visit, while smaller parks provide playgrounds and often sports courts and picnic tables.

Public Works and Parks also maintains over 400 km of recreational trails, ranging from challenging hillside terrain to easy and flat riverside trails, in addition to over 1,500 km of roads and storm drains.

The Public Works and Parks Department is responsible for the operation and maintenance of the City's:

- Parks and trails.
- Sports fields.
- Roads.
- Open drainage.
- Storm sewer system.
- Dyke infrastructure.

2023 HIGHLIGHTS

3

NEW OFF-LEASH
DOG AREAS CREATED

3

DRINKING FOUNTAINS
INSTALLED AT THREE PARKS

46

NEW PARKING STALLS
ADDED AT TWO PARKS



- ✓ Installed playgrounds for 2 to 5 year old children at Uplands Park and Westview Park.



- ✓ Reconstructed stairs, using metal, at Weeden Park.

- ✓ Installed 46 parking stalls at Yarrow Community Park and Vedder Rotary Trail.

- ✓ Addition of beginner pump tracks in Jinkerson Park and Vedder Park.

- ✓ Replaced playground at Yarrow Pioneer Park.

- ✓ Installed drinking fountains at Crimson Ridge Park, Jinkerson Park and Townsend Park.

- ✓ Installed tire stops and signage at Townsend Park, Hope River Rotary Trail, Meadowbrook Park and the Community Forest.



- ✓ Established 857 metres of trail loop and completed 300-step staircase on northern slope of Little Mountain.

RECREATION & CULTURE

The Recreation & Culture Department is responsible for the coordination and/or provision of leisure services. The department operates a number of facilities, coordinates the use of numerous sports fields and parks and is responsible for community events, public art and facility maintenance.

The department operates and coordinates operations of various facilities:

- 28 civic facilities.
- 58 grass sports fields.
- 68 ball diamonds.
- Atchelitz Hall.
- Cheam Centre.
- Rotary Outdoor Pool.
- Chilliwack Cultural Centre.
- Chilliwack Curling & Community Centre.
- Evergreen Hall.
- Four synthetic turf fields.
- Great Blue Heron Nature Reserve.
- Heritage Park.
- Chilliwack Landing Leisure Centre.
- Landing Sports Centre.
- Libraries - Chilliwack, Sardis, Yarrow.
- Sardis Sports Complex.

2023 HIGHLIGHTS

- ✓ Received a Rick Hansen Foundation Gold Standard Accessibility Certification rating for the Chilliwack Landing Leisure Centre.



124,208

VISITORS TO LANDING LEISURE CENTRE

- ✓ Public Art.
 - Partnered with Chilliwack Community Arts Council to create and install the "Love Lock Heart" at Central Community Park.
 - Installed decorative bike racks at various civic facilities in partnership with Public Art Program and Active Transportation Plan.



- ✓ Supported 97 community events, including Yarrow Days and the Rotary Christmas Parade.

109,419

VISITS TO CHEAM CENTRE



- ✓ Celebration and Activity Grant.
 - 46 events supported.
 - 8,188 residents participated.
 - Provided \$15,738 in Neighbourhood Grant funding to support block parties.

2,343

VISITS TO ROTARY POOL

6,170

MUSEUM VISITS

- ✓ Building Maintenance Projects.
 - Received \$715,000 grant for waste heat recovery system at Coliseum to help reduce carbon dioxide emissions by 55% and reduce energy consumption.
 - Received the BC Hydro Clean Energy Champion Award.

68,241

VISITORS TO CULTURAL CENTRE

UTILITY OPERATIONS

The Utility Operations Department provides water and sewer service to over 20,000 properties within the municipal boundaries. Utility Operations maintains and operates:

- 10 drinking water production wells.
- 15 potable water pump stations.
- 19 water reservoirs.
- 55 sanitary pump stations.
- Four drainage pumping stations.
- Over 1,500 km of sanitary sewer mains and water distribution pipes.
- Wastewater Treatment Plant.

The Utility Operations Department is also responsible for overseeing and monitoring drinking water quality as well as the operation and maintenance of various systems:

- Potable water system.
- Sanitary sewer system.
- Wastewater Treatment Plant.

2023 HIGHLIGHTS

1,855+

REPAIRS & PREVENTATIVE
MAINTENANCE WORK
ORDERS COMPLETED

1,200

FIRE HYDRANTS
DISMANTLED,
SERVICED & REBUILT

580

LINEAL METRES OF AGING
STORMWATER DRAINAGE
PIPE REPLACED

26

ROAD CULVERT
INSPECTIONS

- ✓ Developed a smoke testing program used to identify areas where unwanted groundwater is entering the sanitary system.



- ✓ Purchased a Ground Penetrating Radar (GPR) unit to ensure work site is safe and all sub-surface infrastructure is located prior to excavation.



View from the Vedder Bridge
📷 *Chilliwack City Staff*

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

The Chilliwack Economic Partners Corporation (CEPCO) is a wholly owned subsidiary of the City of Chilliwack, with its own volunteer Board of Directors representing local businesses and community stakeholders.

CEPCO's efforts seek to improve the economic well-being and quality of life for the community. This is accomplished through business attraction, retention and expansion, workforce attraction and promotion, site selection assistance, immigration investment and other related supports and services.

CEPCO maintains strategic community and government stakeholder partnerships. The Chilliwack Agricultural Commission, Chilliwack Creative Commission and Chilliwack Innovation Network provide outlets and platforms for community economic growth.

CEPCO continues to be the lead agency involved in the award-winning development of Canada Education Park that includes the University of the Fraser Valley, RCMP Pacific Region Training Centre, Canada Border Services Agency and Stitó:s Lá:lém Totí:lt Elementary/Middle School.

2023 HIGHLIGHTS



✓ CEPCO.

- Celebrated 25 years of attracting and facilitating economic growth and investment.

✓ Chilliwack Search and Rescue.

- Supported development of the new \$3.7M facility that will improve the operational capacity of BC's third busiest search and rescue organization.

✓ Agriculture Education.

- Collaborated with Chilliwack Chamber of Commerce to produce a video series featuring messages from local agriculture and farming communities about environmental and economic impacts, animal welfare and food security.
- Hosted the 22nd Annual Chilliwack Agriculture Tour which included stops at Rainbow Greenhouses, Dicklands Farms, Dicklands Biogas and Farmhouse Brewing Company.





✔ Industrial Land Development.

- Southern Irrigation opened a new head office on the former Pick-A-Part property after successful redevelopment of this high-profile land.
- Construction began on a new 150-room Marriott brand hotel located at Highway 1 and Lickman Road.

✔ Fraser Valley Alliance (FVA).

- Communities worked together to produce video and marketing content for the FVA website to attract investment to the Fraser Valley region with a focus on agriculture, food processing, manufacturing, clean tech and aerospace.

✔ Health Care.

- Continued partnership with the Chilliwack Division of Family Practice to provide prospective physicians with community tours.
- Provided administrative support for the Chilliwack Hospital Foundation.



✔ Downtown Revitalization.

- Continued construction at District 1881 and the new Chilliwack Community Services building, located at the former Paramount property.
- Continued redevelopment of buildings on Wellington Avenue.
- Completed additional parking spaces in partnership with the City of Chilliwack.

✔ Chilliwack Creative Commission.

- Assisted Chilliwack Independent Film Festival in expanding its industry component.
- Hosted monthly event, Creative Third Thursdays, at Cowork Chilliwack.
- Worked with the film industry to facilitate the production of movies, documentaries and commercials.

CHILLIWACK
BETTER FOR BUSINESS. BETTER FOR LIFE.

BRITISH COLUMBIA CANADA

www.businessinchilliwack.com

www.lifeinchilliwack.com



Thunderbird Lane at District 1881
📷 *Tourism Chilliwack*

TOURISM CHILLIWACK INC.

Led by a private sector Board of Directors, Tourism Chilliwack was incorporated in December 2006 with the City of Chilliwack as the sole shareholder. Tourism Chilliwack was originally established in 1998 as a subsidiary of the Chilliwack Economic Partners Corporation (CEPCO).

Destination management organizations reflect the health and well-being of the local travel industry and directly reflect the impact of the accommodations sector in their communities. It is a success-based model that has a proven track record of success, because it motivates the organization to achieve more, perform better and be creative and innovative.

Additionally, Tourism Chilliwack demonstrates leadership through their work with Indigenous communities with the *Sí:yá:ya Yóyes - Friends Working (Together) Plan*. This plan is tailored to providing tangible contributions to the reconciliation process with Indigenous peoples and to ensure inclusivity in their work.

2023 HIGHLIGHTS

✓ Partnerships.

- Collaborated with District 1881 to promote location for tour operators at the Canadian Inbound Tourism Asia Pacific conference and hosted events including Ugly Christmas Sweater Party and the Pil'alt Coastal Jam.
- Chilliwack Beer Collab - partnered with six breweries to create Chilliwack Berry Bash, a soured ale made with local blackberries, blueberries, and strawberries. Proceeds went to the Adaptive Mountain Biking Collective for new mountain bikes for our local trails.



287,283
FACEBOOK
REACH

149,000+
USES OF
#SHARECHILLIWACK



✓ Launched *Meet the Protectors*, a series showcasing three remarkable residents dedicated to safeguarding natural and cultural heritage.

- Arlene Ladd - The Curator.
- Steve Clegg - The Restorer.
- Eddie Gardner - The Preserver.

22,900
INSTAGRAM
FOLLOWERS

✓ The Fraser Valley Group launched the *Awaken Your Senses* evergreen campaign to promote Fraser Valley as a year-round destination. Since launching, online impressions have exceeded 2.4 million unique profiles.



- ✓ FVRD and City of Chilliwack - worked on projects such as porta potties for the Chilliwack River Valley and trail signage for "Experience the Fraser."
- ✓ Chilliwack Pride Society - supported the Pride Festival through proceeds from fundraising and branded merchandise.
- ✓ Continued marketing with Tourism Fraser Valley (Hope, Harrison, Chilliwack, Mission, Abbotsford, and Langley) in partnership with Destination BC.



Full Moon and Mount Cheam Reflection
📷 *Chilliwack City Staff*

Statistical Information

Building Permits

Building Permit Construction Value

Population

Residential Properties

Municipal Property Tax Distribution

Assessment by Property Class

Total Property Tax Distribution

Taxation by Property Class

Lower Mainland Municipal Taxes

Lower Mainland Municipal Taxes & Utility Charges

Lower Mainland Total Taxes & Charges

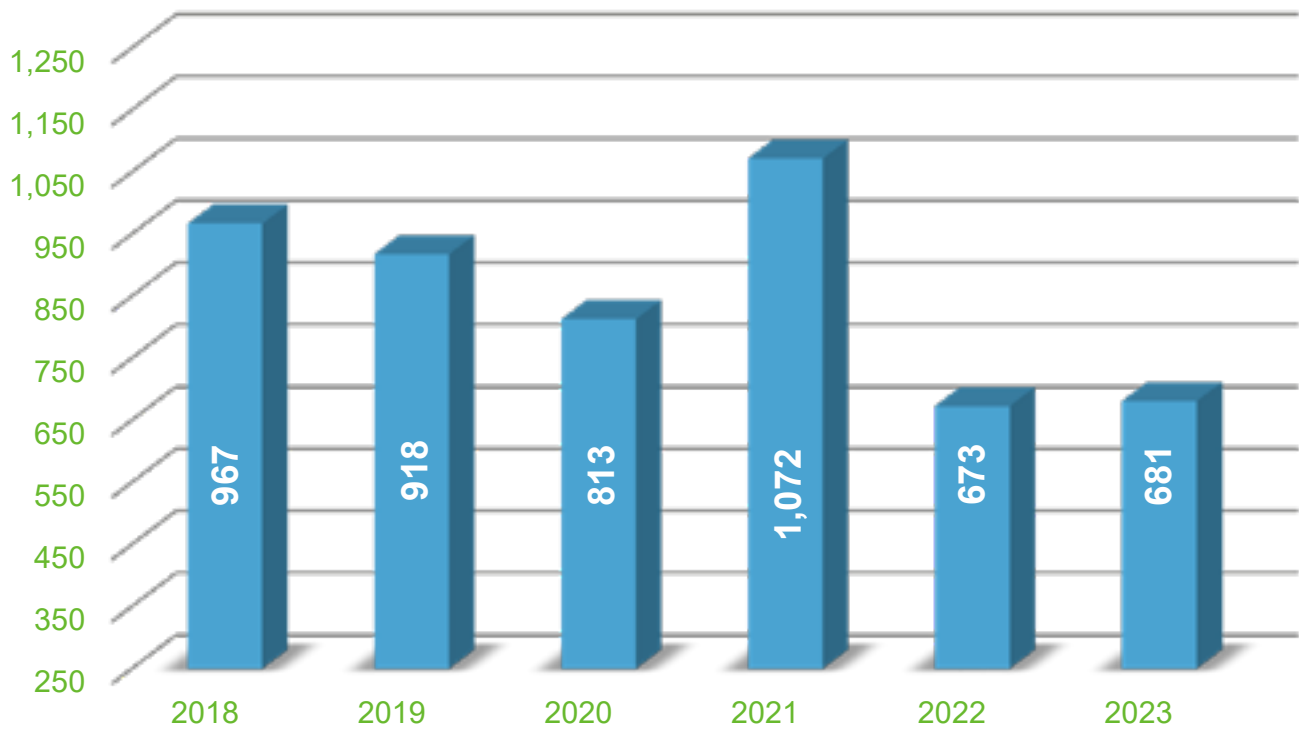
Lower Mainland Business Class Taxation Multiplier

Lower Mainland Representative House Value Comparatives

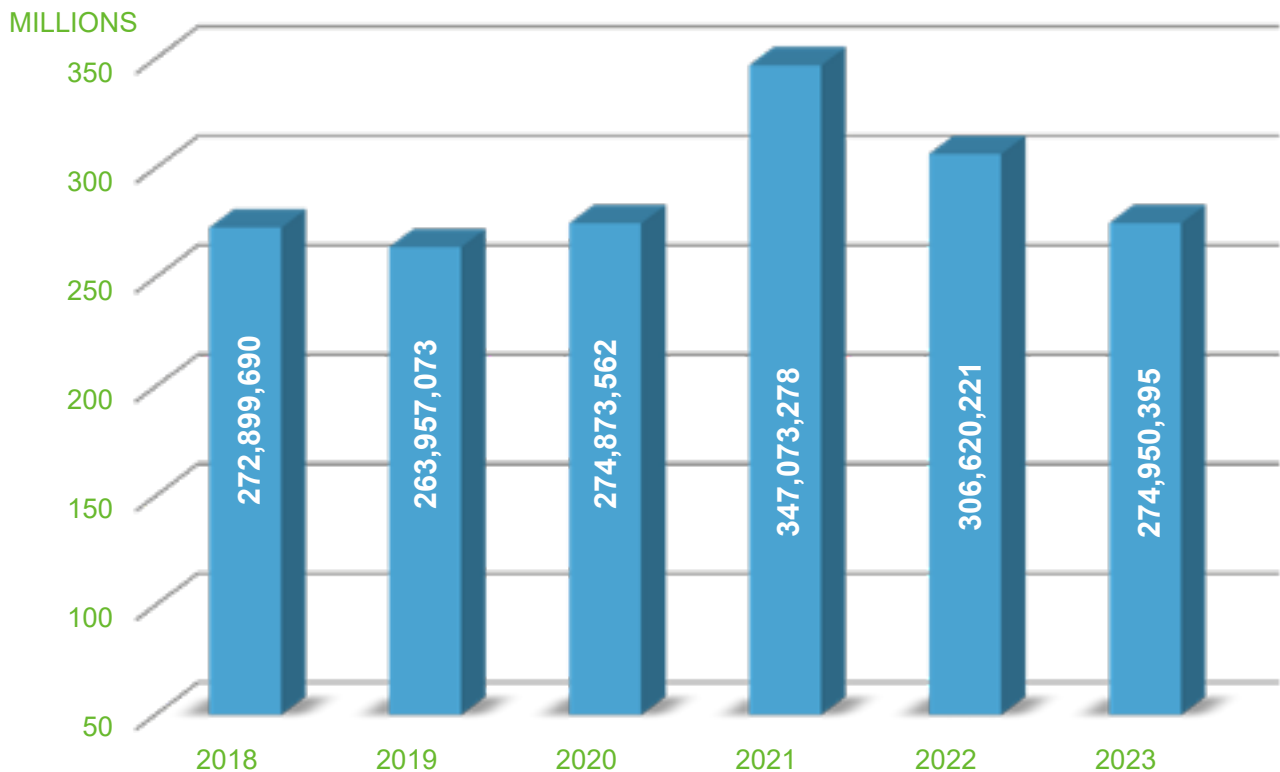
Total Property Assessments

Permissive Tax Exemptions

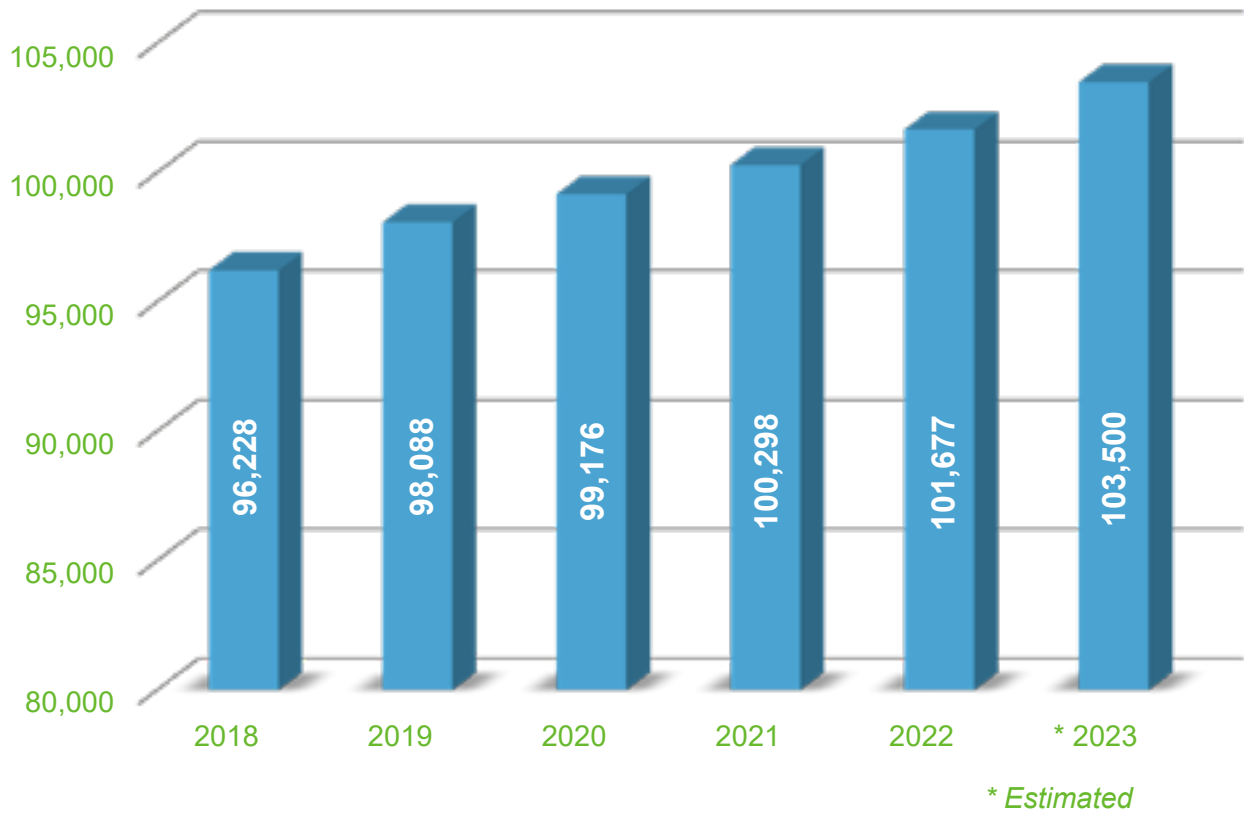
Building Permits



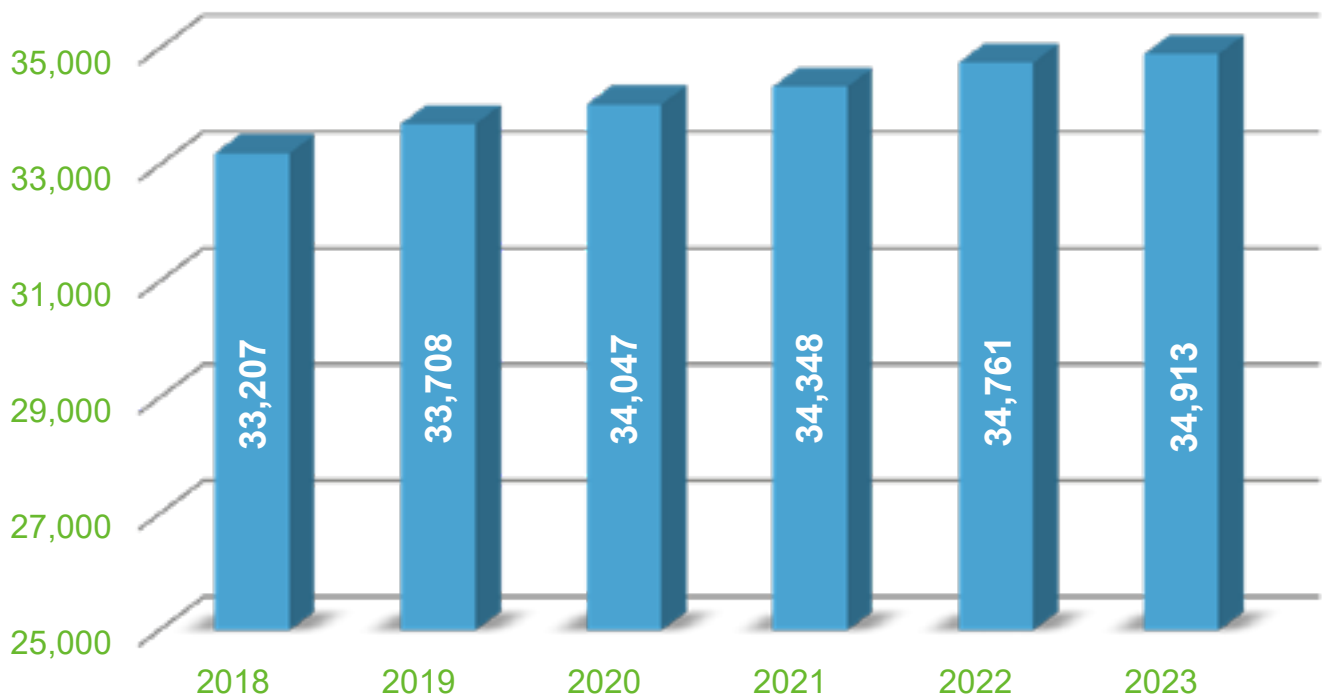
Building Permit Construction Value



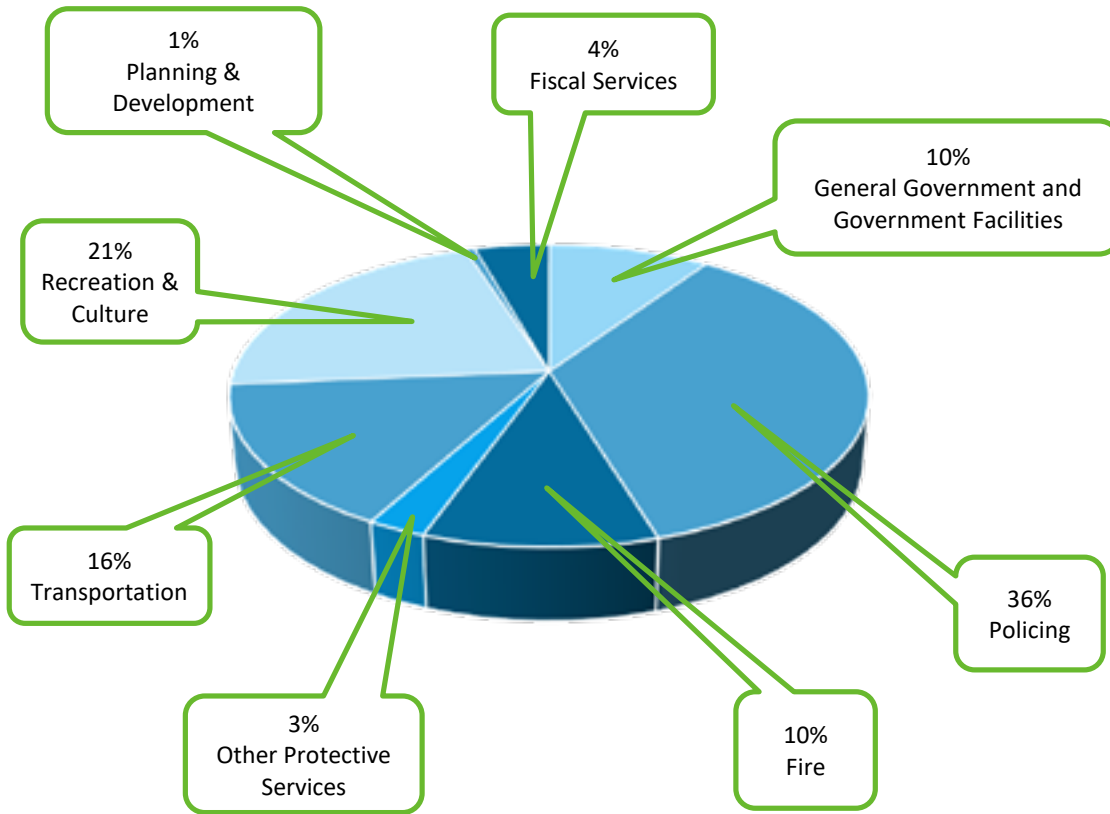
Population



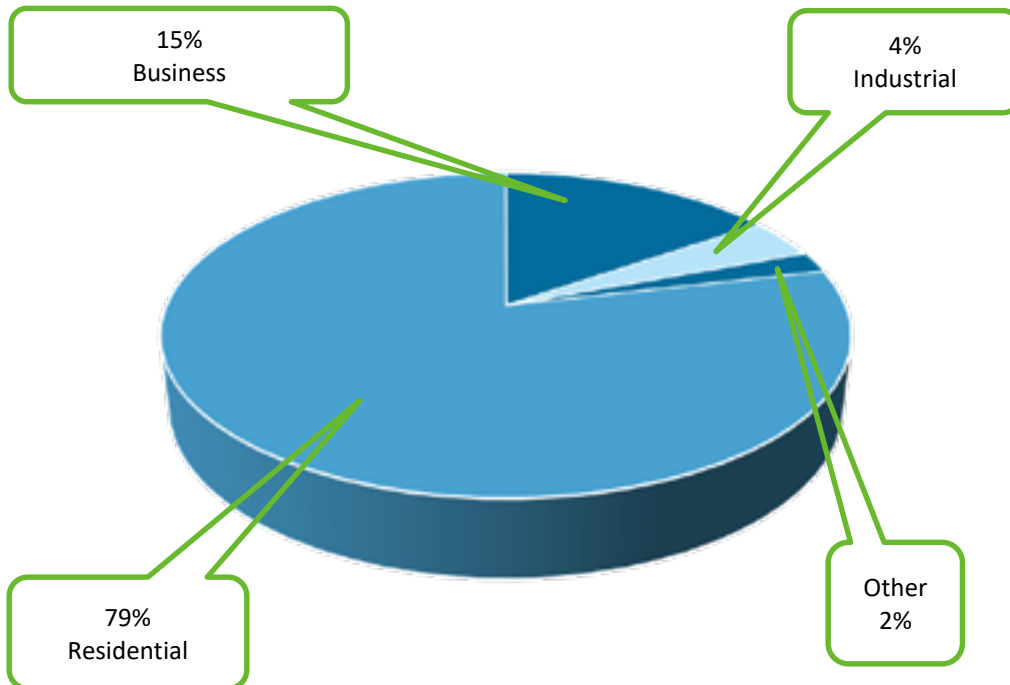
Residential Properties



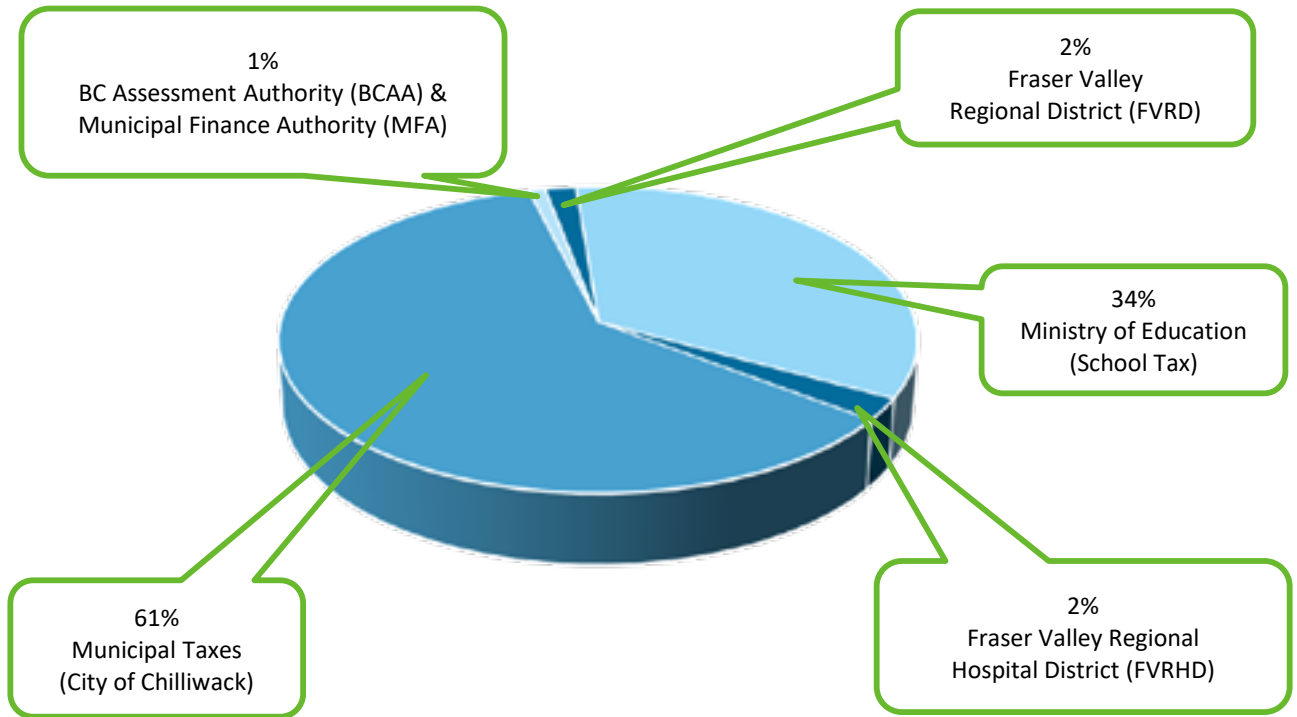
Municipal Property Tax Distribution



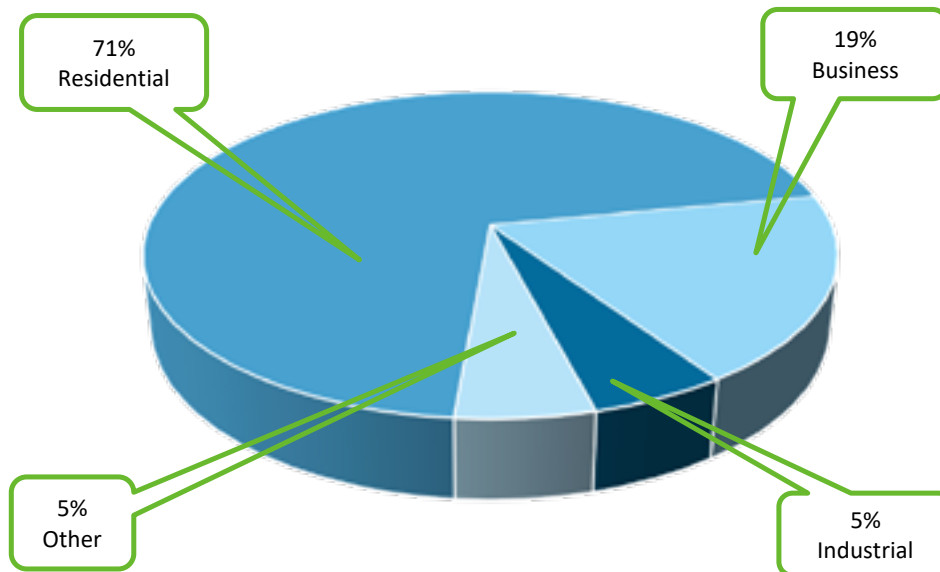
Assessment by Property Class



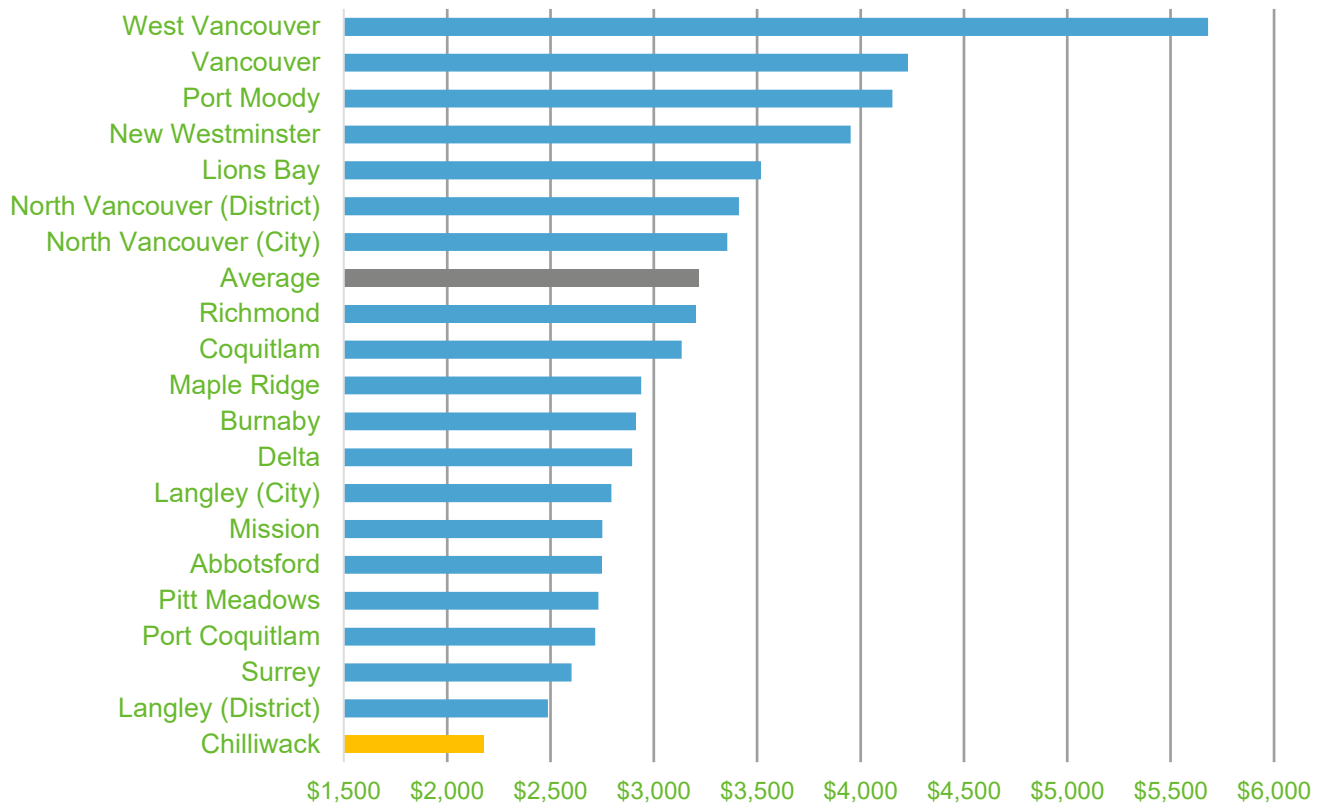
Total Property Tax Distribution



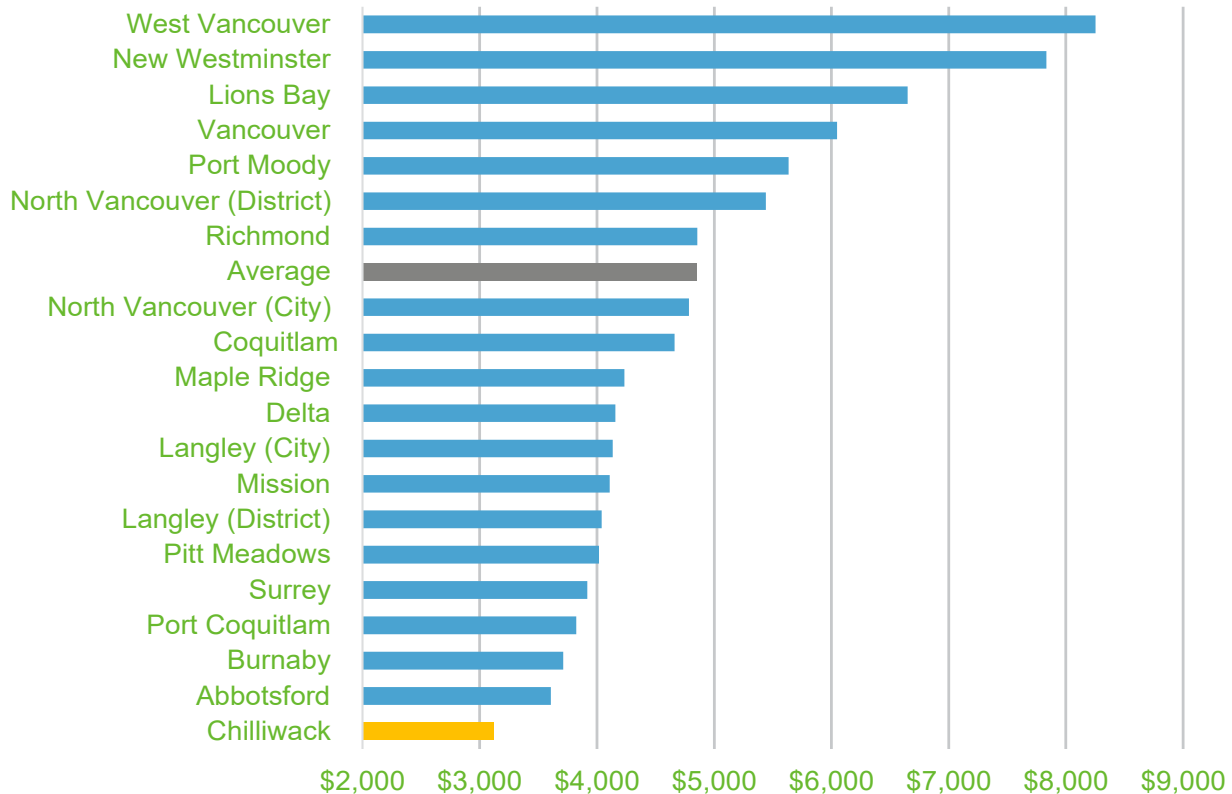
Taxation by Property Class



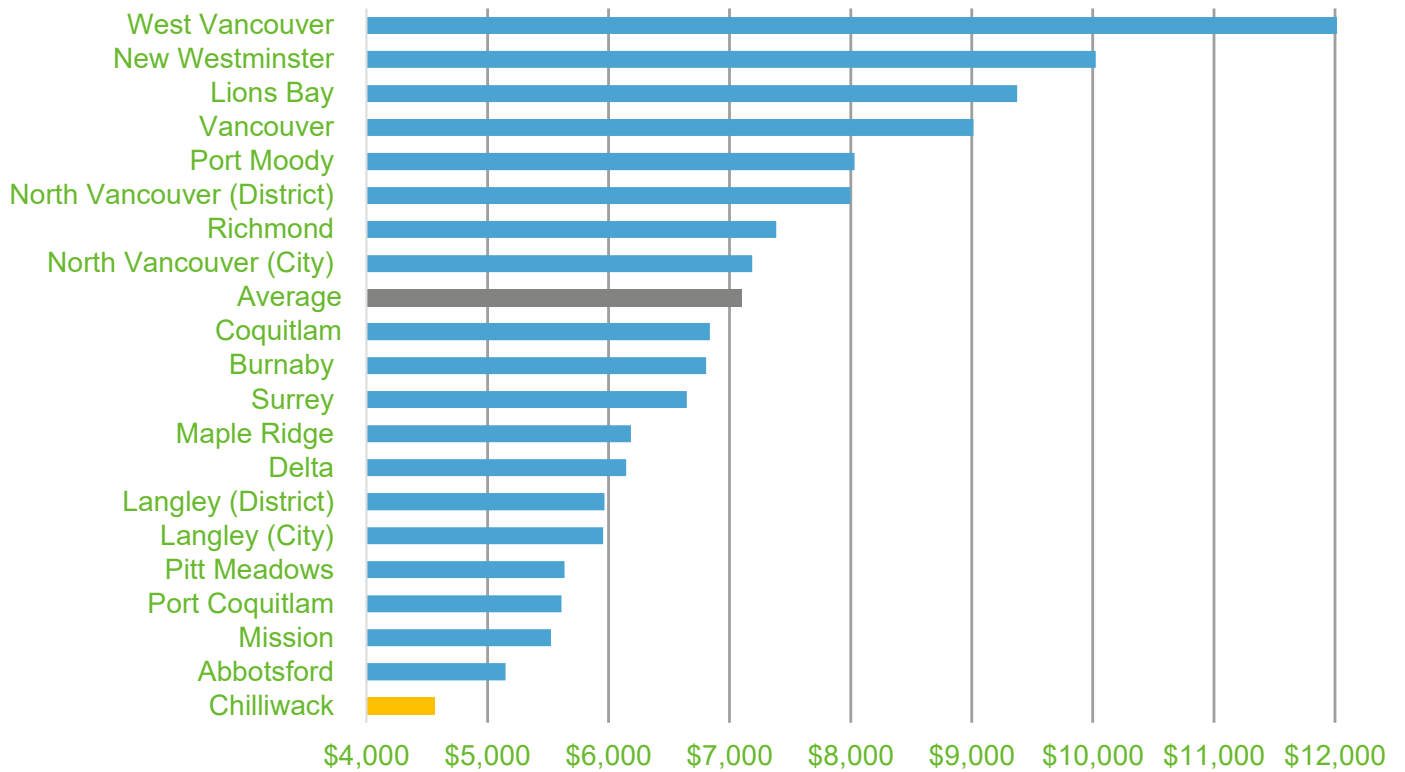
Lower Mainland Municipal Taxes (per Representative House)



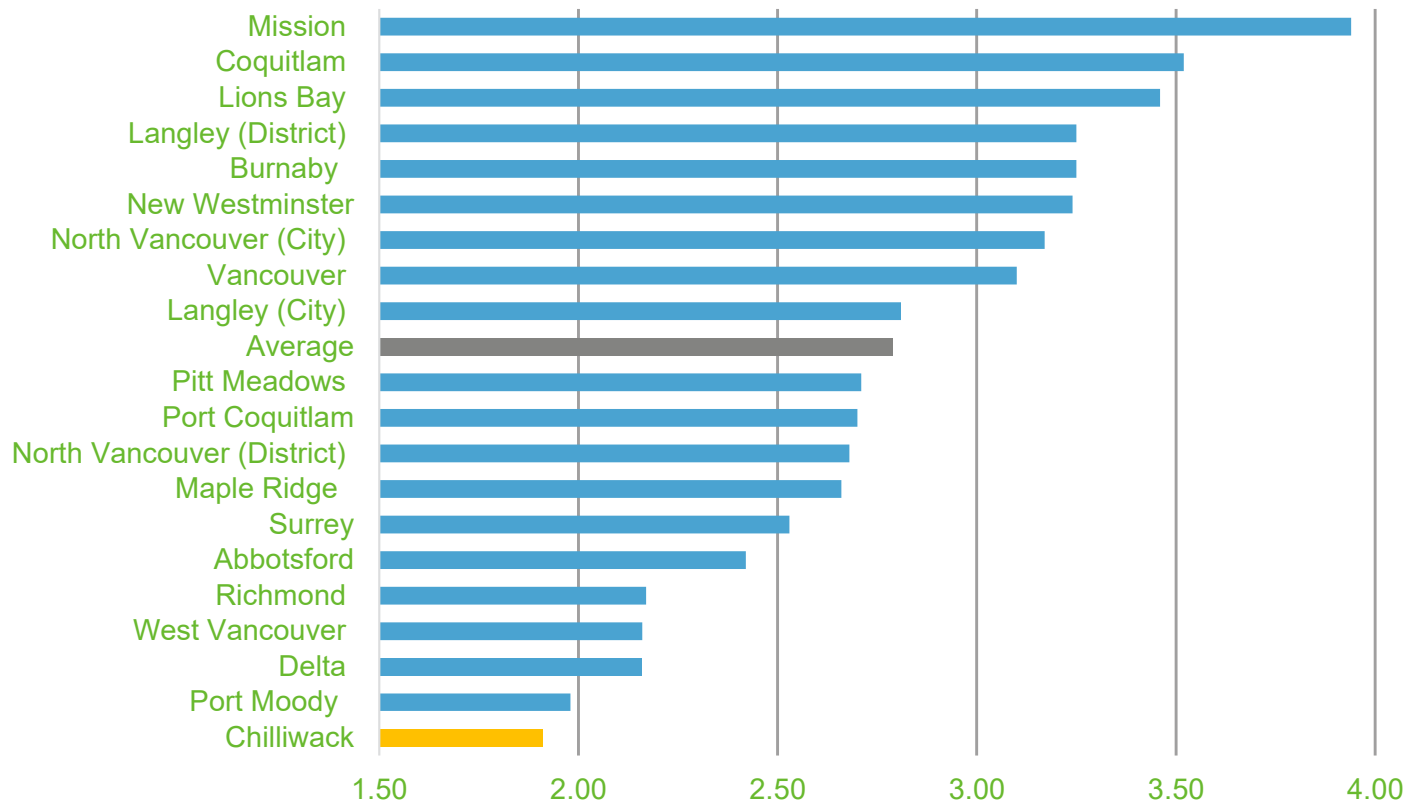
Lower Mainland Municipal Taxes & Utility Charges (per Representative House)



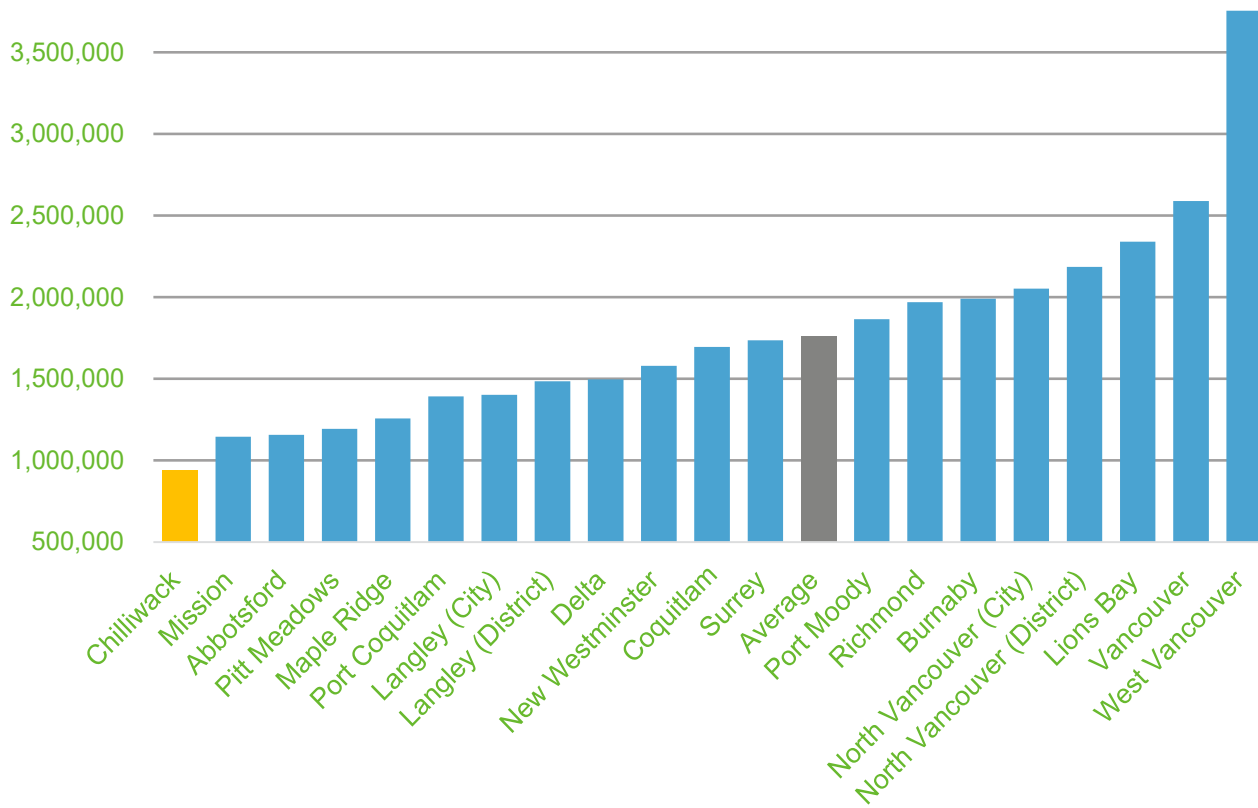
Lower Mainland Total Taxes & Charges (per Representative House)



Lower Mainland Business Class Taxation Multiplier



Lower Mainland Representative House Value Comparatives



Total Property Assessments



Permissive Tax Exemptions

Organization Name	Community Charter Section	2023 Municipal Taxes
Adult & Teen Challenge	Section 224(2)(a)	4,319.88
Ann Davis Transition Society	Section 224(2)(a)	12,001.84
Bethesda Christian Association	Section 224(2)(a)	12,540.35
BCSPCA	Section 224(2)(a)	2,739.81
Camp River Community Hall Society	Section 224(2)(i)	3,353.84
Canadian Red Cross Society	Section 224(2)(a)	3,001.63
Chilliwack Activity Centre (50 Plus)	Section 224(2)(i)	5,598.07
Chilliwack Alano Society	Section 224(2)(a)	3,522.96
Chilliwack Alliance Church	Section 224(2)(f)	12,057.55
Chilliwack Animal Safe Haven	Section 224(2)(a)	6,275.54
Chilliwack Community Services	Section 224(2)(a)	51,712.57
Chilliwack Crime Prevention Society	Section 224(2)(a)	7,011.11
Chilliwack Family YMCA	Section 224(2)(i)	43,675.66
Chilliwack Hospice Society	Section 224(2)(a)	9,623.64
Chilliwack Housing for Homeless Foundation	Section 224(2)(a)	1,184.29
Chilliwack Lawn Bowling Society	Section 224(2)(i)	6,866.67
Chilliwack Lions Club	Section 224(2)(i)	6,885.49
Chilliwack Opportunity Society	Section 224(2)(a)	4,117.22
Chilliwack and District Seniors' Resources Society	Section 224(2)(i)	1,907.76
Chilliwack Society for Community Living	Section 224(2)(a)	87,316.94
Chilliwack Supportive Housing Society	Section 224(2)(a)	7,118.78
Communitas Supportive Care Society	Section 224(2)(a)	4,051.35
Coqualeetza Cultural Education Centre	Section 224(2)(a)	393.51
Creative Centre Society	Section 224(2)(a)	2,613.01
Crossroads Community Church	Section 224(2)(a)	2,129.90
Elizabeth Fry Society of Greater Vancouver	Section 224(2)(a)	3,697.29
Evangelical Christian Church of Chilliwack	Section 224(2)(g)	2,039.53
Evangelical Missionary Church	Section 224(2)(g)	5,443.32
Fraser Valley Child Development	Section 224(2)(a)	16,818.84
Mamele'awt Qweesome Housing Society	Section 224(2)(a)	21,638.43
Midtown Church	Section 224(2)(f)	3,613.90
Pacific Community Resources Society	Section 224(2)(a)	4,945.48
Pentecostal Senior Citizens Society	Section 224(2)(a)	7,586.39
Po Lam Buddhist Assoc	Section 224(2)(g)	1,007.03
Royal Canadian Legion Branch #280	Section 224(2)(a)	2,563.94
Ruth and Naomi's Mission	Section 224(2)(a)	22,254.68
Ryder Lake Farmers'and Womens Institute	Section 224(2)(a)	2,480.64
Seventh-Day Adventist Church	Section 224(2)(g)	715.82
The Nature Trust of BC	Section 224(2)(i)	64,226.38
The Salvation Army	Section 224(2)(a)	46,200.36
Trinitarian Bible Society	Section 224(2)(g)	3,123.60
Valley Heights Community Church	Section 224(2)(g)	8,284.10
Vineyard Christian Fellowship	Section 224(2)(g)	18,767.75
Xolhemet Society	Section 224(2)(a)	2,374.72
Yarrow Alliance Church	Section 224(2)(g)	1,084.92
		\$ 540,886.49



Daisies in the Valley
📷 **Chilliwack City Staff**

Financial Statements

City of Chilliwack

Chilliwack Economic Partners Corporation (CEPCO)

Tourism Chilliwack Inc.

Financial Statements of

CITY OF CHILLIWACK

And Independent Auditors' Report thereon

Year ended December 31, 2023



KPMG LLP
Suite 200 - 9123 Mary Street
Chilliwack BC V2P 4H7
Canada
Telephone (604) 793-4700
Fax (604) 793-4747

INDEPENDENT AUDITOR'S REPORT

To the Mayor and Council of City of Chilliwack

Opinion

We have audited the financial statements of City of Chilliwack (the "City"), which comprise:

- the consolidated statement of financial position as at December 31, 2023
- the consolidated statement of operations and accumulated surplus for the year then ended
- the consolidated statement of changes in net financial assets for the year then ended
- the consolidated statement of cash flows for the year then ended
- and notes to the consolidated financial statements, including a summary of significant accounting policies

(Hereinafter referred to as the "financial statements").

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of the City as at December 31, 2023, and its results of operations, its consolidated changes in net financial assets and its consolidated cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "***Auditor's Responsibilities for the Audit of the Financial Statements***" section of our auditor's report.

We are independent of the City in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.



In preparing the financial statements, management is responsible for assessing the City's ability to continue as a going concern, disclosing, as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the City or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the City's financial reporting process.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit. We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.

The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the City's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditor's report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditor's report. However, future events or conditions may cause the City to cease to continue as a going concern.



- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

KPMG LLP

Chartered Professional Accountants

Chilliwack, Canada

May 7, 2024

CITY OF CHILLIWACK
CONSOLIDATED STATEMENT OF FINANCIAL POSITION
Year Ended December 31, 2023

	2023	2022
Financial Assets		
Cash (Note 3)	\$ 86,980,019	\$ 68,269,879
Portfolio investments (Note 3)	145,897,831	141,693,710
Accounts receivable (Note 4)	26,919,132	24,808,284
	<u>259,796,982</u>	<u>234,771,873</u>
Liabilities		
Accounts payable and accrued liabilities (Note 5)	32,886,602	41,415,295
Development cost charges (Note 6)	55,267,817	44,468,884
Unearned revenue	21,305,948	20,772,236
Refundable deposits	20,937,689	22,700,832
Asset retirement obligation (Note 2)	11,354,632	-
	<u>141,752,688</u>	<u>129,357,247</u>
Net Financial Assets	<u>118,044,294</u>	<u>105,414,626</u>
Non-Financial Assets		
Property under development (Note 7)	9,754,271	9,090,099
Tangible capital assets (Note 8)	899,579,966	877,118,573
Inventories	1,881,952	1,707,085
Prepaid expenses	3,713,322	3,213,117
	<u>914,929,511</u>	<u>891,128,874</u>
Accumulated Surplus (Note 10)	<u>\$ 1,032,973,805</u>	<u>\$ 996,543,500</u>

Contingent liabilities (Note 12)
Commitments (Note 14)
Contractual rights (Note 15)



Glen Savard, CPA, CGA
Director of Finance

See accompanying notes to consolidated financial statements

CITY OF CHILLIWACK

CONSOLIDATED STATEMENT OF OPERATIONS & ACCUMULATED SURPLUS

Year Ended December 31, 2023

	2023 Actual	2023 Budget (Note 16)	2022 Actual
Revenues			
Municipal taxation and grants-in-lieu of taxes	\$ 103,856,044	\$ 103,093,000	\$ 97,966,460
Government grants and transfers (Note 9)	32,556,542	16,596,391	16,952,148
Sale of services	55,917,578	51,952,692	51,718,960
Licences, permits, penalties and fines	5,090,279	4,441,000	5,013,351
Return on investments	7,288,132	1,542,970	3,967,252
Development cost charges	6,307,431	38,202,500	12,107,375
Contributed tangible capital assets (Note 8)	4,820,496	6,580,000	1,343,747
Other revenue	7,394,158	2,259,000	2,584,002
	223,230,660	224,667,553	191,653,295
Expenses			
General government services	13,482,212	13,921,650	13,220,128
Protective services	56,870,177	57,212,350	52,930,738
Engineering, transportation and public works services	31,898,472	37,076,000	29,705,276
Solid waste and environmental services	15,242,471	15,189,700	13,538,313
Water and sewer services	29,007,510	27,444,500	28,561,919
Parks, recreation and cultural services	30,184,180	33,064,300	26,578,244
Planning and development	8,181,604	7,879,442	6,811,208
Interest and other	1,632,478	326,500	618,240
	186,499,104	192,114,442	171,964,066
Annual Surplus Before Other Revenue (Loss)	36,731,556	32,553,111	19,689,229
Other revenue (loss)			
Loss on disposal of tangible capital assets	(301,251)	-	(1,853,998)
Annual Surplus	36,430,305	32,553,111	17,835,231
Accumulated Surplus, beginning of year	996,543,500	996,543,500	978,708,269
Accumulated Surplus, End of Year	\$ 1,032,973,805	\$ 1,029,096,611	\$ 996,543,500

See accompanying notes to consolidated financial statements

CITY OF CHILLIWACK

CONSOLIDATED STATEMENT OF CHANGE IN NET FINANCIAL ASSETS

Year Ended December 31, 2023

	2023 Actual	2023 Budget (Note 16)	2022 Actual
Annual surplus	\$ 36,430,305	\$ 32,553,111	\$ 17,835,231
Acquisition of tangible capital assets	(33,503,546)	(111,904,000)	(44,995,188)
Acquisition of property under development	(664,172)	-	(744,591)
Amortization of tangible capital assets	26,319,505	23,182,339	24,730,743
Capitalization of initial asset retirement obligation (Note 2)	(10,876,887)	-	-
Contributed tangible capital assets	(4,820,496)	(6,580,000)	(1,343,747)
Loss on disposal of tangible capital assets	301,251	-	1,853,998
Proceeds on disposal of tangible capital assets	118,780	-	230,972
	13,304,740	(62,748,550)	(2,432,582)
Change in inventories	(174,867)	-	(168,514)
Change in prepaid expenses	(500,205)	-	639,154
Change in net financial assets	12,629,668	(62,748,550)	(1,961,942)
Net financial assets, beginning of year	105,414,626	105,414,626	107,376,568
Net financial assets, end of year	\$ 118,044,294	\$ 42,666,076	\$ 105,414,626

See accompanying notes to consolidated financial statements

CITY OF CHILLIWACK
CONSOLIDATED STATEMENT OF CASH FLOWS
Year Ended December 31, 2023

	2023	2022
Cash provided by (used for):		
Operating Activities:		
Annual surplus	\$ 36,430,305	\$ 17,835,231
Non-cash items:		
Amortization of tangible capital assets	26,319,505	24,730,743
Accretion of asset retirement obligation	477,745	-
Developer contributions	(4,820,496)	(1,343,747)
Loss on sale of tangible capital assets	301,251	1,853,998
Change in non-cash assets and liabilities:		
Accounts receivable	(2,110,848)	(1,509,468)
Inventories	(174,867)	(168,514)
Prepaid expenses	(500,205)	639,154
Accounts payable and accrued liabilities	(8,528,693)	(2,427,177)
Development cost charges	10,798,933	2,493,124
Unearned revenue	533,712	2,343,615
Refundable deposits	(1,763,143)	(841,809)
	56,963,199	43,605,150
Capital Activities:		
Proceeds on disposal of tangible capital assets	118,780	230,972
Acquisition of tangible capital assets	(33,503,546)	(44,995,188)
Acquisition of property under development	(664,172)	(744,591)
	(34,048,938)	(45,508,807)
Investing Activities:		
Change in portfolio investments	(4,204,121)	32,212,446
	(4,204,121)	32,212,446
Increase in cash	18,710,140	30,308,789
Cash, beginning of year	68,269,879	37,961,090
Cash, end of year	\$ 86,980,019	\$ 68,269,879
Non-cash transaction:		
Initial recognition of asset retirement obligation capitalized to tangible capital assets	\$ 10,876,887	\$ -

See accompanying notes to consolidated financial statements

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

General:

The Municipality was reincorporated as a City in 1999 by way of Letters Patent under the Municipal Act, now the Local Government Act, a statute of the Province of British Columbia. Its principal activities include the provision of local government services to the residents of the incorporated area. These services include administrative, protective, transportation, recreational, water, sewer and fiscal services.

1 Significant accounting policies:

(a) Basis of presentation:

It is the City of Chilliwack's (the "City") policy to follow accounting principles generally accepted for British Columbia local governments and to apply such principles consistently. These consolidated financial statements include the operations of the General, Water, Sewer and Reserve Funds and the City's wholly owned subsidiaries, Chilliwack Economic Partners Corporation ("CEPCO") and Tourism Chilliwack Inc. ("Tourism"). These consolidated statements have been prepared using standards issued by the CPA Canada Public Sector Accounting Handbook. All material interfund and intercompany accounts and transactions have been eliminated.

(b) Portfolio investments:

Portfolio investments are carried at amortized cost. If it is determined that there is a permanent impairment in the value of an investment, it is written down to net realizable value.

(c) Property under development:

Property under development is recorded at the lower of cost or net realizable value and includes direct costs attributable to the project plus any capitalized interest if incurred. The properties are tangible capital assets under development.

(d) Tangible capital assets:

Tangible capital assets are recorded on the basis of cost less accumulated amortization. Cost includes amounts that are directly attributable to acquisition, construction, development or betterment of the asset. The cost is amortized on a straight line basis over their estimated useful lives as follows:

Asset	Useful Life - Years
Land	n/a
Land improvements	0-40
Buildings	40-50
Equipment	4-20
Vehicles	7-25
Engineering structures	10-100

Annual amortization is charged in the year of acquisition. Assets under construction are not amortized until the asset is available for productive use. Infrastructure related tangible capital assets that are contributed from developers as part of a development project, are recorded at fair market value at the date of contribution and recorded in revenue as developer contributions. Works of art and cultural and historic assets are not recorded as assets in these financial statements.

(e) Inventories:

Inventories of supplies are valued at the lower of cost and net realizable value, on a weighted average basis.

(f) Revenue recognition:

Revenues from municipal taxation, grants in lieu of taxes and utility charges are recognized when the levies are billed or billable to the property owner. Revenue from sales of services is recognized when the services are provided. Government grants are recognized when they are approved by senior governments and the conditions required to earn the grants have been completed. Development cost charges are recognized as revenue in the period the funds are expended on an eligible development project. Development cost charges collected, but not yet expended, are reported as an unearned revenue.

(g) Use of estimates:

The preparation of financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities, the disclosure of contingent assets and liabilities and reported amounts of revenues and expenses as at the date of the financial statements. Areas that contain estimates include assumptions used in estimating provisions for accrued liabilities, contingent liabilities, estimated useful lives of tangible capital assets and the value of assets contributed to the City.

Actual results could differ from these estimates.

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

(h) Contaminated sites:

A liability for contaminated sites is recognized when a site is not in productive use and the following criteria are met:

- (i) An environmental standard exists;
- (ii) Contamination exceeds the environmental standard;
- (iii) The City is directly responsible or accepts responsibility;
- (iv) It is expected that future economic benefits will be given up; and
- (v) A reasonable estimate of the amount can be made.

The liability is recognized as management's estimate of the cost of post-remediation including operation, maintenance and monitoring that are an integral part of the remediation strategy for a contaminated site.

2 Adoption of new accounting standards:

(a) PS3280 Asset Retirement Obligations:

On January 1, 2023, the City adopted Canadian public sector accounting standard PS3280 Asset Retirement Obligations (PS3280). An asset retirement obligation is recognized when, as at financial reporting date, all of the following criteria are met:

- (i) There is a legal obligation to incur retirement costs in relation to a tangible capital asset;
- (ii) The past transaction or event giving rise to the liability has occurred;
- (iii) It is expected that future economic benefits will be given up; and,
- (iv) A reasonable estimate of the amount can be made.

The estimate of the asset retirement obligation includes costs directly attributable to the asset retirement activities and is recorded as a liability and increase to the related tangible capital assets if the tangible capital asset is in productive use. The asset retirement obligation is recorded as a liability and expense if the related tangible capital asset is unrecognized or no longer in productive use. The City determined that there were significant asset retirement obligations associated with its tangible capital assets as at December 31, 2023 and December 31, 2022 and has adopted of this standard on a prospective basis.

As a result of the introduction of PS3280, PS3270 Solid Waste Landfill Closure and Post-Closure Liability was withdrawn and the City landfill is now accounted for under the provisions of PS3280.

As a result of the adoption of the new standard, the City set up an obligation of \$10,876,887 as of January 1, 2023 and increased the corresponding tangible capital asset by the same amount. The obligation is then increased over time as the underlying asset approaches its expected retirement date.

The prior provision for the landfill liability of \$5,031,200 is recorded as a recovery of expenses and is included in other revenue in the consolidated statement of operations and accumulated surplus.

The impact of the adoption of the standard is as follows:

Landfill liability as at December 31, 2022	\$	5,031,200
Recovery of expenses		(5,031,200)
Initial adoption of PS3280		10,876,887
Accretion expense		477,745
Asset retirement obligation as at December 31, 2023	\$	11,354,632

(b) PS3450 Financial Instruments and related standards:

On January 1, 2023, the City adopted Canadian public sector accounting standard PS3450 Financial Instruments, PS2601 Foreign Currency Translation, PS1201 Financial Statement Presentation and PS3041 Portfolio Investments. Under PS3450 Financial Instruments, all financial instruments are included on the statement of financial position and are measured at either fair value or cost or amortized cost based on characteristics of the instrument and the City's accounting policy choices (see note 1(b)).

The adoption of these standards did not have an impact on the amounts presented in these financial statements.

3 Restricted assets:

The City has restrictions on the portfolio investments and cash available for operational use as follows:

	2023	2022
Cash	\$ 86,980,019	\$ 68,269,879
Portfolio Investments	145,897,831	141,693,710
	232,877,850	209,963,589
Less restricted for:		
Statutory Reserve Funds	35,173,453	22,960,547
Restricted Revenue	55,762,379	43,028,607
	90,935,832	65,989,154
Funds available for operational use	\$ 141,942,018	\$ 143,974,435

The investment portfolio includes bonds of chartered banks, the Government of Canada and provincial governments; deposits and notes of chartered banks, credit unions, the Government of Canada and provincial governments; and deposits in the Municipal Finance Authority short term investment pools.

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

4 Accounts receivable:

	2023	2022
Taxes	\$ 5,530,064	\$ 4,372,988
Province of British Columbia	3,383,988	3,182,916
Government of Canada	1,176,864	1,458,580
Regional and local governments	594,014	343,305
Trade receivables	5,011,692	4,670,817
Accrued interest	3,065,916	1,630,375
Water trade receivables	3,374,395	3,418,063
Sewer trade receivables	4,287,637	4,290,963
Development cost charges	494,562	1,440,277
	\$ 26,919,132	\$ 24,808,284

5 Accounts payable and accrued liabilities:

	2023	2022
Trade payables	\$ 20,324,277	\$ 18,152,599
Province of British Columbia	3,344,737	3,002,730
Government of Canada	8,659,029	13,056,667
Regional and local governments	558,559	2,172,099
Landfill closure and post-closure costs	-	5,031,200
	\$ 32,886,602	\$ 41,415,295

6 Development cost charges:

The development cost charge liability, reported as unearned revenue, represents funds received from developers for capital infrastructure expenditures required as a result of their development projects. As these funds are expended on eligible projects, the liability is reduced and the amount expended reported as revenue.

Developers are entitled to pay development cost charges (DCCs) in equal installments over two years if the total amount payable is equal to or greater than \$50,000. Installments due for the next two years are included in accounts receivable and are guaranteed by the developer by providing an irrevocable letter of credit payable to the City of Chilliwack for the remaining amount of DCCs owing. As at December 31, 2023, the amount of the DCCs due over the next two years is \$494,562 (2023 - \$1,440,277).

Assets are not physically segregated to meet the requirements of the restricted revenues. As related expenditures are incurred, revenue is recognized.

7 Property under development:

The property under development relates to projects of Chilliwack Economic Partners Corporation as follows:

	2023	2022
Canada Education Park	\$ 3,258,792	\$ 3,258,792
Downtown Redevelopment	6,495,479	5,831,307
	\$ 9,754,271	\$ 9,090,099

CITY OF CHILLIWACK
NOTES TO CONSOLIDATED FINANCIAL STATEMENTS
Year Ended December 31, 2023

8 Tangible capital assets:

	2023					
	Opening Cost	Additions	Initial asset retirement obligation	Disposals	Change - Under Construction	Closing Cost
General						
Land	\$ 153,062,208	\$ 5,308,312	\$ -	\$ -	\$ -	\$ 158,370,520
Buildings	147,900,301	18,306,655	2,205,225	(393,921)	-	168,018,260
Equipment and vehicles	49,956,088	4,435,415	-	(797,728)	-	53,593,775
Engineering structures	444,610,796	19,350,628	8,444,741	(1,321,322)	-	471,084,843
Under construction	33,870,442	-	-	-	(15,990,440)	17,880,002
	829,399,835	47,401,010	10,649,966	(2,512,971)	(15,990,440)	868,947,400
Water						
Land	2,026,328	-	-	-	-	2,026,328
Buildings	27,173	-	-	-	-	27,173
Equipment and vehicles	4,212,885	775,420	-	-	-	4,988,305
Engineering structures	205,543,439	5,459,631	153,194	(12,774)	-	211,143,490
Under construction	4,097,216	-	-	-	(2,461,379)	1,635,837
	215,907,041	6,235,051	153,194	(12,774)	(2,461,379)	219,821,133
Sewer						
Land	1,643,155	-	-	-	-	1,643,155
Equipment and vehicles	3,211,189	10,205	-	-	-	3,221,394
Engineering structures	286,714,581	2,379,061	-	-	-	289,093,642
Under construction	2,455,821	-	-	-	685,781	3,141,602
	294,024,746	2,389,266	-	-	685,781	297,099,793
CEPCO						
Land	196,196	-	-	-	-	196,196
Buildings	5,388,816	3,815	73,727	-	-	5,466,358
Equipment	293,332	1,863	-	-	-	295,195
	5,878,344	5,678	73,727	-	-	5,957,749
Tourism Chilliwack						
Goodwill	6,120	-	-	-	-	6,120
Buildings	127,913	-	-	-	-	127,913
Equipment	226,662	59,075	-	-	-	285,737
	360,695	59,075	-	-	-	419,770
	\$ 1,345,570,661	\$ 56,090,080	\$ 10,876,887	\$ (2,525,745)	\$ (17,766,038)	\$ 1,392,245,845

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

8 Tangible capital assets (continued):

	Opening Accum. Amort.	2023 Amortization	Disposals	Ending Accum. Amort	NBV 2023	NBV 2022
General						
Land	\$ -	\$ -	\$ -	\$ -	\$ 158,370,520	\$ 153,062,208
Buildings	63,407,662	3,962,413	(100,152)	67,269,923	100,748,337	84,492,639
Equipment and vehicles	30,039,427	3,230,567	(756,482)	32,513,512	21,080,263	19,916,661
Engineering structures	185,339,870	9,535,759	(1,236,306)	193,639,323	277,445,520	259,270,926
Under construction	-	-	-	-	17,880,002	33,870,442
	278,786,959	16,728,739	(2,092,940)	293,422,758	575,524,642	550,612,876
Water						
Land	-	-	-	-	2,026,328	2,026,328
Buildings	6,824	1,949	-	8,773	18,400	20,349
Equipment and vehicles	1,789,095	475,245	-	2,264,340	2,723,965	2,423,790
Engineering structures	76,575,624	3,398,460	(12,774)	79,961,310	131,182,180	128,967,815
Under construction	-	-	-	-	1,635,837	4,097,216
	78,371,543	3,875,654	(12,774)	82,234,423	137,586,710	137,535,498
Sewer						
Land	-	-	-	-	1,643,155	1,643,155
Equipment and vehicles	1,692,509	209,155	-	1,901,664	1,319,730	1,518,680
Engineering structures	107,245,839	5,312,510	-	112,558,349	176,535,293	179,468,742
Under construction	-	-	-	-	3,141,602	2,455,821
	108,938,348	5,521,665	-	114,460,013	182,639,780	185,086,398
CEPCO						
Land	-	-	-	-	196,196	196,196
Buildings	1,760,550	151,465	-	1,912,015	3,554,343	3,628,266
Equipment	256,205	7,850	-	264,055	31,140	37,127
	2,016,755	159,315	-	2,176,070	3,781,679	3,861,589
Tourism Chilliwack						
Goodwill	-	-	-	-	6,120	6,120
Buildings	120,128	756	-	120,884	7,029	7,785
Equipment	218,355	33,376	-	251,731	34,006	8,307
	338,483	34,132	-	372,615	47,155	22,212
	\$ 468,452,088	\$ 26,319,505	\$ (2,105,714)	\$ 492,665,879	\$ 899,579,966	\$ 877,118,573

The fair value of tangible capital assets contributed to the City during the year is as follows:

	2023	2022
Engineering structures	\$ 3,358,116	\$ 1,263,547
Water	359,246	78,175
Sewer	869,134	2,025
Land	234,000	-
	\$ 4,820,496	\$ 1,343,747

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

9 Government grants and transfers

Included in government grants and transfers are Federal Gas Tax Revenue Agreement Funds of \$3,907,240 (2022 - \$3,745,554).

Gas Tax funding is provided by the Government of Canada. The use of the funding is established through a funding agreement between the Municipality and the Union of British Columbia Municipalities. Gas Tax funding may be used towards designated public transit, local roads and bridges, community energy, water, wastewater, solid waste, disaster mitigation, amateur sport and recreation, culture, tourism and capacity building projects as specified in the funding agreement.

Also included in government grants and transfers are funds received through the Growing Communities Fund (GCF).

The Province of British Columbia distributed conditional GCF grants to communities at the end of March 2023 to help local governments build community infrastructure and amenities to meet the demands of population growth. The GCF provided a one-time total of \$1 billion in grants to all 161 municipalities and 27 regional districts in British Columbia.

The City of Chilliwack received \$16,392,000 of GCF funding in March 2023.

Growing Communities Fund	2023
Balance, beginning of year	\$ -
Funding received	16,392,000
Less: eligible costs	
Public safety/emergency management equipment and facilities	(129,251)
Active transportation amenities	(39,521)
Park upgrades and amenities	(976,722)
Add: interest earnings	256,372
Growing Communities Fund Surplus, End of Year	\$ 15,502,878

10 Accumulated surplus:

Accumulated surplus consists of individual fund surplus, statutory reserves and surplus invested in tangible capital assets as follows:

	2023	2022
Operating Funds		
Unrestricted:		
General	\$ 10,064,027	\$ 10,747,330
CEPCO	1,865,083	1,829,079
Tourism	1,522,888	1,110,827
Water Fund	3,450,000	3,350,000
Sewer Fund	3,560,000	3,560,000
Building - Protective Services	502,957	2,957
Landfill	15,372,109	11,530,809
Sewer future works	13,998,785	9,125,650
Water future works	12,404,838	10,896,923
Work-in-progress	8,064,400	10,635,500
Soil removal	394,256	450,976
Federal Gas Tax Agreement funds	13,980,399	12,735,704
Other	14,163,260	11,398,525
	99,343,002	87,374,280
Statutory Reserve Funds		
General Capital	11,900,275	15,605,524
Equipment Replacement	6,490,287	6,152,016
Growing Communities	15,502,878	-
Subdivision Control	1,280,013	1,203,008
	35,173,453	22,960,548
Investment in Tangible Capital Assets & Property Under Development		
General	564,874,676	550,612,876
Water	137,433,516	137,535,498
Sewer	182,639,780	185,086,398
CEPCO	13,462,223	12,951,688
Tourism	47,155	22,212
	898,457,350	886,208,672
	\$ 1,032,973,805	\$ 996,543,500

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

11 Collections for other governments:

The City collects and remits taxes on behalf of other government jurisdictions as follows:

	2023	2022
B.C. Assessment Authority	\$ 1,494,105	\$ 1,336,956
Fraser Valley Regional Hospital District	3,694,089	3,447,450
Municipal Finance Authority	8,509	7,233
Ministry of Education	54,197,174	47,816,863
Fraser Valley Regional District	2,758,144	2,643,441
	\$ 62,152,021	\$ 55,251,943

These taxes are not included in revenues within the Consolidated Statement of Operations and Accumulated Surplus of the City.

12 Contingent liabilities:

- (a) The City, as a member of the Fraser Valley Regional District, is responsible for its proportion of any operating deficits or long term debt related to functions in which it participates. Any liability which may arise as a result will be accounted for in the period in which the required payment is made.
- (b) The City is currently engaged in certain legal actions. Of the claims the City is defending, certain claims are covered by the City's insurers and/or other parties. The City accrues for claims for which the amounts are known or can be reasonably estimated. The outcome of other claims is undeterminable at this time and, accordingly, no provision has been made for these actions.
- (c) The City and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2023, the plan has about 240,000 active members and approximately 124,000 retired members. Active members include approximately 43,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of an unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as of December 31, 2022, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.

The City expensed \$3,226,740 (2022 - \$3,106,376) for employer contributions to the Plan in fiscal 2023.

The next valuation will be as at December 31, 2024.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

- (d) The City has issued various letters of credit on behalf of the Department of Fisheries and Oceans totalling \$853,243 (2022 - \$21,243)

13 Fair value of financial assets and financial liabilities:

The fair value of the City's cash, accounts receivable, accounts payable, accrued liabilities and refundable deposits approximate their carrying amounts due to the immediate or short term maturity of these financial instruments.

The fair value of portfolio investments at December 31, 2023 was \$148,982,092 (2022 - \$142,724,962). Included in the fair market estimate is accrued interest of \$3,065,916 (2022 - \$1,630,375), which is reported within accounts receivable.

14 Commitments:

In 2004, the City of Chilliwack entered into a 25 year agreement with the Chilliwack Chiefs Development Group Ltd. (CDG) for the provision of community priority time in the Chilliwack Coliseum. As part of the agreement, the City pays \$400,000 annually to CDG for the operation of the facility and \$175,000 as a reimbursement for revenues collected directly by the City,

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

15 Contractual rights:

The City has entered into contracts for various property rentals and leases, and is scheduled to receive the following amounts under those contracts:

Year	Amount
2024	1,060,901
2025	931,815
2026	431,731
2027	97,990
2028	49,707
Thereafter	93,000
	\$ 2,665,144

16 Budget figures:

The operating and capital budget figures, presented on a basis consistent with that used for actual results, were approved by Council as the 2023 Financial Plan Bylaw 2023, No. 5165. The chart below reconciles the approved budget to the budget figures reported in these financial statements.

	2023 Budget
Revenues	
Operating budget	\$ 210,164,900
Capital budget	
Development cost charges	37,676,500
Contributed tangible capital assets	6,580,000
Statutory reserve funds	17,197,000
Operating reserves	35,066,000
Current operations	9,574,500
Government grants and transfers	5,810,000
Total revenue per approved budget	322,068,900
Add:	
CEPCO	1,533,856
Tourism	2,741,797
Less:	
Transfers from other funds	(100,477,000)
Inter-entity eliminations	(1,200,000)
Total budgeted revenue as reported	224,667,553
Expenses	
Operating budget	187,164,900
Capital budget	111,904,000
	299,068,900
Add:	
CEPCO	1,115,688
Tourism	2,623,765
Amortization	23,182,339
Less:	
Transfers to other funds	(132,676,250)
Inter-entity eliminations	(1,200,000)
Total budgeted expenses as reported	192,114,442
Budgeted surplus as reported	\$ 32,553,111

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

17 Financial risks

The City is exposed to financial risks from its use of financial instruments. Management does not believe that the City's financial instruments are exposed to significant liquidity risk.

Market risk is the risk where changes in market prices, such as interest rates, can affect the City's income. The City's cash and portfolio investments include amounts on deposits with financial institutions that earn interest at market rates. The City manages its cash by maximizing the interest income earned on excess funds while maintaining the liquidity necessary to conduct operations on a day-to-day basis. Fluctuations in market rates of interest would not have a significant effect on the City's income.

Credit risk is the risk that one party to the financial instrument will cause a financial loss for the other party by failing to discharge an obligation. Management does not believe that the City is exposed to significant credit risk.

There has been no change to the risk exposures outlined above from 2022.

18 Segmented information:

The City is a diversified municipal government institution that provides a wide range of services to its citizens, including Protective Services; Transportation Services; Landfill Operations; Water and Sewer Services; Recreation and Cultural Services and Environmental Development Services. For management reporting purposes, the Government's operations and activities are organized and reported by Service Areas. Service Areas were created for the purpose of recording specific activities to attain certain objectives in accordance with regulations, restrictions or limitations.

General Government Services

General government services include all activities associated with adopting bylaws, mayor and council support, financial management, municipal facilities and the cost effective delivery of services. Items included are Mayor and Council, administration, clerks and legislative services, corporate services, management information systems, graphical information systems, finance and procurement and maintenance of municipal facilities.

Protective Services

Protective services includes all activities associated with community safety including the enforcement of laws and the prevention of crime. Items include police protection, fire protection, bylaw enforcement, emergency services and building inspection.

Engineering, Transportation and Public Works Services

Engineering, transportation and public works services include all activities associated with transportation including roads and drainage networks. Items included are services of the engineering department, traffic services, street lighting, transit, winter snow and ice control, maintenance and to roads, road shoulders, open drainage, storm sewers and dykes.

Solid Waste and Environmental Services

Solid waste and environmental services include all activities associated with solid waste and environmental health. Items include landfill operations, special waste programs, clean up campaigns, operation of the Green Depot and the curbside collection and recycling programs.

Water and Sewer Services

Water and sewer services include all activities associated with water and sanitary sewer operations. Items included are maintenance and enhancements of the water supply system, water pumps stations, water distribution system, water meters, hydrants, sanitary sewer collection system, sewer lift stations, and sewer treatment and disposal.

Parks, Recreation and Cultural Services

Parks, recreation and cultural services include all activities associated with parks, recreation and cultural activities and operations. Items include costs associated with Evergreen Hall, Landing Sports Centre, Rotary Pool, Cheam Centre, Leisure Centre, Coliseum, Heritage Park, Great Blue Heron Nature Reserve, Grandstands, Cultural Centre, community fee for services, parks and trails, urban trees and plantings, sports fields, and libraries.

Planning and Development Services

Planning and development services include all activities associated with community planning and economic development. Items include costs associated with community planning, development, economic development and tourism activities.

The following table outlines the City's revenues and expenses by operating segment:

CITY OF CHILLIWACK

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

Table of Segmented Information:

	Engineering			Parks			Interest & Other	2023	2022
	General Government Services	Protective Services	Transportation & Public Works Services	Solid Waste & Environmental Services	Water & Sewer Services	Recreation & Culture Services			
Revenues									
Municipal taxation and grants-in lieu of taxes	\$ 7,260,677	\$ 52,614,678	\$ 18,109,881	\$ -	\$ 7,990	\$ 25,288,861	\$ -	\$ 573,957	\$ 103,856,044
Government grants & transfers	23,196,125	3,625,636	2,659,223	312,082	75,000	776,700	1,911,776	-	32,556,542
Sales of services	1,710,007	47,174	969,384	16,843,445	30,720,788	3,144,463	2,482,317	-	55,917,578
Licences, permits, penalties and fines	1,171,164	137,825	76,075	-	-	-	3,705,215	-	5,090,279
Return on investments	5,108,217	-	-	-	1,100,616	-	55,978	1,023,321	7,288,132
Development cost charges	-	-	5,400,752	-	109,219	797,460	-	-	6,307,431
Contributed tangible capital assets	-	-	3,592,116	-	1,228,380	-	-	-	4,820,496
Other revenue	540,215	444,864	1,091,041	4,979,230	-	176,696	162,112	-	7,394,158
	38,986,405	56,870,177	31,898,472	22,134,757	33,241,993	30,184,180	8,317,398	1,597,278	223,230,660
									191,653,295
Expenses									
Salaries and benefits	8,461,998	18,514,865	5,202,302	807,858	6,199,102	5,406,285	4,548,998	-	49,141,408
Goods and services	6,150,327	37,371,453	17,337,903	13,128,540	10,908,410	20,755,140	3,023,771	-	108,675,544
Administration allocation	(2,505,000)	-	-	-	2,505,000	-	-	-	-
Asset retirement obligations accretion	-	-	-	370,724	-	-	-	107,021	477,745
Interest and other	-	-	-	-	-	-	-	1,525,457	1,525,457
Amortization of tangible capital assets	1,374,887	983,859	9,358,267	935,349	9,394,998	4,022,765	249,390	-	26,319,505
Transfer of collections	-	-	-	-	-	-	359,445	-	359,445
	13,482,212	56,870,177	31,898,472	15,242,471	29,007,510	30,184,180	8,181,604	1,632,478	186,499,104
									171,964,066
Annual Surplus Before Other Revenue (Loss)	25,504,193	-	-	6,892,286	4,234,483	-	135,794	(35,200)	36,731,556
Other revenue (loss)									
Loss on disposal of tangible capital assets	(301,251)	-	-	-	-	-	-	-	(301,251)
Annual Surplus (Deficit)	\$ 25,202,942	\$ -	\$ -	\$ 6,892,286	\$ 4,234,483	\$ -	\$ 135,794	\$ (35,200)	\$ 36,430,305
									\$ 17,835,231



Little Mountain Trail Steps
Chilliwack City Staff

Financial Statements of

**CHILLIWACK ECONOMIC PARTNERS
CORPORATION (CEPCO)**

And Independent Auditors' Report thereon

Year ended December 31, 2023



KPMG LLP
200-9123 Mary Street
Chilliwack BC V2P 4H7
Canada
Telephone (604) 793 4700
Fax (604) 793 4747

INDEPENDENT AUDITOR'S REPORT

To the Board of Chilliwack Economic Partners Corporation

Opinion

We have audited the accompanying financial statements of Chilliwack Economic Partners Corporation (the "Corporation"), which comprise:

- the statement of financial position as at December 31, 2023
- the statement of operations and accumulated surplus for the year then ended
- the statement of change in net financial assets for the year then ended
- the statement of cash flows for the year then ended
- and notes to the financial statements, including a summary of significant accounting policies (Hereinafter referred to as the "financial statements").

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of the Corporation as at December 31, 2023, and its results of operations, its changes in net financial assets and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "***Auditor's Responsibilities for the Audit of the Financial Statements***" section of our auditor's report.

We are independent of the Corporation in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Corporation's ability to continue as a going concern, disclosing as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Corporation or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Corporation's financial reporting process.

Auditors' Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.

We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.

The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Corporation's internal control.

- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Corporation's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditors' report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditors' report. However, future events or conditions may cause the Corporation to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.



Chartered Professional Accountants

Chilliwack, Canada

March 13, 2023

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

STATEMENT OF FINANCIAL POSITION

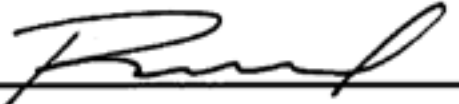
Year Ended December 31, 2023

	2023	2022
Financial assets:		
Cash (note 3)	\$ 38,003	\$ 803,783
Accounts receivable	32,995	220,966
Investments	1,208,561	395,242
	<u>1,279,559</u>	<u>1,419,991</u>
Financial liabilities:		
Accounts payable and accrued liabilities	135,608	184,888
Unearned revenue	21,044	178,831
Asset retirement obligation (note 2)	77,215	-
	<u>233,867</u>	<u>363,719</u>
Net financial assets	1,045,692	1,056,272
Non-financial assets:		
Prepaid expenses	745,664	772,807
Property under development (note 4)	9,754,271	9,090,099
Tangible capital assets (note 5)	3,781,679	3,861,589
	<u>14,281,614</u>	<u>13,724,495</u>
Accumulated surplus (note 6)	\$ 15,327,306	\$ 14,780,767

See accompanying notes to financial statements.



Director



Director

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

STATEMENT OF OPERATIONS & ACCUMULATED SURPLUS

Year Ended December 31, 2023

	2023 Budget	2023 Actual	2022 Actual
Revenues:			
Rent	\$ 720,106	\$ 681,529	\$ 744,497
Economic development (note 8)	600,000	600,000	600,000
Government programs	-	361,327	276,175
Contracted services	188,750	189,286	188,748
Property management	10,000	58,256	11,623
Interest	8,000	30,588	13,430
Other revenue	7,000	8,000	6,000
	<u>1,533,856</u>	<u>1,928,986</u>	<u>1,840,473</u>
Expenses:			
Wages and benefits	510,388	516,140	489,614
Downtown redevelopment	100,000	167,919	102,884
Amortization of tangible capital assets	155,075	159,315	165,297
Contracted services	124,750	127,826	127,262
Marketing	122,000	78,821	66,122
Insurance	33,000	66,987	60,011
Rent	-	50,000	50,000
Common area costs	80,000	48,858	103,197
Office and administration	46,500	48,065	40,227
Repairs and maintenance	24,500	39,512	49,054
Professional fees	18,000	34,170	24,292
Premise operating costs	49,300	29,612	28,642
Utilities	5,750	13,816	15,078
Interest and bank charges	1,500	1,406	1,321
	<u>1,270,763</u>	<u>1,382,447</u>	<u>1,323,001</u>
Annual surplus	263,093	546,539	517,472
Accumulated surplus, beginning of year	14,780,767	14,780,767	14,263,295
Accumulated surplus, end of year	<u>\$ 15,043,860</u>	<u>\$ 15,327,306</u>	<u>\$ 14,780,767</u>

See accompanying notes to financial statements.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

STATEMENT OF CHANGE IN NET FINANCIAL ASSETS

Year Ended December 31, 2023

	2023 Budget	2023 Actual	2022 Actual
Annual surplus	\$ 263,093	\$ 546,539	\$ 517,472
Acquisition of tangible capital assets	-	(5,678)	(11,333)
Amortization of tangible capital assets	155,075	159,315	165,297
Acquisition of property under development	-	(664,172)	(744,591)
Change in prepaid expenses	-	27,143	49,094
Capitalization of initial asset retirement obligation (note 2)	-	(73,727)	-
	155,075	(557,119)	(541,533)
Change in net financial assets	418,168	(10,580)	(24,061)
Net financial assets, beginning of year	1,056,272	1,056,272	1,080,333
Net financial assets, end of year	\$ 1,474,440	\$ 1,045,692	\$ 1,056,272

See accompanying notes to financial statements.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

STATEMENT OF CASH FLOWS

Year Ended December 31, 2023

	2023	2022
Cash provided by (used in):		
Operating activities:		
Annual surplus	\$ 546,539	\$ 517,472
Items not involving cash:		
Amortization of tangible capital assets	159,315	165,297
Accretion of asset retirement obligation	3,488	-
	709,342	682,769
Changes in non-cash operating working capital:		
Accounts receivable	187,971	(145,303)
Prepaid expenses	27,143	49,094
Accounts payable and accrued liabilities	(49,280)	102,412
Unearned revenue	(157,787)	107,168
	717,389	796,140
Capital activities:		
Acquisition of tangible capital assets	(5,678)	(11,333)
Acquisition of property under development	(664,172)	(744,591)
	(669,850)	(755,924)
Investing activities:		
Increase (decrease) in investments	(813,319)	539,371
Increase (decrease) in cash	(765,780)	579,587
Cash, beginning of year	803,783	224,196
Cash, end of year	\$ 38,003	\$ 803,783
Non-cash transaction:		
Initial recognition of asset retirement obligation capitalized to tangible capital assets	\$ 73,737	\$ -

See accompanying notes to financial statements.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

Basis of presentation:

Chilliwack Economic Partners Corporation (the "Corporation") is wholly owned by the City of Chilliwack (the "City") and is responsible for economic development activity within the City's boundaries.

1. Significant accounting policies:

These financial statements are prepared in accordance with the CPA Canada Public Sector Accounting Handbook. The Corporation's significant accounting policies are as follows:

(a) Investments:

Investments are recorded at amortized cost plus accrued interest. If it is determined that there is a permanent impairment in the value of an investment, it is written down to net realizable value.

(b) Property under development:

Property under development is recorded at the lower of cost and net realizable value and includes direct costs and capitalized interest.

(c) Tangible capital assets:

Tangible capital assets are recorded at cost. Website costs include hardware and software costs, graphics designs and major enhancements. Website maintenance and ancillary costs are expensed. Amortization commences in the year that the asset is put into use and is provided for using the following methods and annual rates:

Asset	Basis	Rate
Buildings	Declining balance	4%
Computer and office equipment	Declining balance	20% - 30%
Telecommunication equipment	Declining balance	20%

Leasehold improvements are amortized on the straight-line basis over the term of the lease plus one renewal period if it is anticipated that the lease will be renewed.

Website costs are amortized on the straight-line basis over three years.

(d) Revenue recognition:

Revenues are recognized on the accrual basis according to the terms of the contractual agreements. Government grants are recognized when they are approved by senior governments and conditions required to earn the grants have been completed. Contributions restricted for the purchase of capital assets are deferred and amortized into revenue on the basis corresponding with the amortization rate for the related capital assets.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

1. Significant accounting policies (continued):

(e) Budget figures:

Budget figures represent the budget approved by the Board of Directors on December 14, 2022.

(f) Use of estimates:

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Actual results could differ from those estimates.

(g) Asset retirement obligation:

An asset retirement obligation is recognized when, as at the financial reporting date, all of the following criteria are met:

- (i) There is a legal obligation to incur retirement costs in relation to a tangible capital asset;
- (ii) The past transaction or event giving rise to the liability has occurred;
- (iii) It is expected that future economic benefits will be given up; and
- (iv) A reasonable estimate of the amount can be made.

The Corporation's asset retirement obligation is primarily related to the removal of asbestos in certain buildings.

The estimate of the asset retirement obligation includes costs directly attributable to the asset retirement activities and is recorded as a liability and increase to the related tangible capital assets. The amount capitalized in tangible capital assets is amortized using the amortization accounting policy outlined in note 1(c).

The carrying value of the liability is reconsidered at each financial reporting date with changes to the timing or amount of the original estimate of cash flows recorded as an adjustment to the asset retirement obligation liability and tangible capital assets.

2. Adoption of new accounting standard:

On January 1, 2023, the Corporation adopted Canadian public sector accounting standard PS 3280 Asset Retirement Obligations. The new accounting standard addresses the reporting of legal obligations associated with the retirement of certain tangible capital assets. The Corporation has adopted the new accounting standard using the prospective method, which applies the obligation from the date of adoption to the expected date of remediation.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

2. Adoption of new accounting standard (continued):

As a result of the adoption of the new standard, the Corporation set up an obligation of \$73,727 as of January 1, 2023 and increased the corresponding tangible capital asset by the same amount. The obligation is then increased over time as the underlying asset approaches its expected retirement date. The accretion of the liability is recorded as an expense within common area costs.

3. Bank operating lines:

The Corporation has an operating line of credit for a maximum of \$1,000,000 (2022 - \$1,000,000) that is due on demand, bears interest at prime plus 0.20%. No funds were drawn on the line of credit as at December 31, 2023.

The Corporation has a second operating line of credit for a maximum of \$4,000,000 (2022 - \$4,000,000) that is due on demand, bears interest at prime plus 0.20%. No funds were drawn on the line of credit as at December 31, 2023.

The above lines of credit are secured by a mortgage over certain lands, a commercial security agreement, an assignment of rentals and indemnity agreement from the City for the portion of the mortgaged land owned by the City, and an assignment of insurance.

4. Property under development:

	2023	2022
Canada Education Park:		
Land	\$ 1,353,755	\$ 1,353,755
Roads, water, and sewer	1,709,289	1,709,289
Other improvements	195,748	195,748
	<u>3,258,792</u>	<u>3,258,792</u>
Downtown Redevelopment:		
Land	4,146,075	3,991,564
Buildings	2,349,404	1,839,743
	<u>6,495,479</u>	<u>5,831,307</u>
	<u>\$ 9,754,271</u>	<u>\$ 9,090,099</u>

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

5. Tangible capital assets:

	2023 opening cost	Additions	Initial asset retirement obligation (note 2)	Disposals	2023 closing cost
Buildings	\$5,229,952	\$ 3,815	\$ 73,727	\$ -	\$5,307,494
Leasehold improvements	158,905	-	-	-	158,905
Computer and office equipment	167,206	1,863	-	-	169,069
Website	120,787	-	-	-	120,787
Telecommunication equipment	5,299	-	-	-	5,299
Land	196,196	-	-	-	196,196
	\$5,878,345	\$ 5,678	\$ 73,727	\$ -	\$5,957,750

	2023 Opening accumulated amortization	Disposals	Amortization expense	2023 Closing accumulated amortization
Buildings	\$ 1,715,920	\$ -	\$ 143,622	\$ 1,859,542
Leasehold improvements	44,630	-	7,843	52,473
Computer and office equipment	130,275	-	7,695	137,970
Website	120,632	-	155	120,787
Telecommunication equipment	5,299	-	-	5,299
	\$ 2,016,756	\$ -	\$ 159,315	\$ 2,176,071

	2023 Opening net book value	2023 Closing net book value
Buildings	\$ 3,514,032	\$ 3,447,952
Leasehold improvements	114,275	106,432
Computer and office equipment	36,931	31,099
Website	155	-
Telecommunication equipment	-	-
Land	196,196	196,196
	\$ 3,861,589	\$ 3,781,679

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

6. Accumulated surplus:

Accumulated surplus consists of the following:

	2023	2022
Share capital (note 7)	\$ 100	\$ 100
Equity in tangible capital assets and property under development	13,458,735	12,951,688
Unrestricted equity	1,868,471	1,828,979
	<u>\$ 15,327,306</u>	<u>\$ 14,780,767</u>

7. Share capital:

	2023	2022
Issued and authorized with no par value: 100 Common shares	\$ 100	\$ 100

8. Related party transactions and economic dependence:

During the year, the City provided \$600,000 (2022 - \$600,000) in revenue for economic development purposes.

These transactions are in the normal course of operations and are measured at the exchange amount, which is the amount of consideration established and agreed to by the parties.

The Corporation is wholly-owned by the City.

During the year the Corporation paid \$480,000 (2022 – nil) to a company controlled by a director of the Corporation for construction related costs for property under development. This transaction was based on the fair market value of the services provided.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

9. Financial instruments:

The Corporation is exposed to market risks from its use of financial instruments. Management does not believe that the Corporation's financial instruments are exposed to significant credit risk or liquidity risk.

Market risk is the risk that changes in market prices, such as interest rates, will affect the Corporation's income. The Corporation's cash and investments include amounts on deposit with financial institutions that earn interest at market rates. The Corporation manages its cash by maximizing the interest income earned on excess funds while maintaining the liquidity necessary to conduct operations on a day-to-day basis. Fluctuations in market rates of interest would not have a significant effect on the Corporation's cash and investments.

The fair value of the Corporation's cash, accounts receivable, accounts payable and accrued liabilities and unearned revenue approximate their carrying amounts due to the relatively short periods to maturity of these items. The fair value of the investments and financing lease receivable approximate their carrying amounts based on their market based interest rates.

There has been no change to the risk exposures outlined above from 2022.

10. Income taxes:

The Corporation is exempt from income taxes under Section 149 of the Income Tax Act, Canada.

11. Contractual rights:

The Corporation is entitled to the following receipts under grants and rental agreements over the next four years:

2024	\$ 1,442,506
2025	1,442,506
2026	942,422
2027	650,000
2028	650,000
	<hr/>
	\$ 5,127,434

12. Employee Future Benefits:

The Corporation and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As of December 31, 2022, the Municipal Pension Plan has about 240,000 active members and approximately 124,000 retired members. Active members include approximately 43,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as at December 31, 2021, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.

The Corporation paid \$38,632 (2022 - \$36,793) for employer contributions to the plan in fiscal 2023.

The next valuation will be as at December 31, 2024, with results available in 2025.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

13. Segmented information:

The Corporation is a diversified other government organization that provides a wide range of services, including:

Rent and contracted services

Rent includes all activities associated with the rental of buildings and land owned by the Corporation. Contracted services includes all activities related to property management services.

Economic development

Economic development includes all activities associated with economic development activity in Chilliwack.

CHILLIWACK ECONOMIC PARTNERS CORPORATION (CEPCO)

NOTES TO FINANCIAL STATEMENTS

Year Ended December 31, 2023

13. Segmented information (continued):

The following table outlines the Corporation's revenues and expenses by operating segments:

	Rent and contracted services	Economic development	2023	2022
Revenues:				
Rent	\$ 681,529	\$ -	\$ 681,529	\$ 744,497
Economic development	-	600,000	600,000	600,000
Government programs	-	361,327	361,327	276,175
Contracted services	189,286	-	189,286	188,748
Property management	-	58,256	58,256	11,623
Interest	-	30,588	30,588	13,430
Other revenue	-	8,000	8,000	6,000
	870,815	1,058,171	1,928,986	1,840,473
Expenses:				
Wages and benefits	103,228	412,912	516,140	489,614
Downtown redevelopment	-	167,919	167,919	102,884
Amortization of tangible capital assets	159,315	-	159,315	165,297
Contracted services	127,826	-	127,826	127,262
Marketing	-	78,821	78,821	66,122
Insurance	66,987	-	66,987	60,011
Rent	10,000	40,000	50,000	50,000
Common area costs	48,858	-	48,858	103,197
Office and administration	16,022	32,043	48,065	40,227
Repairs and maintenance	39,512	-	39,512	49,054
Professional fees	11,390	22,780	34,170	24,292
Premise operating costs	5,922	23,690	29,612	28,642
Utilities	13,816	-	13,816	15,078
Interest and bank charges	468	938	1,406	1,321
	603,344	779,103	1,382,447	1,323,001
Annual surplus (deficit) before other items	\$ 267,471	\$ 279,068	\$ 546,539	\$ 517,472



Take a Break at the Vedder River Rotary Trail
📷 *Chilliwack City Staff*

Financial Statements of

TOURISM CHILLIWACK INC.

And Independent Auditors' Report thereon

Year ended December 31, 2023



KPMG LLP
200-9123 Mary Street
Chilliwack BC V2P 4H7
Canada
Telephone (604) 793 4700
Fax (604) 793 4747

INDEPENDENT AUDITORS' REPORT

To the Shareholder of Tourism Chilliwack Inc.

Opinion

We have audited the accompanying consolidated financial statements of Tourism Chilliwack Inc. (the "Company") which comprise:

- the consolidated statement of financial position as at December 31, 2023
- the consolidated statement of operations and accumulated surplus for the year then ended
- the consolidated statement of change in net financial assets for the year then ended
- the consolidated statement of cash flows for the year then ended
- and notes to the consolidated financial statements, including a summary of significant accounting policies

(Hereinafter referred to as the "financial statements").

In our opinion, the accompanying consolidated financial statements present fairly, in all material respects, the financial position of Tourism Chilliwack Inc. as at December 31, 2023 and the results of its operations, its changes in net financial assets and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis of Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "***Auditors' Responsibilities for the Audit of the Financial Statements***" section of our auditors' report.

We are independent of the Company in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Company's ability to continue as a going concern, disclosing as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Company or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Company's financial reporting process.

Auditors' Responsibilities for the Audit of the Financial Statements'

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.

We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.

The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Company's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Company's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditors' report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditors' report. However, future events or conditions may cause the Company to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.



Chartered Professional Accountants

Chilliwack, Canada

April 2, 2024

TOURISM CHILLIWACK INC.
CONSOLIDATED STATEMENT OF FINANCIAL POSITION
Year Ended December 31, 2023

	2023	2022
Financial assets:		
Cash and cash equivalents	\$ 1,608,261	\$ 1,896,179
Accounts receivable	444,682	323,958
	<u>2,052,943</u>	<u>2,220,137</u>
Financial liabilities:		
Accounts payable and accrued liabilities	311,210	234,519
Due to City of Chilliwack (note 10)	263,136	108,873
Deferred revenue	463,686	1,018,550
	<u>1,038,032</u>	<u>1,361,942</u>
Net financial assets	1,014,911	858,195
Non-financial assets:		
Inventories (note 2)	96,431	100,194
Prepaid expenses and deposits	19,609	23,637
Tangible capital assets (note 3)	41,034	16,092
Goodwill	6,120	6,120
	<u>163,194</u>	<u>146,043</u>
Contingency (note 9)		
Accumulated surplus	\$ 1,178,105	\$ 1,004,238
Represented by:		
Share capital (note 4)	\$ 1	\$ 1
Unrestricted equity	1,137,070	988,145
Equity in tangible capital assets	41,034	16,092
	<u>\$ 1,178,105</u>	<u>\$ 1,004,238</u>

See accompanying notes to financial statements.



Director



Director

TOURISM CHILLIWACK INC.

CONSOLIDATED STATEMENT OF OPERATIONS & ACCUMULATED SURPLUS

Year Ended December 31, 2023

	2023 Budget	2023 Actual	2022 Actual
Revenues:			
Sales, rental and other income	\$ 1,096,277	\$ 1,280,772	\$ 945,177
Operating agreements (note 5)	615,411	1,224,657	677,361
Hotel tax	515,980	925,792	675,358
Advertising revenues	509,159	412,098	477,978
Interest income	4,970	25,390	10,183
	<u>2,741,797</u>	<u>3,868,709</u>	<u>2,786,057</u>
Expenditures:			
Advertising and business development	1,042,380	1,540,393	976,463
Staffing costs	1,143,705	1,153,294	935,850
Operations	250,385	408,543	382,668
Administration	108,875	219,027	168,843
Utilities	78,420	76,317	75,931
Amortization of tangible capital assets	27,264	34,132	7,141
	<u>2,651,029</u>	<u>3,431,706</u>	<u>2,546,896</u>
Annual surplus before distribution	90,768	437,003	239,161
Distribution to City of Chilliwack (note 10)	-	(263,136)	(108,873)
Annual surplus	90,768	173,867	130,288
Accumulated surplus, beginning of year	1,004,238	1,004,238	873,950
Accumulated surplus, end of year	<u>\$ 1,095,006</u>	<u>\$ 1,178,105</u>	<u>\$ 1,004,238</u>

See accompanying notes to financial statements.

TOURISM CHILLIWACK INC.

CONSOLIDATED STATEMENT OF CHANGE IN NET FINANCIAL ASSETS

Year Ended December 31, 2023

	2023 Budget	2023 Actual	2022 Actual
Annual surplus	\$ 90,768	\$ 173,867	\$ 130,288
Acquisition of tangible capital assets	-	(59,074)	(6,207)
Amortization of tangible capital assets	27,264	34,132	7,141
	27,264	(24,942)	934
Change in inventories	-	3,763	(67,370)
Change in prepaid expenses and deposits	-	4,028	(1,787)
	-	7,791	(69,157)
Change in net financial assets	118,032	156,716	62,065
Net financial assets, beginning of year	858,195	858,195	796,130
Net financial assets, end of year	\$ 976,227	\$ 1,014,911	\$ 858,195

See accompanying notes to financial statements.

TOURISM CHILLIWACK INC.
CONSOLIDATED STATEMENT OF CASH FLOWS
Year Ended December 31, 2023

	2023	2022
Cash provided by (used in):		
Operating activities:		
Annual surplus	\$ 173,867	\$ 130,288
Item not involving cash:		
Amortization of tangible capital assets	34,132	7,141
	<u>207,999</u>	<u>137,429</u>
Changes in non-cash operating assets and liabilities:		
Accounts receivable	(120,724)	17,759
Inventories	3,763	(67,370)
Prepaid expenses and deposits	4,028	(1,787)
Accounts payable and accrued liabilities	76,691	(122,106)
Due to City of Chilliwack	154,263	107,673
Deferred revenue	(554,864)	(283,587)
	<u>(228,844)</u>	<u>(211,989)</u>
Capital activities:		
Acquisition of tangible capital assets	(59,074)	(6,207)
Change in cash and cash equivalents	(287,918)	(218,196)
Cash and cash equivalents, beginning of year	1,896,179	2,114,375
Cash and cash equivalents, end of year	<u>\$ 1,608,261</u>	<u>\$ 1,896,179</u>

See accompanying notes to financial statements.

TOURISM CHILLIWACK INC.

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

Basis of presentation:

Tourism Chilliwack Inc. (the "Company") was incorporated on December 16, 2006 and began operations on January 1, 2007. The Company is wholly-owned by the City of Chilliwack. The mandate of the Company is to develop and promote the tourism industry as well as provide economic development programs and services aimed at growing the tourism industry in the City of Chilliwack.

1. Significant accounting policies:

These financial statements are prepared in accordance with the CPA Canada Public Sector Accounting Handbook. The Company's significant accounting policies are as follows:

(a) Basis of consolidation:

The consolidated financial statements include all of the funds of the Company. Inter-fund transactions, fund balances and activities have been eliminated on consolidation. The funds of the Company include Facility Management, Tourism Services and Retail Services.

(b) Cash and cash equivalents:

Cash and cash equivalents consist of cash, bank balances and short-term investments with maturities of less than 90 days at acquisition.

(c) Inventories:

Inventories are measured at the lower of cost and net realizable value by using first-in, first-out costing methodology. The Company uses the same cost formula for all the inventories having a similar nature and use to the Company. When circumstances which previously caused inventories to be written down no longer exist the previous impairment is reversed.

(d) Tangible capital assets:

Tangible capital assets are stated at cost, less accumulated amortization. Amortization commences in the year that the asset is put into use and is provided using the declining balance method at the following annual rates:

Asset	Rate
Furniture and fixtures	30%
Computers	30%
Leasehold improvements	30%
Website	45%

Works of art and cultural and historical assets are not recorded as assets in these financial statements. Purchased works of art are expensed in year acquired.

TOURISM CHILLIWACK INC.
NOTES TO CONSOLIDATED FINANCIAL STATEMENTS
Year Ended December 31, 2023

1. Significant accounting policies (continued):

(e) Revenue recognition:

Grant revenues are recognized when the grants have been approved and the conditions required to earn the grants have been completed.

Revenue from the sale of goods and other income is recorded at time of sale.

Rental revenues are recognized in the period the facilities are occupied.

Revenue received in advance of the fee being earned or the service being performed is deferred and recognized when the fee is earned or service performed.

Advertising commission revenue is recognized when the related advertisement or commercial appears before the public.

(f) Budget figures:

Budget figures represent the budget approved by board of directors on November 29, 2022.

(g) Use of estimates:

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Actual results could differ from those estimates.

2. Inventories:

	2023	2022
Flag shop inventory	\$ 19,676	\$ 18,505
Maps, apparels and books	76,755	81,689
	\$ 96,431	\$ 100,194

TOURISM CHILLIWACK INC.

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

3. Tangible capital assets:

	2023			2023
	Opening Cost	Additions	Disposals	Closing Cost
Furniture and fixtures	\$ 67,738	\$ 2,840	\$ -	\$ 70,578
Computers	71,702	18,707	-	90,409
Leasehold Improvements	127,915	-	-	127,915
Website	87,222	37,528	-	124,750
	\$ 354,577	\$ 59,075	\$ -	\$ 413,652

	2023 Opening Accumulated Amortization	Disposals	Amortization expense	2023 Closing Accumulated Amortization
Furniture and fixtures	\$ 62,413	\$ -	\$ 1,727	\$ 64,140
Computers	63,939	-	13,282	77,104
Leasehold Improvements	125,966	-	756	126,722
Website	86,167	-	18,367	104,652
	\$ 338,485	\$ -	\$ 34,132	\$ 372,618

	2023 Opening Net book value	2023 Closing Net book value
Furniture and fixtures	\$ 5,325	\$ 6,438
Computers	7,763	13,305
Leasehold Improvements	1,949	1,193
Website	1,055	20,098
	\$ 16,092	\$ 41,034

Not included in tangible capital assets is \$68,143 (2021 - \$68,143) of works of art and cultural assets. During fiscal 2017, when these were purchased they were expensed on the statement of operations.

TOURISM CHILLIWACK INC.
NOTES TO CONSOLIDATED FINANCIAL STATEMENTS
Year Ended December 31, 2023

4. Share capital:

	2023	2022
Authorized:		
Unlimited common shares		
Issued with no par value:		
100 Common shares	\$ 1	\$ 1

5. Related party transactions and economic dependence:

During the year, the City of Chilliwack (the "City") provided funds under operating agreements totaling \$600,000 (2022 - \$580,000) to the Company. The City has agreed to provide future annual operating funds based on a pre-determined formula.

In addition, the Company had other sales transactions with the City in the aggregate amount of \$68,533 (2022 - \$70,229) and purchased services from the City totaling \$71,090 (2022 - \$319,368).

The Company is a wholly-owned subsidiary of the City.

All transactions with the City are in the normal course of operations and are measured at the exchange amount, which is the amount of consideration established and agreed to by the parties.

During the year the Company had sales of \$29,668 (2022 - \$41,968) and made purchases of goods and services of \$194,870 (2022 - \$83,813) with entities that have an individual on the Company's board of directors. These transactions were on the same terms and conditions as transactions with other parties.

6. Financial risks:

The Company is exposed to financial risks from its use of financial instruments. Management does not believe that the Company's financial instruments are exposed to significant liquidity risk.

Market risk is the risk that changes in market prices, such as interest rates, will affect the Company's income. The Company's cash and term deposits include amounts on deposit with financial institutions that earn interest at market rates. The Company manages its cash by maximizing the interest income earned on excess funds while maintaining the liquidity necessary to conduct operations on a day-to-day basis. Fluctuations in market rates of interest would not have a significant effect on the Company's income.

TOURISM CHILLIWACK INC.

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

6. Financial instruments (continued):

Credit risk is the risk that one party to a financial instrument will cause a financial loss for the other party by failing to discharge an obligation. The Company is exposed to credit risk due to the potential non-collection of accounts receivable.

The carrying value of cash, accounts receivable, accounts payable and accrued liabilities and deferred revenue approximate their fair value due to the relatively short periods to maturity of these items.

There has been no change to the risk exposures outlined above from 2022.

7. Income taxes:

The Company is exempt from income taxes under Section 149 of the Income Tax Act, Canada.

8. Employee future benefits:

The Company and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2023, the plan has about 240,000 active members and approximately 124,000 retired members. Active members include approximately 43,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as at December 31, 2021, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.

The Company expensed \$64,296 (2022 - \$57,808) for employer contributions to the plan in fiscal 2023.

The next valuation will be as at December 31, 2024, with results available in 2025.

TOURISM CHILLIWACK INC.
NOTES TO CONSOLIDATED FINANCIAL STATEMENTS
Year Ended December 31, 2023

8. Employee future benefits (continued):

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

9. Contingency:

The Company entered into an agreement in 2011 with the City of Chilliwack which took effect on January 1, 2012. The agreement has been renewed for an additional five years starting January 1, 2022. The agreement outlines the management and operation of Chilliwack Heritage Park ("CHP").

As a condition of the agreement with the City, the Company issued a non-revocable Letter of Credit in the amount of \$50,000 as a guarantee for the due and faithful performance of the agreement.

10. Distribution to City of Chilliwack:

In accordance with an agreement between the Company and the City of Chilliwack, a distribution of funds derived from the operation of Chilliwack Heritage Park is returned to the City and put into a building reserve fund, specifically for future use at Chilliwack Heritage Park.

11. Contractual rights:

The Company has entered into contracts for various operating agreements. The Company is scheduled to receive the following amounts under those contracts over the next three years:

2024	\$	601,500
2025		595,000
2026		595,000
		-
	\$	1,791,500

TOURISM CHILLIWACK INC.

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

12. Segmented information:

The Company is a diversified other government organization that provides a range of services, including:

Facility Management

Facility Management includes all activities associated with the operation of Chilliwack Heritage Park including renting the facility for various events.

Tourism Services

Tourism Services includes all activities associated with the operation of the Chilliwack Visitor Centre including co-coordinating and delivering tourism marketing programs aimed at promoting Chilliwack as a tourist destination.

Retail Services

Retail Services includes all activities associated with operation of the Flag Shop including selling various national and international flags and other souvenir items.

TOURISM CHILLIWACK INC.

NOTES TO CONSOLIDATED FINANCIAL STATEMENTS

Year Ended December 31, 2023

12. Segmented information (continued):

The following table outlines the Company's revenues and expenditures by operating segments:

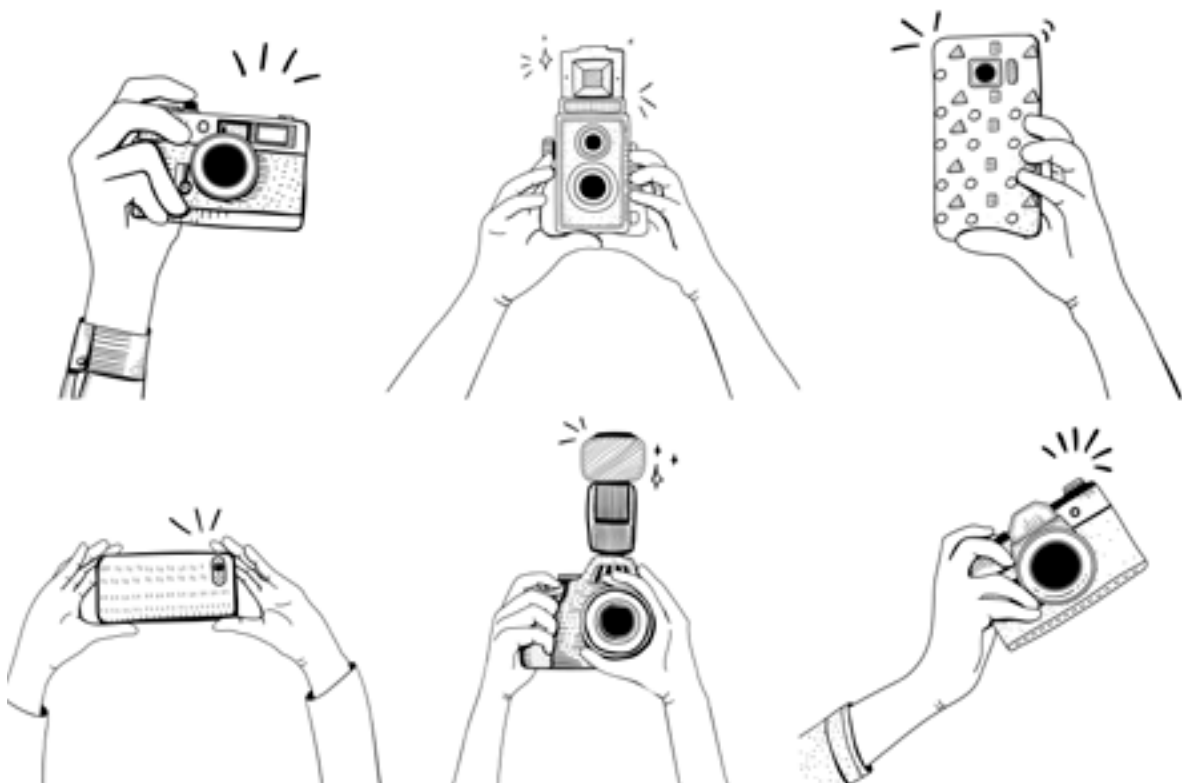
	Facility Management	Tourism services	Retail services	Eliminations	2023	2022
Revenues:						
Sales, rental and other income	\$ 928,619	\$ 179,367	\$ 172,786	\$ -	\$ 1,280,772	\$ 945,177
Operating agreements	450,000	774,657	-	-	1,224,657	677,361
Hotel tax	-	925,792	-	-	925,792	675,358
Advertising revenues	-	477,098	-	(65,000)	412,098	477,978
Interest income	3,954	21,436	-	-	25,390	10,183
	1,382,573	2,378,350	172,786	(65,000)	3,868,709	2,786,057
Expenditures:						
Advertising and business development	65,000	1,538,870	1,523	(65,000)	1,540,393	976,463
Staffing costs	679,053	416,507	57,734	-	1,153,294	935,850
Operations	244,094	125,195	39,254	-	408,543	382,668
Administration	59,153	159,874	-	-	219,027	168,843
Utilities	71,322	4,995	-	-	76,317	75,931
Amortization of tangible capital assets	815	33,317	-	-	34,132	7,141
	1,119,437	2,278,758	98,511	(65,000)	3,431,706	2,546,896
Annual surplus before distribution	\$ 263,136	\$ 99,592	\$ 74,275	\$ -	\$ 437,003	\$ 239,161



Views from Mt. Thom
📷 *Chilliwack City Staff*

The City of Chilliwack would like to thank the photographers whose pictures brought life to the pages of our 2023 Annual Report:

City of Chilliwack Staff
Tourism Chilliwack





CITY OF CHILLIWACK
8550 YOUNG ROAD
CHILLIWACK, BC V2P 8A4
Tel: 604.792.9311
Fax: 604.795.8443

chilliwack.com

AGENDA ITEM NO: 7.8

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Schedule of Council Remuneration and Expenses DATE: June 10, 2024
DEPARTMENT: Finance PREPARED BY: Glen Savard

1. SUMMARY OF ISSUE:

As per Section 168 of the *Community Charter*, along with the *Financial Information Act*, municipalities are required to prepare, on an annual basis, a schedule that lists the remuneration and total amount of expense payments or reimbursements made to each member of Council member for the discharge of duties of office.

Attached is the 2023 "Schedule of Remuneration and Expenses for Elected Officials".

2. RECOMMENDATION:


That Council receive the 2023 Schedule of Remuneration and Expenses for Elected Officials for information.



Glen Savard, Director of Finance

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.



David Blain, CAO

City of Chilliwack

Schedule of Remuneration and Expenses for Elected Officials

For the Year Ended December 31, 2023

Councillor	Remuneration		Mileage	Expenses
	Bylaw Rate	Other	Reimbursement	
Mayor Ken Popove	\$ 134,559.59	\$ 430.99	\$ -	\$ 2,644.49
Councillor Chris Kloot	49,350.59	2,483.51	105.06	4,180.36
Councillor Jason Lum	49,350.59	5,165.60	117.66	2,427.64
Councillor Bud Mercer	49,350.59	2,474.41	324.36	5,967.16
Councillor Nicole Read	49,350.59	4,378.66	-	3,809.74
Councillor Jeff Shields	49,350.59	4,378.66	40.80	2,023.06
Councillor Harv Westeringh	49,350.59	4,378.66	96.90	3,603.09
Total	\$ 430,663.13	\$ 23,690.49	\$ 684.78	\$ 24,655.54
TOTAL REMUNERATION		<u>\$ 454,353.62</u>		
TOTAL EXPENSES and MILEAGE				<u>\$ 25,340.32</u>

This schedule includes remuneration, mileage and expenses paid on behalf of elected officials. Other remuneration includes payment for the position of Acting and Alternate Acting Mayor, payment in lieu of benefits, as well as taxable benefits.

AGENDA ITEM NO: 7.9

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Chilliwack Economic Partners Corporation DATE: June 10, 2024

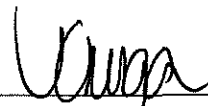
DEPARTMENT: Legislative Services PREPARED BY: Jacqueline Morgan

1. SUMMARY OF ISSUE:

Council, as the representatives of the sole shareholder for Chilliwack Economic Partners Corporation, are required to hold an Annual General Meeting, in accordance with the requirements of the *Business Corporations Act of BC*.

2. RECOMMENDATION:

That Council hold an Annual General Meeting of Chilliwack Economic Partners Corporation; approve the resolution appended to the staff report dated June 10, 2024, and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.



Jacqueline Morgan, CMC
Manager of Legislative Services/
Corporate Officer

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

1.
Supports recommendation.



David Blain, CAO

CITY OF CHILLIWACK

COUNCIL RESOLUTION

The Council of the City of Chilliwack, in open meeting assembled in its capacity as sole shareholder of Chilliwack Economic Partners Corporation (the "Company"), hereby resolves as follows:

1. That the financial statements of the Company for the 2023 financial year be accepted;
2. That the number of Directors of the Company be set at 14;
3. That the following persons, having consented in writing to act as Directors of the Company, be elected Directors of the Company to hold office until the next annual general meeting of the Company or until sooner ceasing to hold office.

Appointment for At-Large Directors

(for two-year term, expiring December 31, 2025)

- Kirk Dzaman
- Robert Hasell
- Tim McAlpine
- Brian Minter
- Jessie Ramsay
- Stan Vander Waal

Remaining Two-Year Term At-Large Directors

(expires December 31, 2024)

- Heidi Epp
 - Ken Huttema
 - Bryce Lewis
 - Marc Omelaniec
 - Amber Price
 - Bruce Van Den Brink
 - Luke Zacharias
4. CEPCO President Brian Coombes is also a voting Board Member.
 5. City Liaisons for 2024 will be:
 - Mayor Ken Popove
 - Councillor Nicole Read
 - David Blain, CAO, City of Chilliwack
 6. That KPMG be appointed as the auditor for the Company for the current fiscal year.

Financial Statements of

**CHILLIWACK ECONOMIC
PARTNERS CORPORATION**

And Independent Auditor's Report thereon

Year ended December 31, 2023

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Financial Statements

Year ended December 31, 2023

Financial Statements

Independent Auditor's Report	
Statement of Financial Position	1
Statement of Operations and Accumulated Surplus	2
Statement of Change in Net Financial Assets	3
Statement of Cash Flows	4
Notes to Financial Statements	5



KPMG LLP
200-9123 Mary Street
Chilliwack BC V2P 4H7
Canada
Telephone (604) 793 4700
Fax (604) 793 4747

INDEPENDENT AUDITOR'S REPORT

To the Board of Chilliwack Economic Partners Corporation

Opinion

We have audited the accompanying financial statements of Chilliwack Economic Partners Corporation (the "Corporation"), which comprise:

- the statement of financial position as at December 31, 2023
- the statement of operations and accumulated surplus for the year then ended
- the statement of change in net financial assets for the year then ended
- the statement of cash flows for the year then ended
- and notes to the financial statements, including a summary of significant accounting policies (Hereinafter referred to as the "financial statements").

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of the Corporation as at December 31, 2023, and its results of operations, its changes in net financial assets and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "***Auditor's Responsibilities for the Audit of the Financial Statements***" section of our auditor's report.

We are independent of the Corporation in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.



Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Corporation's ability to continue as a going concern, disclosing as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Corporation or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Corporation's financial reporting process.

Auditors' Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.

We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.

The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Corporation's internal control.

- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Corporation's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditors' report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditors' report. However, future events or conditions may cause the Corporation to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

A handwritten signature in black ink that reads 'KPMG LLP'. The signature is written in a cursive, slightly slanted style. Below the signature is a horizontal line that starts under the 'K' and ends under the 'P'.

Chartered Professional Accountants

Chilliwack, Canada

March 13, 2023

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Statement of Financial Position

Year ended December 31, 2023, with comparative information for 2022

	2023	2022
Financial assets:		
Cash (note 3)	\$ 38,003	\$ 803,783
Accounts receivable	32,995	220,966
Investments	1,208,561	395,242
	<u>1,279,559</u>	<u>1,419,991</u>
Financial liabilities:		
Accounts payable and accrued liabilities	135,608	184,888
Unearned revenue	21,044	178,831
Asset retirement obligation (note 2)	77,215	-
	<u>233,867</u>	<u>363,719</u>
Net financial assets	1,045,692	1,056,272
Non-financial assets:		
Prepaid expenses	745,664	772,807
Property under development (note 4)	9,754,271	9,090,099
Tangible capital assets (note 5)	3,781,679	3,861,589
	<u>14,281,614</u>	<u>13,724,495</u>
Accumulated surplus (note 6)	<u>\$ 15,327,306</u>	<u>\$ 14,780,767</u>

See accompanying notes to financial statements.



Director



Director

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Statement of Operations and Accumulated Surplus

Year ended December 31, 2023, with comparative information for 2022

	2023 Budget	2023 Actual	2022 Actual
Revenues:			
Rent	\$ 720,106	\$ 681,529	\$ 744,497
Economic development (note 8)	600,000	600,000	600,000
Government programs	-	361,327	276,175
Contracted services	188,750	189,286	188,748
Property management	10,000	58,256	11,623
Interest	8,000	30,588	13,430
Other revenue	7,000	8,000	6,000
	<u>1,533,856</u>	<u>1,928,986</u>	<u>1,840,473</u>
Expenses:			
Wages and benefits	510,388	516,140	489,614
Downtown redevelopment	100,000	167,919	102,884
Amortization of tangible capital assets	155,075	159,315	165,297
Contracted services	124,750	127,826	127,262
Marketing	122,000	78,821	66,122
Insurance	33,000	66,987	60,011
Rent	-	50,000	50,000
Common area costs	80,000	48,858	103,197
Office and administration	46,500	48,065	40,227
Repairs and maintenance	24,500	39,512	49,054
Professional fees	18,000	34,170	24,292
Premise operating costs	49,300	29,612	28,642
Utilities	5,750	13,816	15,078
Interest and bank charges	1,500	1,406	1,321
	<u>1,270,763</u>	<u>1,382,447</u>	<u>1,323,001</u>
Annual surplus	263,093	546,539	517,472
Accumulated surplus, beginning of year	14,780,767	14,780,767	14,263,295
Accumulated surplus, end of year	<u>\$ 15,043,860</u>	<u>\$ 15,327,306</u>	<u>\$ 14,780,767</u>

See accompanying notes to financial statements.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Statement of Change in Net Financial Assets

Year ended December 31, 2023, with comparative information for 2022

	2023 Budget	2023 Actual	2022 Actual
Annual surplus	\$ 263,093	\$ 546,539	\$ 517,472
Acquisition of tangible capital assets	-	(5,678)	(11,333)
Amortization of tangible capital assets	155,075	159,315	165,297
Acquisition of property under development	-	(664,172)	(744,591)
Change in prepaid expenses	-	27,143	49,094
Capitalization of initial asset retirement obligation (note 2)	-	(73,727)	-
	155,075	(557,119)	(541,533)
Change in net financial assets	418,168	(10,580)	(24,061)
Net financial assets, beginning of year	1,056,272	1,056,272	1,080,333
Net financial assets, end of year	\$ 1,474,440	\$ 1,045,692	\$ 1,056,272

See accompanying notes to financial statements.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Statement of Cash Flows

Year ended December 31, 2023, with comparative information for 2022

	2023	2022
Cash provided by (used in):		
Operating activities:		
Annual surplus	\$ 546,539	\$ 517,472
Items not involving cash:		
Amortization of tangible capital assets	159,315	165,297
Accretion of asset retirement obligation	3,488	-
	709,342	682,769
Changes in non-cash operating working capital:		
Accounts receivable	187,971	(145,303)
Prepaid expenses	27,143	49,094
Accounts payable and accrued liabilities	(49,280)	102,412
Unearned revenue	(157,787)	107,168
	717,389	796,140
Capital activities:		
Acquisition of tangible capital assets	(5,678)	(11,333)
Acquisition of property under development	(664,172)	(744,591)
	(669,850)	(755,924)
Investing activities:		
Increase (decrease) in investments	(813,319)	539,371
Increase (decrease) in cash	(765,780)	579,587
Cash, beginning of year	803,783	224,196
Cash, end of year	\$ 38,003	\$ 803,783
Non-cash transaction:		
Initial recognition of asset retirement obligation capitalized to tangible capital assets	\$ 73,737	\$ -

See accompanying notes to financial statements.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements

Year ended December 31, 2023

Basis of presentation:

Chilliwack Economic Partners Corporation (the "Corporation") is wholly owned by the City of Chilliwack (the "City") and is responsible for economic development activity within the City's boundaries.

1. Significant accounting policies:

These financial statements are prepared in accordance with the CPA Canada Public Sector Accounting Handbook. The Corporation's significant accounting policies are as follows:

(a) Investments:

Investments are recorded at amortized cost plus accrued interest. If it is determined that there is a permanent impairment in the value of an investment, it is written down to net realizable value.

(b) Property under development:

Property under development is recorded at the lower of cost and net realizable value and includes direct costs and capitalized interest.

(c) Tangible capital assets:

Tangible capital assets are recorded at cost. Website costs include hardware and software costs, graphics designs and major enhancements. Website maintenance and ancillary costs are expensed. Amortization commences in the year that the asset is put into use and is provided for using the following methods and annual rates:

Asset	Basis	Rate
Buildings	Declining balance	4%
Computer and office equipment	Declining balance	20% - 30%
Telecommunication equipment	Declining balance	20%

Leasehold improvements are amortized on the straight-line basis over the term of the lease plus one renewal period if it is anticipated that the lease will be renewed.

Website costs are amortized on the straight-line basis over three years.

(d) Revenue recognition:

Revenues are recognized on the accrual basis according to the terms of the contractual agreements. Government grants are recognized when they are approved by senior governments and conditions required to earn the grants have been completed. Contributions restricted for the purchase of capital assets are deferred and amortized into revenue on the basis corresponding with the amortization rate for the related capital assets.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

1. Significant accounting policies (continued):

(e) Budget figures:

Budget figures represent the budget approved by the Board of Directors on December 14, 2022.

(f) Use of estimates:

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Actual results could differ from those estimates.

(g) Asset retirement obligation:

An asset retirement obligation is recognized when, as at the financial reporting date, all of the following criteria are met:

- (i) There is a legal obligation to incur retirement costs in relation to a tangible capital asset;
- (ii) The past transaction or event giving rise to the liability has occurred;
- (iii) It is expected that future economic benefits will be given up; and
- (iv) A reasonable estimate of the amount can be made.

The Corporation's asset retirement obligation is primarily related to the removal of asbestos in certain buildings.

The estimate of the asset retirement obligation includes costs directly attributable to the asset retirement activities and is recorded as a liability and increase to the related tangible capital assets. The amount capitalized in tangible capital assets is amortized using the amortization accounting policy outlined in note 1(c).

The carrying value of the liability is reconsidered at each financial reporting date with changes to the timing or amount of the original estimate of cash flows recorded as an adjustment to the asset retirement obligation liability and tangible capital assets.

2. Adoption of new accounting standard:

On January 1, 2023, the Corporation adopted Canadian public sector accounting standard PS 3280 Asset Retirement Obligations. The new accounting standard addresses the reporting of legal obligations associated with the retirement of certain tangible capital assets. The Corporation has adopted the new accounting standard using the prospective method, which applies the obligation from the date of adoption to the expected date of remediation.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

2. Adoption of new accounting standard (continued):

As a result of the adoption of the new standard, the Corporation set up an obligation of \$73,727 as of January 1, 2023 and increased the corresponding tangible capital asset by the same amount. The obligation is then increased over time as the underlying asset approaches its expected retirement date. The accretion of the liability is recorded as an expense within common area costs.

3. Bank operating lines:

The Corporation has an operating line of credit for a maximum of \$1,000,000 (2022 - \$1,000,000) that is due on demand, bears interest at prime plus 0.20%. No funds were drawn on the line of credit as at December 31, 2023.

The Corporation has a second operating line of credit for a maximum of \$4,000,000 (2022 - \$4,000,000) that is due on demand, bears interest at prime plus 0.20%. No funds were drawn on the line of credit as at December 31, 2023.

The above lines of credit are secured by a mortgage over certain lands, a commercial security agreement, an assignment of rentals and indemnity agreement from the City for the portion of the mortgaged land owned by the City, and an assignment of insurance.

4. Property under development:

	2023	2022
Canada Education Park:		
Land	\$ 1,353,755	\$ 1,353,755
Roads, water, and sewer	1,709,289	1,709,289
Other improvements	195,748	195,748
	<u>3,258,792</u>	<u>3,258,792</u>
Downtown Redevelopment:		
Land	4,146,075	3,991,564
Buildings	2,349,404	1,839,743
	<u>6,495,479</u>	<u>5,831,307</u>
	<u>\$ 9,754,271</u>	<u>\$ 9,090,099</u>

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

5. Tangible capital assets:

	2023 opening cost	Additions	Initial asset retirement obligation (note 2)	Disposals	2023 closing cost
Buildings	\$5,229,952	\$ 3,815	\$ 73,727	\$ -	\$5,307,494
Leasehold improvements	158,905	-	-	-	158,905
Computer and office equipment	167,206	1,863	-	-	169,069
Website	120,787	-	-	-	120,787
Telecommunication equipment	5,299	-	-	-	5,299
Land	196,196	-	-	-	196,196
	\$5,878,345	\$ 5,678	\$ 73,727	\$ -	\$5,957,750

	2023 Opening accumulated amortization	Disposals	Amortization expense	2023 Closing accumulated amortization
Buildings	\$ 1,715,920	\$ -	\$ 143,622	\$ 1,859,542
Leasehold improvements	44,630	-	7,843	52,473
Computer and office equipment	130,275	-	7,695	137,970
Website	120,632	-	155	120,787
Telecommunication equipment	5,299	-	-	5,299
	\$ 2,016,756	\$ -	\$ 159,315	\$ 2,176,071

	2023 Opening net book value	2023 Closing net book value
Buildings	\$ 3,514,032	\$ 3,447,952
Leasehold improvements	114,275	106,432
Computer and office equipment	36,931	31,099
Website	155	-
Telecommunication equipment	-	-
Land	196,196	196,196
	\$ 3,861,589	\$ 3,781,679

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

6. Accumulated surplus:

Accumulated surplus consists of the following:

	2023	2022
Share capital (note 7)	\$ 100	\$ 100
Equity in tangible capital assets and property under development	13,458,735	12,951,688
Unrestricted equity	1,868,471	1,828,979
	<u>\$ 15,327,306</u>	<u>\$ 14,780,767</u>

7. Share capital:

	2023	2022
Issued and authorized with no par value: 100 Common shares	\$ 100	\$ 100

8. Related party transactions and economic dependence:

During the year, the City provided \$600,000 (2022 - \$600,000) in revenue for economic development purposes.

These transactions are in the normal course of operations and are measured at the exchange amount, which is the amount of consideration established and agreed to by the parties.

The Corporation is wholly-owned by the City.

During the year the Corporation paid \$480,000 (2022 – nil) to a company controlled by a director of the Corporation for construction related costs for property under development. This transaction was based on the fair market value of the services provided.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

9. Financial instruments:

The Corporation is exposed to market risks from its use of financial instruments. Management does not believe that the Corporation's financial instruments are exposed to significant credit risk or liquidity risk.

Market risk is the risk that changes in market prices, such as interest rates, will affect the Corporation's income. The Corporation's cash and investments include amounts on deposit with financial institutions that earn interest at market rates. The Corporation manages its cash by maximizing the interest income earned on excess funds while maintaining the liquidity necessary to conduct operations on a day-to-day basis. Fluctuations in market rates of interest would not have a significant effect on the Corporation's cash and investments.

The fair value of the Corporation's cash, accounts receivable, accounts payable and accrued liabilities and unearned revenue approximate their carrying amounts due to the relatively short periods to maturity of these items. The fair value of the investments and financing lease receivable approximate their carrying amounts based on their market based interest rates.

There has been no change to the risk exposures outlined above from 2022.

10. Income taxes:

The Corporation is exempt from income taxes under Section 149 of the Income Tax Act, Canada.

11. Contractual rights:

The Corporation is entitled to the following receipts under grants and rental agreements over the next four years:

2024	\$ 1,442,506
2025	1,442,506
2026	942,422
2027	650,000
2028	650,000
	<hr/>
	\$ 5,127,434

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

12. Employee Future Benefits:

The Corporation and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As of December 31, 2022, the Municipal Pension Plan has about 240,000 active members and approximately 124,000 retired members. Active members include approximately 43,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as at December 31, 2021, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.

The Corporation paid \$38,632 (2022 - \$36,793) for employer contributions to the plan in fiscal 2023.

The next valuation will be as at December 31, 2024, with results available in 2025.

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

13. Segmented information:

The Corporation is a diversified other government organization that provides a wide range of services, including:

Rent and contracted services

Rent includes all activities associated with the rental of buildings and land owned by the Corporation. Contracted services includes all activities related to property management services.

Economic development

Economic development includes all activities associated with economic development activity in Chilliwack.

CHILLIWACK ECONOMIC PARTNERS CORPORATION

Notes to Financial Statements (continued)

Year ended December 31, 2023

13. Segmented information (continued):

The following table outlines the Corporation's revenues and expenses by operating segments:

	Rent and contracted services	Economic development	2023	2022
Revenues:				
Rent	\$ 681,529	\$ -	\$ 681,529	\$ 744,497
Economic development	-	600,000	600,000	600,000
Government programs	-	361,327	361,327	276,175
Contracted services	189,286	-	189,286	188,748
Property management	-	58,256	58,256	11,623
Interest	-	30,588	30,588	13,430
Other revenue	-	8,000	8,000	6,000
	870,815	1,058,171	1,928,986	1,840,473
Expenses:				
Wages and benefits	103,228	412,912	516,140	489,614
Downtown redevelopment	-	167,919	167,919	102,884
Amortization of tangible capital assets	159,315	-	159,315	165,297
Contracted services	127,826	-	127,826	127,262
Marketing	-	78,821	78,821	66,122
Insurance	66,987	-	66,987	60,011
Rent	10,000	40,000	50,000	50,000
Common area costs	48,858	-	48,858	103,197
Office and administration	16,022	32,043	48,065	40,227
Repairs and maintenance	39,512	-	39,512	49,054
Professional fees	11,390	22,780	34,170	24,292
Premise operating costs	5,922	23,690	29,612	28,642
Utilities	13,816	-	13,816	15,078
Interest and bank charges	468	938	1,406	1,321
	603,344	779,103	1,382,447	1,323,001
Annual surplus (deficit) before other items	\$ 267,471	\$ 279,068	\$ 546,539	\$ 517,472

AGENDA ITEM NO: 7.10

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Tourism Chilliwack Inc. DATE: June 10, 2024

DEPARTMENT. Legislative Services PREPARED BY: Jacqueline Morgan

1. SUMMARY OF ISSUE:

Council, as the representatives of the sole shareholder for Tourism Chilliwack Inc , are required to hold an Annual General Meeting, in accordance with the requirements of the *Business Corporations Act of BC*.

2. RECOMMENDATION:

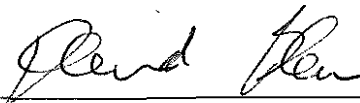
That Council hold an Annual General Meeting of Tourism Chilliwack Inc.; approve the resolution appended to the staff report dated June 10, 2024; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.



Jacqueline Morgan, CMC
Manager of Legislative Services/
Corporate Officer

**4. CHIEF ADMINISTRATIVE OFFICER'S
RECOMMENDATION/COMMENTS:**

Supports recommendation.



David Blain, CAO

CITY OF CHILLIWACK

COUNCIL RESOLUTION

That the Council of the City of Chilliwack, in open meeting assembled, in its capacity as sole shareholder of Tourism Chilliwack Inc. (the "Company"), hold an Annual General Meeting and hereby resolves as follows:

1. That the financial statements of the Company for the 2023 financial year be accepted;
2. That the number of Directors of the Company be set at 14;
3. That, pursuant to Section 14.1A of the Articles, the Directors of the Company shall be elected or appointed on or before an annual appointment date, being December 31 of every year, rather than at the annual general meeting;
4. That the following persons, having consented in writing to act as Directors of the Company, be elected Directors of the Company to hold office until the next annual appointment date or until sooner ceasing to hold office.
 - Dave Algra, Owner, Algra Bros.
 - Mark Allan, President, Allan Leadership Group
 - Susan Anstett, Owner, Chilliwack River Rafting
 - John Beesley, Cultus Lake Park Board Appointed Representative
 - Allison Colthorp, Executive Director, Tourism Chilliwack
 - Heidi Epp, Co-Owner, The Refinery House
 - Chief David Jimmie, President Ts'elxwéyeqw Tribe Management Ltd.
 - Paul McManus, General Manager, Chilliwack Ford
 - Brian Minter, Owner, Minter Country Garden, Chair of Tourism Chilliwack
 - Vanessa Oddy, Co-Owner, Greendale Acres
 - David Schaepe, Director, Stó:lō Nation Research and Resource Management Centre
 - Nathan Stone, Owner Odessa Group - Hampton Inn
 - David Urban, Outdoor Recreation Manager, Fraser Valley Regional District - Electoral Area E & H
 - Ernie Victor, Representative, Philho'lhxw Tribe
5. That the City Liaisons for the 2024 year will be Councillor Harv Westeringh and Darrell Lindhout, Director of Recreation and Culture, City of Chilliwack.
6. That KPMG be appointed as the auditor for the Company for the current fiscal year.

Consolidated Financial Statements of

TOURISM CHILLIWACK INC.

Year ended December 31, 2023

TOURISM CHILLIWACK INC.

Consolidated Financial Statements

Year ended December 31, 2023

Financial Statements

Independent Auditors' Report

Consolidated Statement of Financial Position 1

Statement of Operations and Accumulated Surplus 2

Statement of Change in Net Financial Assets 3

Statement of Cash Flows 4

Notes to Consolidated Financial Statements 5



KPMG LLP
200-9123 Mary Street
Chilliwack BC V2P 4H7
Canada
Telephone (604) 793 4700
Fax (604) 793 4747

INDEPENDENT AUDITORS' REPORT

To the Shareholder of Tourism Chilliwack Inc.

Opinion

We have audited the accompanying consolidated financial statements of Tourism Chilliwack Inc. (the "Company") which comprise:

- the consolidated statement of financial position as at December 31, 2023
- the consolidated statement of operations and accumulated surplus for the year then ended
- the consolidated statement of change in net financial assets for the year then ended
- the consolidated statement of cash flows for the year then ended
- and notes to the consolidated financial statements, including a summary of significant accounting policies

(Hereinafter referred to as the "financial statements").

In our opinion, the accompanying consolidated financial statements present fairly, in all material respects, the financial position of Tourism Chilliwack Inc. as at December 31, 2023 and the results of its operations, its changes in net financial assets and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis of Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "**Auditors' Responsibilities for the Audit of the Financial Statements**" section of our auditors' report.

We are independent of the Company in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.



We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Company's ability to continue as a going concern, disclosing as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Company or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Company's financial reporting process.

Auditors' Responsibilities for the Audit of the Financial Statements'

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.

We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.

The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Company's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Company's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditors' report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditors' report. However, future events or conditions may cause the Company to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

A handwritten signature in black ink that reads 'KPMG LLP'. The signature is written in a cursive, slightly slanted style. A horizontal line is drawn underneath the signature.

Chartered Professional Accountants

Chilliwack, Canada

April 2, 2024

TOURISM CHILLIWACK INC.

Consolidated Statement of Financial Position

December 31, 2023, with comparative information for 2022

	2023	2022
Financial assets:		
Cash and cash equivalents	\$ 1,608,261	\$ 1,896,179
Accounts receivable	444,682	323,958
	<u>2,052,943</u>	<u>2,220,137</u>
Financial liabilities:		
Accounts payable and accrued liabilities	311,210	234,519
Due to City of Chilliwack (note 10)	263,136	108,873
Deferred revenue	463,686	1,018,550
	<u>1,038,032</u>	<u>1,361,942</u>
Net financial assets	1,014,911	858,195
Non-financial assets:		
Inventories (note 2)	96,431	100,194
Prepaid expenses and deposits	19,609	23,637
Tangible capital assets (note 3)	41,034	16,092
Goodwill	6,120	6,120
	<u>163,194</u>	<u>146,043</u>
Contingency (note 9)		
Accumulated surplus	<u>\$ 1,178,105</u>	<u>\$ 1,004,238</u>
Represented by:		
Share capital (note 4)	\$ 1	\$ 1
Unrestricted equity	1,137,070	988,145
Equity in tangible capital assets	41,034	16,092
	<u>\$ 1,178,105</u>	<u>\$ 1,004,238</u>

See accompanying notes to financial statements.

Director

Director

TOURISM CHILLIWACK INC.

Consolidated Statement of Operations and Accumulated Surplus

Year ended December 31, 2023, with comparative information for 2022

	2023 Budget	2023 Actual	2022 Actual
Revenues:			
Sales, rental and other income	\$ 1,096,277	\$ 1,280,772	\$ 945,177
Operating agreements (note 5)	615,411	1,224,657	677,361
Hotel tax	515,980	925,792	675,358
Advertising revenues	509,159	412,098	477,978
Interest income	4,970	25,390	10,183
	<u>2,741,797</u>	<u>3,868,709</u>	<u>2,786,057</u>
Expenditures:			
Advertising and business development	1,042,380	1,540,393	976,463
Staffing costs	1,143,705	1,153,294	935,850
Operations	250,385	408,543	382,668
Administration	108,875	219,027	168,843
Utilities	78,420	76,317	75,931
Amortization of tangible capital assets	27,264	34,132	7,141
	<u>2,651,029</u>	<u>3,431,706</u>	<u>2,546,896</u>
Annual surplus before distribution	90,768	437,003	239,161
Distribution to City of Chilliwack (note 10)	-	(263,136)	(108,873)
Annual surplus	90,768	173,867	130,288
Accumulated surplus, beginning of year	1,004,238	1,004,238	873,950
Accumulated surplus, end of year	<u>\$ 1,095,006</u>	<u>\$ 1,178,105</u>	<u>\$ 1,004,238</u>

See accompanying notes to financial statements.

TOURISM CHILLIWACK INC.

Consolidated Statement of Change in Net Financial Assets

Year ended December 31, 2023, with comparative information for 2022

	2023 Budget	2023 Actual	2022 Actual
Annual surplus	\$ 90,768	\$ 173,867	\$ 130,288
Acquisition of tangible capital assets	-	(59,074)	(6,207)
Amortization of tangible capital assets	27,264	34,132	7,141
	27,264	(24,942)	934
Change in inventories	-	3,763	(67,370)
Change in prepaid expenses and deposits	-	4,028	(1,787)
	-	7,791	(69,157)
Change in net financial assets	118,032	156,716	62,065
Net financial assets, beginning of year	858,195	858,195	796,130
Net financial assets, end of year	\$ 976,227	\$ 1,014,911	\$ 858,195

See accompanying notes to financial statements.

TOURISM CHILLIWACK INC.

Consolidated Statement of Cash Flows

Year ended December 31, 2023, with comparative information for 2022

	2023	2022
Cash provided by (used in):		
Operating activities:		
Annual surplus	\$ 173,867	\$ 130,288
Item not involving cash:		
Amortization of tangible capital assets	34,132	7,141
	207,999	137,429
Changes in non-cash operating assets and liabilities:		
Accounts receivable	(120,724)	17,759
Inventories	3,763	(67,370)
Prepaid expenses and deposits	4,028	(1,787)
Accounts payable and accrued liabilities	76,691	(122,106)
Due to City of Chilliwack	154,263	107,673
Deferred revenue	(554,864)	(283,587)
	(228,844)	(211,989)
Capital activities:		
Acquisition of tangible capital assets	(59,074)	(6,207)
Change in cash and cash equivalents	(287,918)	(218,196)
Cash and cash equivalents, beginning of year	1,896,179	2,114,375
Cash and cash equivalents, end of year	\$ 1,608,261	\$ 1,896,179

See accompanying notes to financial statements.

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements

Year ended December 31, 2023

Basis of presentation:

Tourism Chilliwack Inc. (the "Company") was incorporated on December 16, 2006 and began operations on January 1, 2007. The Company is wholly-owned by the City of Chilliwack. The mandate of the Company is to develop and promote the tourism industry as well as provide economic development programs and services aimed at growing the tourism industry in the City of Chilliwack.

1. Significant accounting policies:

These financial statements are prepared in accordance with the CPA Canada Public Sector Accounting Handbook. The Company's significant accounting policies are as follows:

(a) Basis of consolidation:

The consolidated financial statements include all of the funds of the Company. Inter-fund transactions, fund balances and activities have been eliminated on consolidation. The funds of the Company include Facility Management, Tourism Services and Retail Services.

(b) Cash and cash equivalents:

Cash and cash equivalents consist of cash, bank balances and short-term investments with maturities of less than 90 days at acquisition.

(c) Inventories:

Inventories are measured at the lower of cost and net realizable value by using first-in, first-out costing methodology. The Company uses the same cost formula for all the inventories having a similar nature and use to the Company. When circumstances which previously caused inventories to be written down no longer exist the previous impairment is reversed.

(d) Tangible capital assets:

Tangible capital assets are stated at cost, less accumulated amortization. Amortization commences in the year that the asset is put into use and is provided using the declining balance method at the following annual rates:

Asset	Rate
Furniture and fixtures	30%
Computers	30%
Leasehold improvements	30%
Website	45%

Works of art and cultural and historical assets are not recorded as assets in these financial statements. Purchased works of art are expensed in year acquired.

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

1. Significant accounting policies (continued):

(e) Revenue recognition:

Grant revenues are recognized when the grants have been approved and the conditions required to earn the grants have been completed.

Revenue from the sale of goods and other income is recorded at time of sale.

Rental revenues are recognized in the period the facilities are occupied.

Revenue received in advance of the fee being earned or the service being performed is deferred and recognized when the fee is earned or service performed.

Advertising commission revenue is recognized when the related advertisement or commercial appears before the public.

(f) Budget figures:

Budget figures represent the budget approved by board of directors on November 29, 2022.

(g) Use of estimates:

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Actual results could differ from those estimates.

2. Inventories:

	2023	2022
Flag shop inventory	\$ 19,676	\$ 18,505
Maps, apparels and books	76,755	81,689
	\$ 96,431	\$ 100,194

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

3. Tangible capital assets:

	2023			2023
	Opening	Additions	Disposals	Closing
	Cost			Cost
Furniture and fixtures	\$ 67,738	\$ 2,840	\$ -	\$ 70,578
Computers	71,702	18,707	-	90,409
Leasehold Improvements	127,915	-	-	127,915
Website	87,222	37,528	-	124,750
	\$ 354,577	\$ 59,075	\$ -	\$ 413,652

	2023 Opening		Amortization	2023 Closing
	Accumulated	Disposals	expense	Accumulated
	Amortization			Amortization
Furniture and fixtures	\$ 62,413	\$ -	\$ 1,727	\$ 64,140
Computers	63,939	-	13,282	77,104
Leasehold Improvements	125,966	-	756	126,722
Website	86,167	-	18,367	104,652
	\$ 338,485	\$ -	\$ 34,132	\$ 372,618

	2023 Opening	2023 Closing
	Net book value	Net book value
Furniture and fixtures	\$ 5,325	\$ 6,438
Computers	7,763	13,305
Leasehold Improvements	1,949	1,193
Website	1,055	20,098
	\$ 16,092	\$ 41,034

Not included in tangible capital assets is \$68,143 (2021 - \$68,143) of works of art and cultural assets. During fiscal 2017, when these were purchased they were expensed on the statement of operations.

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

4. Share capital:

	2023	2022
Authorized:		
Unlimited common shares		
Issued with no par value:		
100 Common shares	\$ 1	\$ 1

5. Related party transactions and economic dependence:

During the year, the City of Chilliwack (the "City") provided funds under operating agreements totaling \$600,000 (2022 - \$580,000) to the Company. The City has agreed to provide future annual operating funds based on a pre-determined formula.

In addition, the Company had other sales transactions with the City in the aggregate amount of \$68,533 (2022 - \$70,229) and purchased services from the City totaling \$71,090 (2022 - \$319,368).

The Company is a wholly-owned subsidiary of the City.

All transactions with the City are in the normal course of operations and are measured at the exchange amount, which is the amount of consideration established and agreed to by the parties.

During the year the Company had sales of \$29,668 (2022 - \$41,968) and made purchases of goods and services of \$194,870 (2022 - \$83,813) with entities that have an individual on the Company's board of directors. These transactions were on the same terms and conditions as transactions with other parties.

6. Financial risks:

The Company is exposed to financial risks from its use of financial instruments. Management does not believe that the Company's financial instruments are exposed to significant liquidity risk.

Market risk is the risk that changes in market prices, such as interest rates, will affect the Company's income. The Company's cash and term deposits include amounts on deposit with financial institutions that earn interest at market rates. The Company manages its cash by maximizing the interest income earned on excess funds while maintaining the liquidity necessary to conduct operations on a day-to-day basis. Fluctuations in market rates of interest would not have a significant effect on the Company's income.

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

6. Financial instruments (continued):

Credit risk is the risk that one party to a financial instrument will cause a financial loss for the other party by failing to discharge an obligation. The Company is exposed to credit risk due to the potential non-collection of accounts receivable.

The carrying value of cash, accounts receivable, accounts payable and accrued liabilities and deferred revenue approximate their fair value due to the relatively short periods to maturity of these items.

There has been no change to the risk exposures outlined above from 2022.

7. Income taxes:

The Company is exempt from income taxes under Section 149 of the Income Tax Act, Canada.

8. Employee future benefits:

The Company and its employees contribute to the Municipal Pension Plan (a jointly trustee pension plan). The board of trustees, representing plan members and employers, is responsible for administering the plan, including investment of assets and administration of benefits. The plan is a multi-employer defined benefit pension plan. Basic pension benefits are based on a formula. As at December 31, 2023, the plan has about 240,000 active members and approximately 124,000 retired members. Active members include approximately 43,000 contributors from local governments.

Every three years, an actuarial valuation is performed to assess the financial position of the plan and adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent actuarial valuation for the Municipal Pension Plan as at December 31, 2021, indicated a \$3,761 million funding surplus for basic pension benefits on a going concern basis.

The Company expensed \$64,296 (2022 - \$57,808) for employer contributions to the plan in fiscal 2023.

The next valuation will be as at December 31, 2024, with results available in 2025.

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

8. Employee future benefits (continued):

Employers participating in the plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the plan records accrued liabilities and accrued assets for the plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the plan.

9. Contingency:

The Company entered into an agreement in 2011 with the City of Chilliwack which took effect on January 1, 2012. The agreement has been renewed for an additional five years starting January 1, 2022. The agreement outlines the management and operation of Chilliwack Heritage Park ("CHP").

As a condition of the agreement with the City, the Company issued a non-revocable Letter of Credit in the amount of \$50,000 as a guarantee for the due and faithful performance of the agreement.

10. Distribution to City of Chilliwack:

In accordance with an agreement between the Company and the City of Chilliwack, a distribution of funds derived from the operation of Chilliwack Heritage Park is returned to the City and put into a building reserve fund, specifically for future use at Chilliwack Heritage Park.

11. Contractual rights:

The Company has entered into contracts for various operating agreements. The Company is scheduled to receive the following amounts under those contracts over the next three years:

2024	\$	601,500
2025		595,000
2026		595,000
		-
	\$	1,791,500

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

12. Segmented information:

The Company is a diversified other government organization that provides a range of services, including:

Facility Management

Facility Management includes all activities associated with the operation of Chilliwack Heritage Park including renting the facility for various events.

Tourism Services

Tourism Services includes all activities associated with the operation of the Chilliwack Visitor Centre including co-coordinating and delivering tourism marketing programs aimed at promoting Chilliwack as a tourist destination.

Retail Services

Retail Services includes all activities associated with operation of the Flag Shop including selling various national and international flags and other souvenir items.

TOURISM CHILLIWACK INC.

Notes to Consolidated Financial Statements (continued)

Year ended December 31, 2023

12. Segmented information (continued):


The following table outlines the Company's revenues and expenditures by operating segments:

	Facility Management	Tourism services	Retail services	Eliminations	2023	2022
Revenues:						
Sales, rental and other income	\$ 928,619	\$ 179,367	\$ 172,786	\$ -	\$ 1,280,772	\$ 945,177
Operating agreements	450,000	774,657	-	-	1,224,657	677,361
Hotel tax	-	925,792	-	-	925,792	675,358
Advertising revenues	-	477,098	-	(65,000)	412,098	477,978
Interest income	3,954	21,436	-	-	25,390	10,183
	1,382,573	2,378,350	172,786	(65,000)	3,868,709	2,786,057
Expenditures:						
Advertising and business development	65,000	1,538,870	1,523	(65,000)	1,540,393	976,463
Staffing costs	679,053	416,507	57,734	-	1,153,294	935,850
Operations	244,094	125,195	39,254	-	408,543	382,668
Administration	59,153	159,874	-	-	219,027	168,843
Utilities	71,322	4,995	-	-	76,317	75,931
Amortization of tangible capital assets	815	33,317	-	-	34,132	7,141
	1,119,437	2,278,758	98,511	(65,000)	3,431,706	2,546,896
Annual surplus before distribution	\$ 263,136	\$ 99,592	\$ 74,275	\$ -	\$ 437,003	\$ 239,161

AGENDA ITEM NO: 7.11

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

Precision Building Design Associates Ltd.
Development Permit /
46068 & 46074 Fourth Avenue and
SUBJECT: 9011 & 9023 Nowell Street DATE: June 7, 2024
Planning Department
DEPARTMENT: RZ001708 PREPARED BY:  Adam Roberts / cc

1. SUMMARY OF ISSUE:

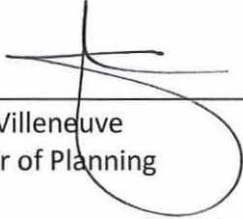
The applicant requests to amend the 2040 Official Community Plan (OCP) designation of the subject properties from “Residential 1 - Downtown Single Family” to “Urban Quarter” as per the Downtown Land Use and Development Plan and to rezone the properties from an R1-A (Urban Residential) Zone to a C9 (Mid Rise Apartment Commercial) Zone to facilitate a mixed-use commercial and residential development.

As detailed within the Staff Report, staff are not supportive of the proposed change in land use. As a result, staff recommend that Council deny the proposed amendment Bylaws, with respect to properties located at 46068 and 46074 Fourth Avenue and 9011 and 9023 Nowell Street.

2. RECOMMENDATION:

Recommendation that “Official Community Plan Bylaw Amendment Bylaw 2024, No. 5396” which proposes to amend the Official Community Plan designation of the subject properties from “Residential 1 - Downtown Single Family” to “Urban Quarter” as per the Downtown Land Use and Development Plan, be denied.

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5397”, which proposes to rezone the subject properties from an R1-A (Urban Residential) Zone to a C9 (Mid Rise Apartment Commercial) Zone, be denied.



Gillian Villeneuve
Director of Planning

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.



David Blain
Chief Administrative Officer

STAFF REPORT ON REZONING APPLICATION RZ001708

PREPARED BY: Adam Roberts DATE: June 7, 2024
POSITION: Planner III DEPARTMENT: Planning Department

1. BACKGROUND:

The applicant has submitted Development Variance Permit and Development Permit applications to approve the form and character of the proposed mixed-use development and vary setbacks, parking and EV charging standards. If the rezoning application is approved by Council, these applications will be brought forward at a future date for Council consideration.

2. PROPOSAL:

As shown on the attached conceptual site plan and elevations, the proposal includes the following:

- 1 storey at-grade parkade with a 9-level car elevator;
- 1 at-grade commercial unit;
- 6 residential floors above the at-grade parkade/commercial unit (24.5m height);
- 64 units (18 small unit apartments and 46 standard apartment units);
- 96 parking spaces (98 spaces are required); and,
- 18 trees (13 are required).

Should the OCP amendment and rezoning be approved the final lot layout and future development must comply with City Bylaws and include urban frontage improvements, reconstruction of the rear lane and extension of the storm main. The requirements of the Tree Management (Land Development) Bylaw and Floodplain Regulation Bylaw apply to the development. A restrictive covenant will also be required to advise future residents of the potential disruption that may occur from the surrounding active industrial operations (i.e., noise, traffic, light, etc.) as the development is in close proximity to a large industrial area.

3. DISCUSSION:

Land Use Considerations:

The proposed OCP amendment and rezoning application is not supported in this instance as the mixed-use development does not align with the goals and objectives of the Downtown Land Use and Development Plan (DLUDP), and is better suited within existing under-developed land in the core area of downtown. The DLUDP land uses and policies focus commercial and higher density mixed-use development within the core area to ensure there is a sensitive transition between lower and higher density development. The mixed-use development, as proposed, detracts from the "Urban Quarter"

land use goals of concentrated density, and precludes more appropriate ground-oriented infill housing in this area.

Given the existing housing form in the vicinity, and ground oriented infill development already occurring successfully along this street, staff are supportive of development that can be achieved under the current land use designation, including housing in the form of small lot single detached dwellings, coach houses, duplexes, row houses or a combination of these under the new Small-Scale Multi-Unit Housing (SSMUH) provisions. This context, combined with the DLUDP goals and objectives, confirms the land use designation of “Residential 1 - Downtown Single Family” remains the most appropriate for this area. This designation supports a modest increase in density that is integrated with the existing character of the area, and more appropriate given the proximity to existing industrial uses to the east.

In addition to the significant departure to the residential character in the area, the proposed increase in density is likely to exacerbate potential land use conflicts generated from the close proximity of existing industrial uses to the subject properties. As such, the proposed development is considered incompatible with the adjacent industrial area, and if approved, it is expected that conflict will occur between the existing industrial businesses and future residential tenants which will necessitate ongoing bylaw enforcement intervention.

Should the OCP amendment be approved, the “Urban Quarter” land use designation permits a building height of up to 18 storeys with a maximum density of 370du/ha. Although a 7-storey building with a maximum density of 250du/ha is permitted within the proposed C9 Zone, should the application be approved, and an alternative redevelopment proposal consistent with the “Urban Quarter” designation be brought forward at a future date, an 18-storey tower would be considered an appropriate built form. As such, if approved, the proposed OCP amendment will constitute a significant departure to the character and built form within the surrounding area and will create a precedent to expand higher density uses into existing lower density areas throughout the downtown leading to future land use conflicts as well as uncertainty within the development community as to appropriate locations for higher density redevelopment.

Provincial Legislative Context:

Recently, the Provincial government passed legislation in an attempt to increase overall housing supply and create more affordable housing options throughout BC. Two such changes include regulations related to Small-Scale Multi-Unit Housing (SSMUH) and the creation of Transit-Oriented Areas (TOAs). The SSMUH legislation was established as a means to provide more affordable and attainable housing in a range of built forms to accommodate the needs of various household configurations. Although mixed-use or apartment developments, such as the subject proposal, increase housing supply and are generally more affordable, this built form on its own does not meet the needs of a broad range of residents in Chilliwack. As such, densification focused on the construction of apartments while neglecting alternative built forms such as single family homes with accessory dwelling units, duplexes and rowhouses (as supported by the “Residential 1” designation) is a restricted approach to address housing in the community that may not result in the desired outcome of diverse housing options in the long term.

The TOA legislation introduced by the Province specifically increased building height and waived residential parking in areas close to frequent transit to encourage the construction of higher density residential development in areas with access to transit. Although a TOA exists within downtown Chilliwack where the relaxation on parking applies, all areas outside of the TOA are expected to comply with City zoning requirements in relation to the provision of off-street parking in order to ensure development can manage itself without overburdening the limited available on street parking. As the subject properties are not located within 400m of the downtown Chilliwack bus exchange, they do not qualify for increased building height or parking relaxations, although the applicant has requested a reduction to overall parking through a separate Development Variance Permit application.

Official Community Plan Update:

In addition to the site-specific considerations detailed above, the City has recently begun an update of the 2040 Official Community Plan which will include an in-depth review of land use designations throughout the community. This review will help determine where residential development should occur and what form that development should take based on factors such as neighbourhood characteristics and recent legislative changes. As part of this review, the City will assess appropriate locations for higher density development, such as the proposed mixed-use building, and infill development such as small lot single detached dwellings, coach houses, duplexes and townhouses. Considering higher density development in this location in advance of the OCP review presumes the outcome of the review, predetermines higher density in this location, and sets a precedent for supporting OCP amendment applications in other low density areas across the City. As such, the proposed site specific OCP amendment to permit mixed-use development on the subject properties is premature in advance of this comprehensive review of city-wide residential development and as such, staff are not supportive of the proposal.

The applicant is aware that staff are not supportive of the proposed change in land use, and has requested that the application be forwarded to Council. The applicant is aware that staff's recommendation to Council is to deny the OCP amendment and rezoning application.

4. FACTORS:

4.1 2040 Official Community Plan (OCP) / Land Use / Community Engagement / OCP Pre-consultation

Official Community Plan:	“Residential 1 - Downtown Single Family” as designated within the Downtown Land Use and Development Plan. The proposal is not consistent with this designation. An amendment to the current designation to “Urban Quarter” is requested and detailed above.
Land Use:	All 4 lots are currently vacant and have been fenced to secure the site from trespass.
Community Engagement:	The applicant delivered a letter to properties within 30m of the subject properties with a description of the proposal and their contact information. At the time this report was written, one email was sent

to both the applicant and the City, and has been included in the public record.

OCP Pre-consultation: On June 4, 2024, Council directed staff to not consult with any outside agencies.

4.2 Neighbourhood Character

The subject properties are located within downtown Chilliwack to the north of CN Rail and east of Young Road. The existing land use in the area is comprised of industrial properties to the east and single detached dwellings to the north, south and west. Future redevelopment in the area is expected to be consistent with the “Residential 1” designation as per the Downtown Land Use and Development Plan including single detached dwellings, duplexes, and rowhouses. As such, the proposed higher density mixed-use development is inconsistent with the existing and future character of the surrounding area.

The specific uses in the surrounding area are as follows:

East: Industrial buildings within the M1 (Light Industrial) Zone

North & West: Single detached dwellings within the R1-A Zone

South: Single detached dwellings within the M1-A (Residential Light Industrial) Zone

4.3 Technical Issues:

Floodplain: The subject properties are located within the protected floodplain and subject to the Floodplain Regulation Bylaw.

Watercourses: There are no known watercourses within or in the immediate vicinity of the subject properties.

Geotechnical: The properties are not subject to any known geotechnical hazards or earthquake-related risks.

5. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

Recommendation that “Official Community Plan Bylaw Amendment Bylaw 2024, No. 5396” which proposes to amend the Official Community Plan designation of the subject properties from “Residential 1 - Downtown Single Family” to “Urban Quarter” as per the Downtown Land Use and Development Plan, be denied.

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5397”, which proposes to rezone the subject properties from an R1-A (Urban Residential) Zone to a C9 (Mid Rise Apartment Commercial) Zone, be denied.

Substantiation:

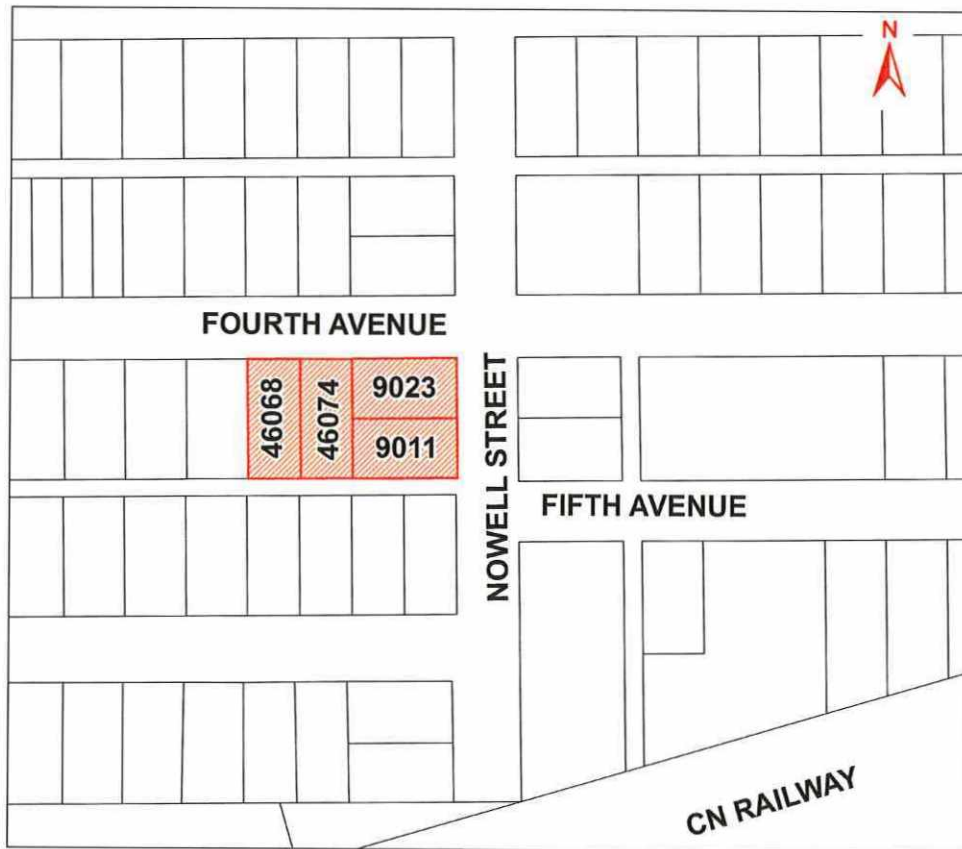
The proposed OCP amendment and rezoning is inconsistent with the goals and objectives of the Downtown Land Use and Development Plan and departs from the ongoing single-family and infill development occurring within the area. This location is considered to be more appropriate for ground-oriented infill development such as single detached dwellings, duplexes, and rowhouses given the properties’ distance to the downtown core, and existing lower density residential and industrial land uses in the surrounding area. The proposal detracts from the “Urban Quarter” land use goals of concentrated density, and precludes more appropriate ground-oriented infill housing in this area which is necessary to provide varied housing types for residents in the community. In addition, considering higher density development in this location is premature in advance of the City’s comprehensive review of city-wide residential development through the upcoming OCP process as it presumes the outcome of the review, predetermines higher density in this location, and sets a precedent for supporting OCP amendment applications in other low density areas across the City.

The applicant is aware that staff’s recommendation to Council is to deny the OCP amendment and rezoning application as proposed and has requested to proceed without staff support.

6. SOURCES OF INFORMATION:

- Development Application Review Team (DART) minutes – June 22, 2023
- Development Permit Application DP001695 – April 17, 2023
- Rezoning Application RZ001708 – April 17, 2023
- Development Variance Permit Application DVP01433 – May 23, 2024
- Crime Prevention Through Environmental Design (CPTED) Report, prepared by *AMR Systems* – April 6, 2023

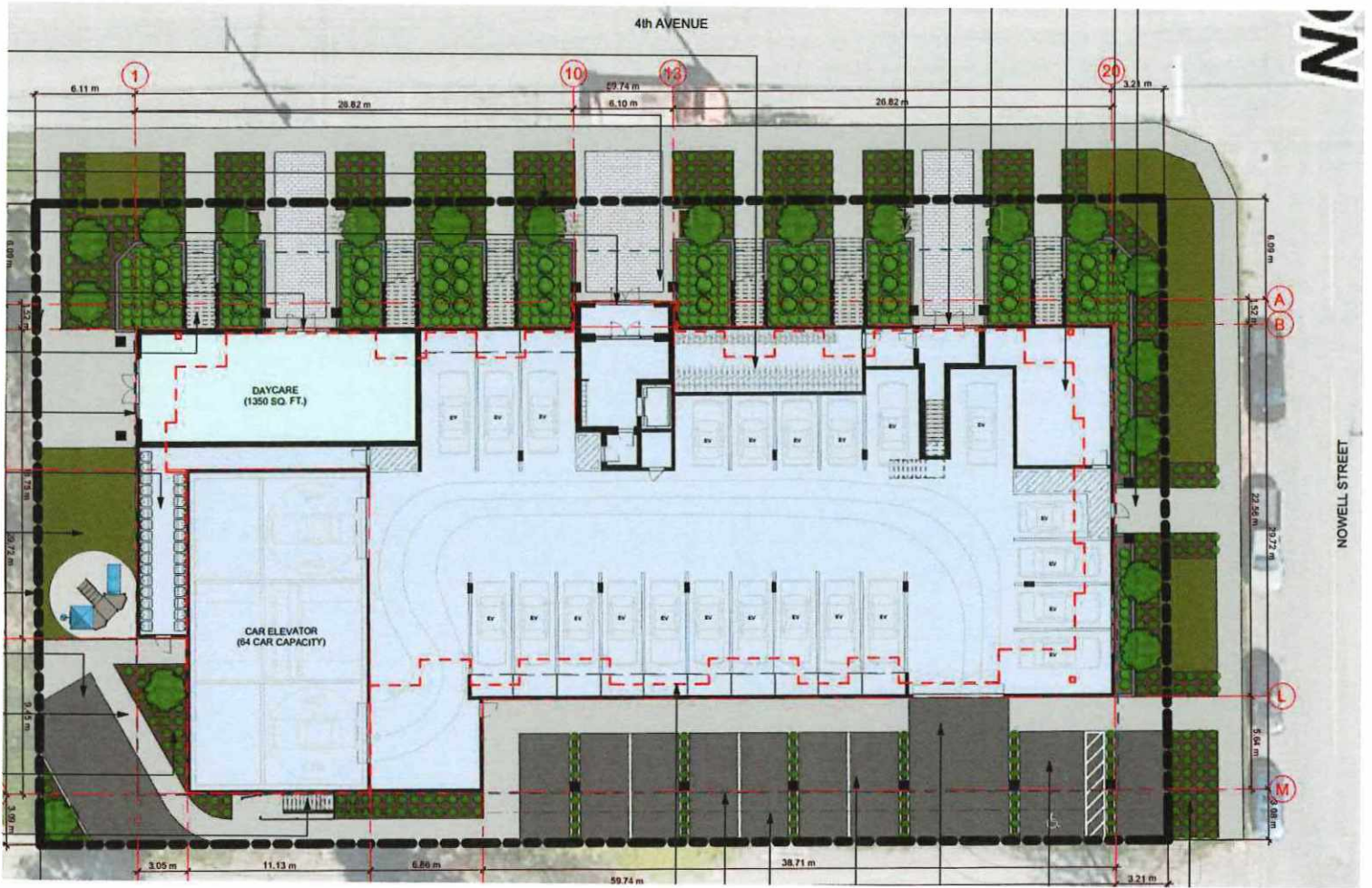
Location Map



Ortho Photo



Proposed Site Plan (as provided by the applicant)



Proposed Renderings (as provided by the applicant)



City of Chilliwack

Bylaw No. 5396

A bylaw to amend the “Official Community Plan Bylaw 2014, No. 4025”

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Official Community Plan Bylaw Amendment Bylaw 2024, No. 5396”**.
2. “Official Community Plan Bylaw 2014, No. 4025”, is hereby amended by redesignating properties described as:
 1. PID: 012-373-001, Lot 13 Block 31 Division E New Westminster District Plan 1797 (46068 Fourth Avenue);
 2. PID: 005-197-911, Lot 14 Block 31 Division “E” New Westminster District Plan 1797 (46074 Fourth Avenue);
 3. PID: 011-245-891, Lot “B” Division “E” New Westminster District Plan 7593 (9011 Nowell Street); and,
 4. PID: 011-245-875, Lot “A” Division “E” New Westminster District Plan 7593 (9023 Nowell Street);from “Residential 1 – Downtown Single Family” to “Urban Quarter”.

Received first and second reading on the
Public hearing held on the
Received third reading on the

Consultation Process considered by Council on the 4th day of June, 2024.

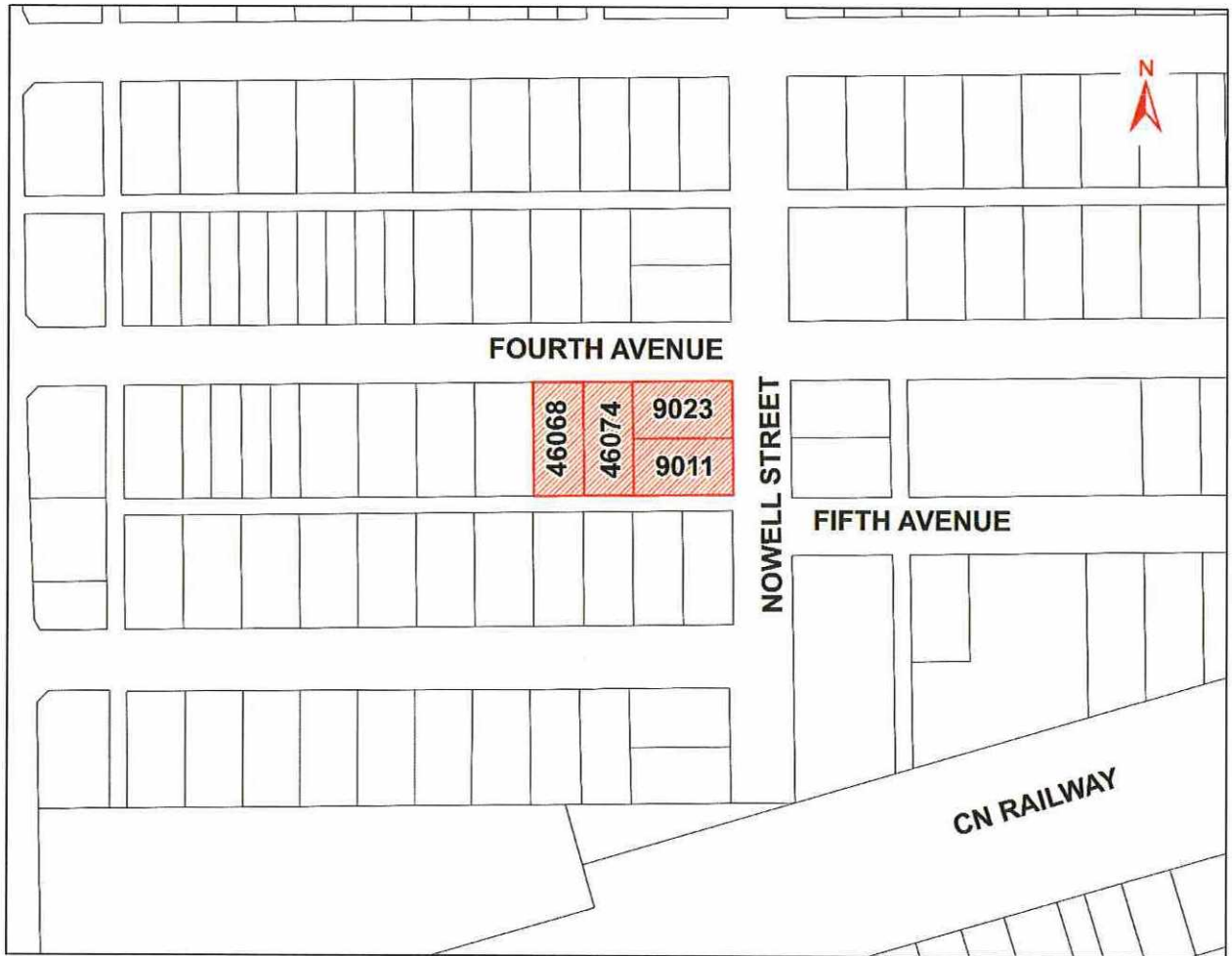
Received adoption on the

Mayor

Corporate Officer

DRAFT

“Official Community Plan Bylaw Amendment Bylaw 2024, No. 5396”



DRAFT

City of Chilliwack

Bylaw No. 5397

A bylaw to amend the “Zoning Bylaw 2020, No. 5000”

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Zoning Bylaw Amendment Bylaw 2024, No. 5397”**.
2. “Zoning Bylaw 2020, No. 5000” is hereby amended by rezoning properties described as:
 1. PID: 012-373-001, Lot 13 Block 31 Division E New Westminster District Plan 1797 (46068 Fourth Avenue);
 2. PID: 005-197-911, Lot 14 Block 31 Division “E” New Westminster District Plan 1797 (46074 Fourth Avenue);
 3. PID: 011-245-891, Lot “B” Division “E” New Westminster District Plan 7593 (9011 Nowell Street); and,
 4. PID: 011-245-875, Lot “A” Division “E” New Westminster District Plan 7593 (9023 Nowell Street);from an R1-A (Urban Residential) Zone to a C9 (Mid Rise Apartment Commercial) Zone.

Received first and second reading on the
Public hearing held on the
Received third reading on the
Received adoption on the

Mayor

Corporate Officer

DRAFT

“Zoning Bylaw Amendment Bylaw 2024, No. 5397”



DRAFT

AGENDA ITEM NO: 7.12

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: Tyler O’Connell
Rezoning / 10665 Young Road DATE: June 7, 2024

DEPARTMENT: Planning Department
RZ001755 PREPARED BY: Adam Roberts / cc

1. SUMMARY OF ISSUE:

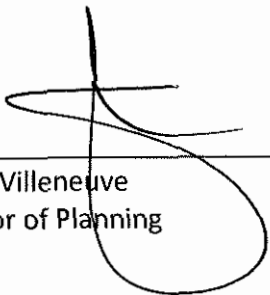
The applicant wishes to amend the text of the RS-FHA (Flood Hazard Area) Zone to facilitate the construction of a single detached dwelling on the subject property.

Staff recommend that the bylaw be held at third reading pending approval of a Site Specific Exemption from the Floodplain Regulation Bylaw.

2. RECOMMENDATION:

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5400”, which proposes to amend the text of the RS-FHA Zone to facilitate the construction of a single detached dwelling, be given first and second reading.

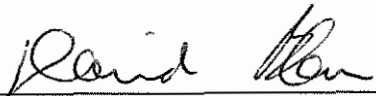
Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5400”, which proposes to amend the text of the RS-FHA Zone to facilitate the construction of a single detached dwelling, be given third reading.



Gillian Villeneuve
Director of Planning

3. CHIEF ADMINISTRATIVE OFFICER’S RECOMMENDATION/COMMENTS:

Supports recommendation.



David Blain
Chief Administrative Officer

STAFF REPORT ON REZONING APPLICATION RZ001755

PREPARED BY: Adam Roberts DATE: June 7, 2024

POSITION: Planner III DEPARTMENT: Planning

1. BACKGROUND:

Through Bill 44, the Province made substantial changes to municipal procedures related to zoning and approvals for residential development, including a prohibition on public hearings for rezoning applications which are consistent with the Official Community Plan designation. As such, a public hearing is not permitted for this application under the Local Government Act. Properties within 30m of the subject property will be provided a notice of the application in accordance with the Public Hearing/Public Information Meeting Procedural Bylaw and provincial legislation. As part of the notification process, any written submissions received will be presented in an information package to Council.

2. PROPOSAL:

The applicant wishes to construct a new single detached dwelling on the subject property as the previous dwelling was destroyed by a fire in 2022. As the property is located outside of the City standard dike, a single detached dwelling is not permitted in accordance with the Floodplain Regulation Bylaw and RS-FHA (Flood Hazard Area) Zone. As such, a Site Specific Exemption from the Floodplain Regulation Bylaw and a text amendment to the RS-FHA Zone is required to permit the construction of a new dwelling. Given the size of the property and irregular shape, a reduction to the rear lot line setback is also required.

The applicant intends to construct the proposed dwelling in approximately the same location as the house that was destroyed. The Engineering Department has confirmed the proposed building will be sited an appropriate distance from Tower Road to accommodate future road widening and dike maintenance. In addition, as part of the separate Site Specific Exemption application, the Land Development Department has reviewed the Geotechnical Hazard Assessment Report prepared by a Qualified Professional which outlines a safe elevation for the proposed building as well as mitigation measures to reduce the flood risk. Based on this assessment, staff are supportive of the proposed Site Specific Exemption.

The applicant has submitted a concurrent Development Variance Permit (DVP) application to reduce the minimum rear lot line setback within the RS-FHA Zone from 7.5m to 2.2m. Should the proposed text amendment be approved by Council, the DVP application will be brought forward to a future Council meeting for consideration.

3. FACTORS:

3.1 2040 Official Community Plan (OCP) / Land Use

OCP Designation: "Agriculture"

Existing Land Uses: Bare land.

3.2 Neighbourhood Character

The subject property is located to the north of the Fairfield Island Neighbourhood, outside of the dike and within close proximity to the Fraser River.

North: Single detached dwelling within the RS-FHA Zone.

East & South: The City dike along Tower Road and single detached dwellings within AL (Agricultural Lowland) Zoned properties.

West: Single detached dwelling and multiple agricultural buildings within the RS-FHA Zone.

3.3 Technical Issues:

Floodplain: The subject property is not protected by the City standard dike and is subject to the Floodplain Regulation Bylaw. A Site Specific Exemption application is currently under review by the City Engineering and Land Development Departments and is being brought forward as a separate application for Council's consideration with staff support. Should Council approve the Site Specific Exemption, registration of a covenant on title absolving the City of Chilliwack of any liability with respect to the flooding of the property, or flood damage to the land, structure, and contents thereof will be required prior to issuance of a Building Permit.

Watercourses: There are no known watercourses within or in the immediate vicinity of the subject property.

Geotechnical Issues: The property is not subject to any known geotechnical hazards or earthquake-related risks.

4. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

Recommendation that "Zoning Bylaw Amendment Bylaw 2024, No. 5400", which proposes to amend the text of the RS-FHA Zone to facilitate the construction of a single detached dwelling, be given first and second reading.

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5400”, which proposes to amend the text of the RS-FHA Zone to facilitate the construction of a single detached dwelling, be given third reading. (RZ001755)

Substantiation:

The proposed text amendment to the RS-FHA Zone is necessary to permit the replacement of a single detached dwelling that was destroyed in a fire on the subject property. As the property is not protected by a City dike, a Qualified Professional has reviewed the site and determined a safe elevation for the building and outlined mitigation measures to reduce flood risk. As such, the requested text amendment is supportable in this instance.

5. SOURCES OF INFORMATION:

- Rezoning Application (RZ001755) – March 18, 2024
- Development Variance Permit Application (DVP01416) – March 18, 2024
- Building Permit Application (BP034801) – September 27, 2023
- Development Application Review Team (DART) Minutes – March 30, 2023

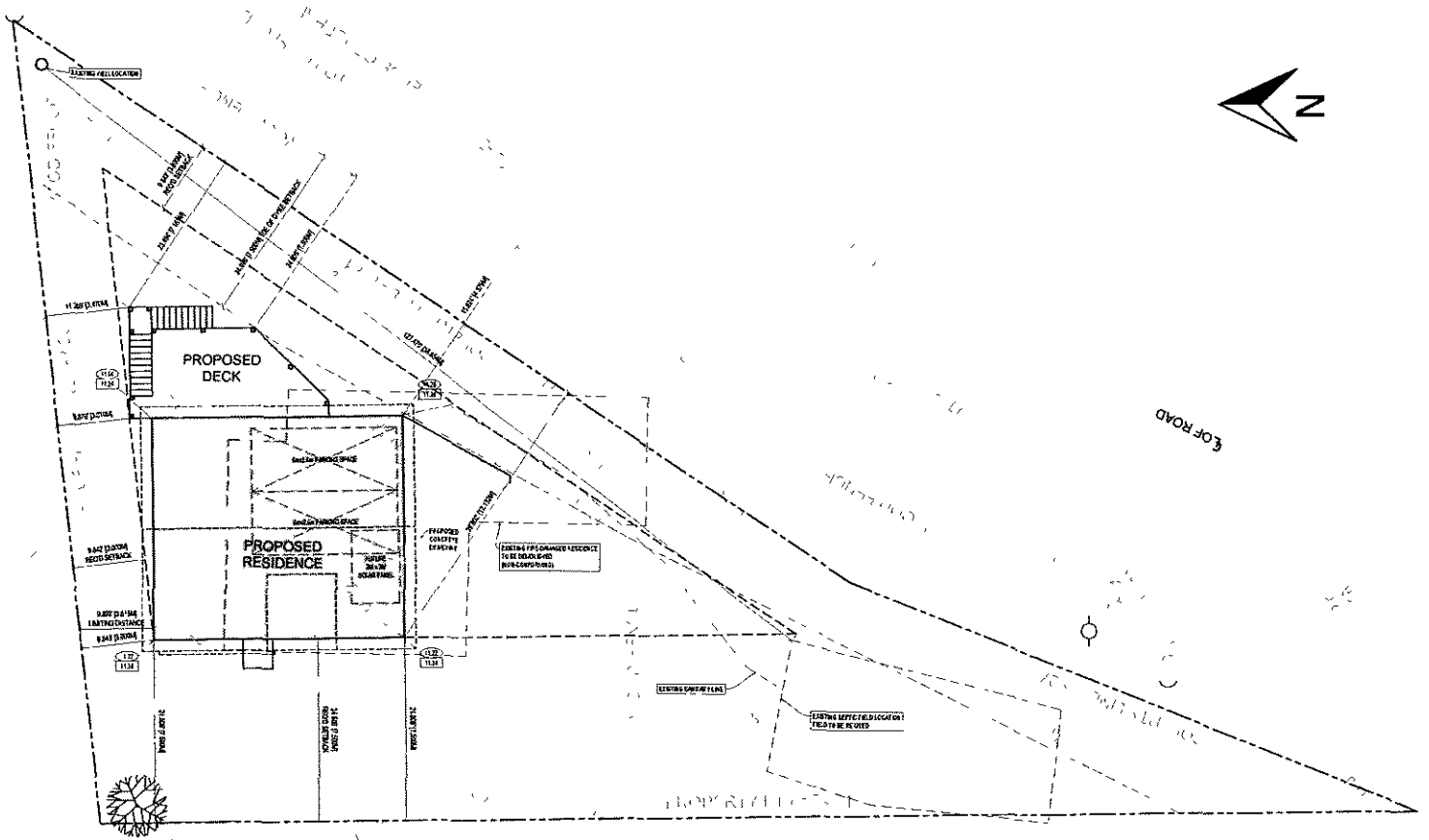
Location Map



Orthophoto



Proposed Site Plan (as submitted by the applicant)



(7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL
(a) RESIDENTIAL USE	7.5m	7.5m	3m	7.5m
(b) ANIMAL ENCLOSURE (10m ² or less)	7.5m	3m	3m	7.5m
(c) ANIMAL ENCLOSURE (not exceeding 100m ²)	7.5m	7.5m	7.5m	7.5m
(d) ANIMAL ENCLOSURE (exceeding 100m ²)	15m	15m	15m	15m
(e) Manure storage FACILITY	30m	30m	30m	30m
(f) Other BUILDINGS	7.5m	7.5m	3m	7.5m
(g) ROADSIDE STANDS	3m	15m	7.5m	6m

(8) SITING

- (a) N/A

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) ANIMAL ENCLOSURE and other agricultural BUILDINGS	N/A
(b) RESIDENTIAL USE	10m
(c) ROADSIDE STANDS	5m
(d) RURAL ANCILLARY USES	6m

(10) SPECIAL REGULATIONS

- (a) A MANUFACTURED HOME, SINGLE SECTION shall be only be allowed subject to approval by the CITY Engineering Department.
- ~~(b)~~ A permanent SINGLE DETACHED DWELLING may be constructed in the area north and east of Shefford Slough, south of Cartmell Road and west of Young Road, if approved by the CITY Engineering Department.
- ~~(b)~~~~(c)~~ Notwithstanding the above, a permanent SINGLE DETACHED DWELLING may be constructed within the property identified as PID: 011-901-616, Parcel "4" (Reference Plan 15281) Lot "D" District Lot 422 Group 2 New Westminster District Plan 675 (10665 Young Road), if approved by the CITY Engineering Department.
- ~~(c)~~~~(d)~~ A RURAL ANCILLARY USE shall be subject to the approval of the CITY Engineering Department.
- ~~(d)~~~~(e)~~ An ACCESSORY DWELLING UNIT shall be limited to the following types:
- (i) SECONDARY SUITE.

Review General Regulations for Additional Development Requirement

City of Chilliwack

Bylaw No. 5400

A bylaw to amend the “Zoning Bylaw 2020, No. 5000”

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Zoning Bylaw Amendment Bylaw 2024, No. 5400”**.
2. “Zoning Bylaw 2020, No. 5000” is hereby amended in Section 12 RESERVE ZONES, Subsection 12.02 RS-FHA (FLOOD HAZARD AREA) ZONE, Paragraph (10) SPECIAL REGULATIONS, by inserting a new Subparagraph (c), as follows, and re-alphabetizing the existing Subparagraphs accordingly:
 - “(c) Notwithstanding the above, a permanent SINGLE DETACHED DWELLING may be constructed within the property identified as PID: 011-901-616, Parcel “4” (Reference Plan 15281) Lot “D” District Lot 422 Group 2 New Westminster District Plan 675 (10665 Young Road), if approved by the CITY Engineering Department.”

Received first and second reading on the
Public hearing held on the
Received third reading on the
Received adoption on the

Mayor

Corporate Officer

DRAFT

AGENDA ITEM NO: 7.13

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: OTG Development Concepts Ltd.
Rezoning / 46001 Gore Avenue, 46002 &
46010 Princess Avenue, and 9232 & 9240
Young Road DATE: June 4, 2024

DEPARTMENT: Planning Department
RZ001393 PREPARED BY:  Erin Leary / cc

1. SUMMARY OF ISSUE:

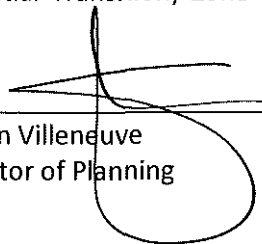
The applicant requests to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from and R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone to facilitate construction of a mixed-use development with a separate free-standing parkade on the consolidated area of the subject properties.

Staff recommend the bylaw be held at third reading pending completion of the road closure and property purchase process for a portion of Gore Avenue and City lane.

2. RECOMMENDATION:


Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5401”, which proposes to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from and R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone, be given first and second reading;

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5401”, which proposes to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from and R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone, be given third reading. (RZ001393)


Gillian Villeneuve
Director of Planning

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.


David Blain
Chief Administrative Officer

STAFF REPORT ON REZONING APPLICATION RZ001393

PREPARED BY: Erin Leary DATE: June 4, 2024

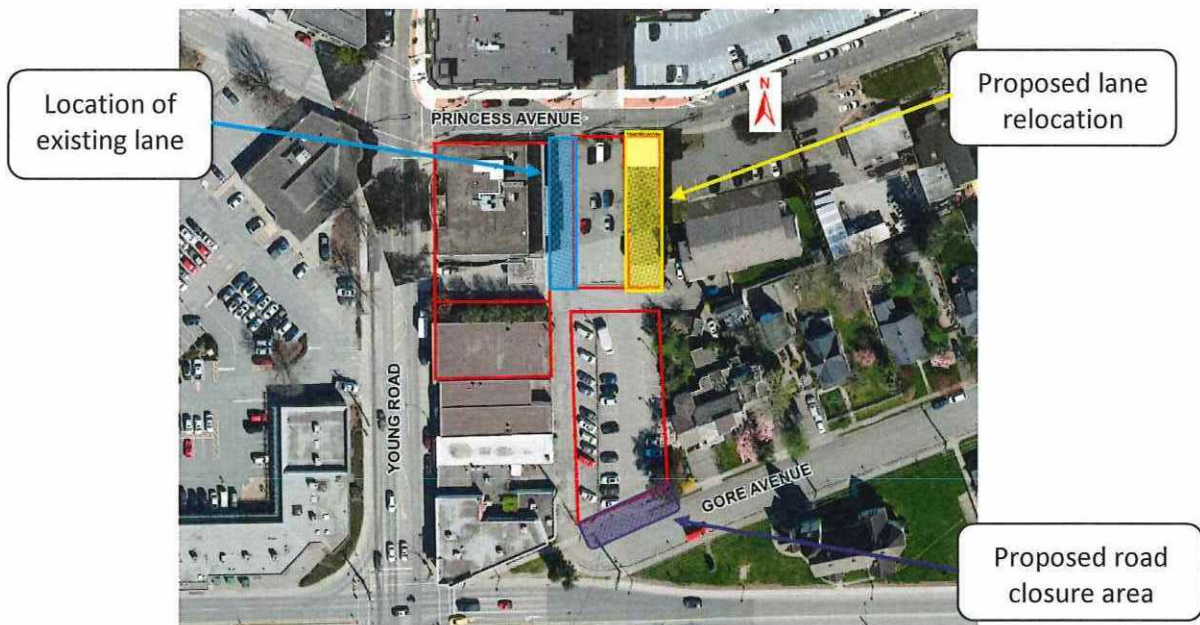
POSITION: Manager of Development Planning DEPARTMENT: Planning

1. BACKGROUND:

Through Bill 44, the Province made substantial changes to municipal procedures related to zoning and approvals for residential development, including a prohibition on public hearings for rezoning applications which are consistent with the Official Community Plan designation. As such, a public hearing is not permitted for this application under the Local Government Act. Properties within 30m of the subject property will be provided a notice of the application in accordance with the Public Hearing/Public Information Meeting Procedural Bylaw and provincial legislation. As part of the notification process, any written submissions received will be presented in an information package to Council.

2. PROPOSAL:

The applicant requests to rezone the properties to a combination of the C9 and CP Zones to facilitate construction of an 82 unit, 6-storey mixed-use development sited at the corner of Young Road and Princess Avenue with a 5-storey free standing parkade fronting Gore Avenue. As part of the proposal the applicant requests to purchase a portion of Gore Avenue to be utilized for the parkade ramp and relocate the City lane, as shown in the plan below. As such, an application for the road closure and property purchase is currently underway, to be processed concurrently with the rezoning proposal. As part of the rezoning process, those portions of the lane and Gore Avenue which will be closed and incorporated into the proposed development will be included within the C9 Zone or CP Zone as applicable.



The final lot layout must comply with City Bylaws and include road dedication on Young Road and Princess Avenue. In addition, urban frontage improvements are required on Young Road, Princess Avenue and Gore Avenue including barrier curb, sidewalk full half-road construction and LED streetlighting. The requirements of the Tree Management (Land Development) Bylaw and Floodplain Regulation Bylaw apply to the development. An agreement will also be required to ensure construction of the mixed-use building and free-standing parkade is completed concurrently, with occupancy of each building linked to completion of the other.

The applicant has submitted Development Variance Permit and Development Permit applications to approve the form and character of the proposed development and vary setbacks, lot coverage, parkade height, landscaping, storage locker location, and loading bay requirements within the Zoning Bylaw. If the rezoning application is approved by Council, these applications will be brought forward at a future date for Council consideration.

As the subject properties are located within the Transit Oriented Area (TOA), the proposed development is eligible to waive all parking associated with the residential component of the project. At this time, the applicant is providing 72 parking spaces for the proposed 82 units; 15 less than the minimum requirement as per the Zoning Bylaw.

3. FACTORS:

3.1 2040 Official Community Plan (OCP) / Land Use / Public Engagement

OCP Designation: "Urban Quarter" as per the Downtown Land Use and Development Plan.

Land Use: 46010 Princess Avenue, 9240 and 9232 Young Road

- Commercial buildings with the C3 Zone

46002 Princess Avenue and 46001 Gore Avenue

- Parking lots within the R6 and R2 Zones

Public Engagement: The applicant mailed a public engagement package which included a description of the proposal as well as a site plan and building renderings on March 20, 2023 and November 20, 2023 to the surrounding properties. To date, no responses have been received. A copy of the engagement packages have been included in the information package to Council.

3.2 Neighbourhood Character

The subject properties are located within a primarily commercial area of downtown Chilliwack currently experiencing significant redevelopment. To the north of the property is the District 1881 mixed-use development within the CD-22 (Comprehensive Development 22) Zone. To the south of the site are small commercial lots within the C3 Zone as well as Saint Thomas Anglican Church in the P1 (Civic Assembly) Zone. To the west is a large commercial development (Salish Plaza) within the C3 Zone and to the east are residential properties in a combination of the RC and R6 Zones. The

proposed mixed-use development is consistent with the redevelopment pattern currently occurring within the area, as exemplified by District 1881 and will constitute an overall improvement to the neighbourhood.

3.3 Technical Issues:

Floodplain.	The subject properties are located within the protected area of the floodplain and as such, are subject to the Floodplain Regulation Bylaw.
Watercourses:	There are no know watercourses within, or in the immediate vicinity of, the subject properties.
Geotechnical:	The properties are not subject to any known geotechnical hazards or earthquake related risks.
Traffic Impact Assessment:	The applicant submitted a Traffic Impact Assessment prepared by Bunt & Associates to support the proposed development and associated road closure and lane relocation. The City Engineering and Land Development Departments have reviewed the report and are supportive of the proposal.

4. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5401”, which proposes to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from and R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone, be given first and second reading;

Recommendation that “Zoning Bylaw Amendment Bylaw 2024, No. 5401”, which proposes to rezone 46010 Princess Avenue, 9240 and 9232 Young Road from a C3 (Town Centre Commercial) Zone and 46002 Princess Avenue from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone and 46001 Gore Avenue from and R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone, be given third reading. (RZ001393)

Substantiation:

The proposed rezoning to facilitate a mixed-use development with a free-standing parkade on the subject properties is consistent with the “Urban Quarter” designation of the site and is in keeping with the redevelopment trend occurring within the surrounding area. In addition, the proposed development will constitute an overall improvement to the neighbourhood and as such, the proposal is considered supportable.

5. SOURCES OF INFORMATION:

- Rezoning application (RZ001393) – November 18, 2019
- Development Permit application (DP01690) – March 22, 2023
- Development Variance Permit application (DVP01349) – March 22, 2023
- Development Application Review Team (DART) Minutes – July 14, 2022 & April 27, 2023
- Transportation Impact Assessment prepared by Bunt & Associates, September 27, 2023

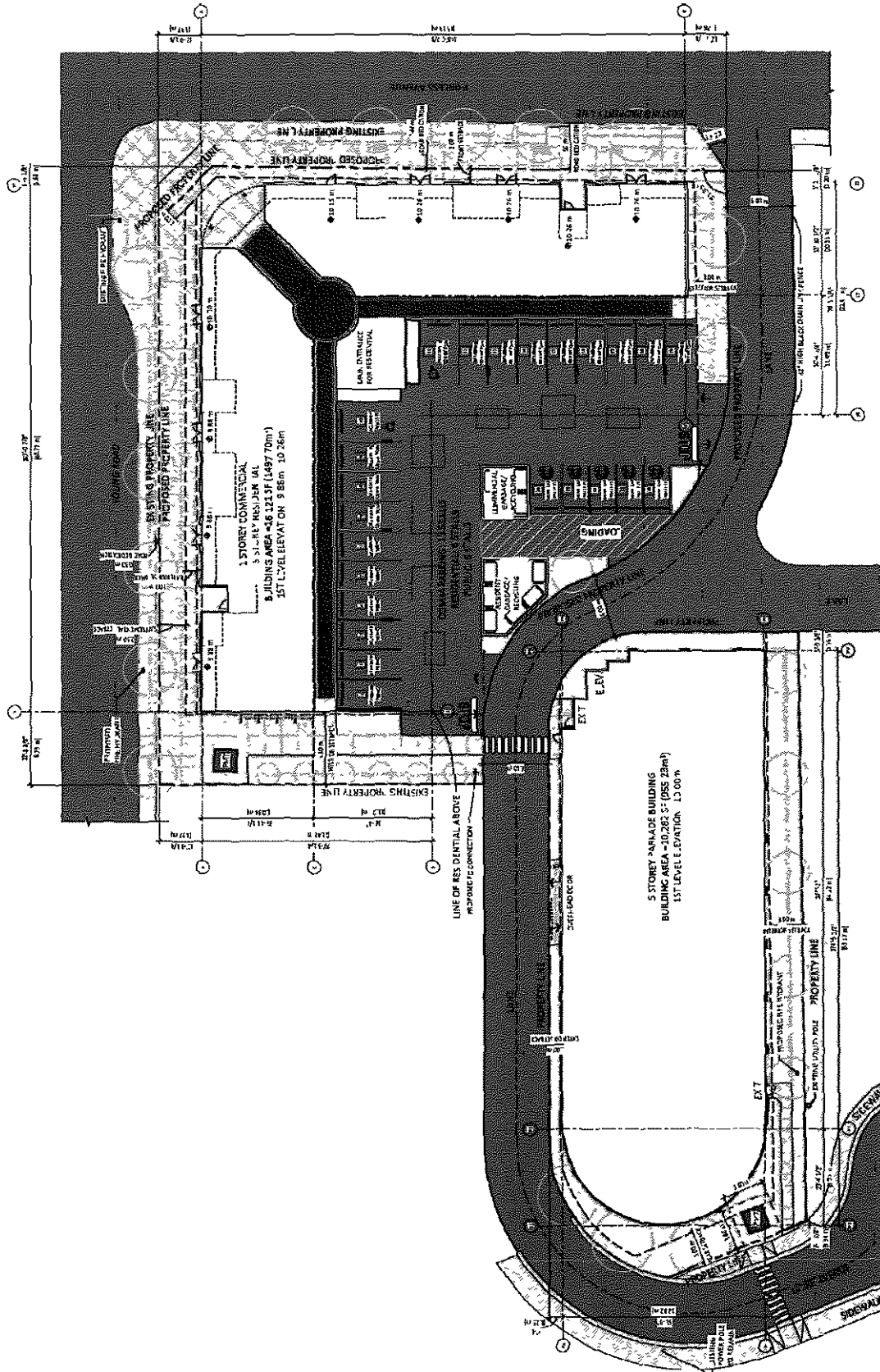
Location Map



Orthophoto



Conceptual Site Plan (as provided by the applicant)



Renderings



view from young road



parkade - view from gore avenue



parkade - view from gore avenue with neighbour property

Our File No. 18-125

November 20, 2023

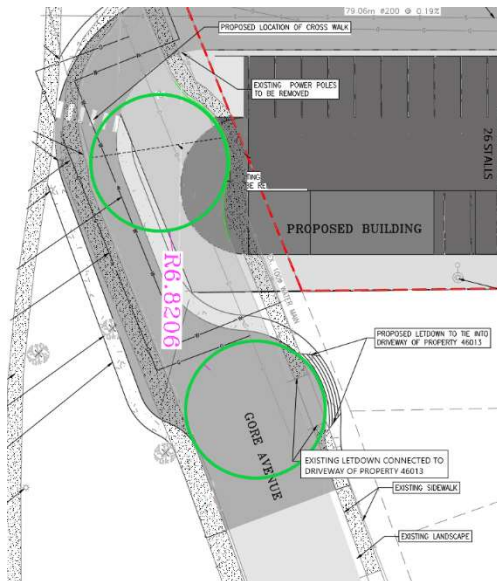
46013 Gore Avenue
Chilliwack V2P 1Z5

To Whom it May Concern,

Date Received: Nov 20, 2023
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 & 46010
Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

Re: Proposed Mixed-Use Commercial and Residential Development - 9240 & 9232 Young Road, 46001 Gore Avenue, and 46002 & 46010 Princess Avenue

This letter has been prepared as a follow-up to our letter forwarded to you on March 3rd of this year with respect to the proposed commercial and residential development within the group of properties located to the west of you. A copy of our previous letter is attached for your information. On behalf of the owner, OTG Developments is again seeking your comments with respect to this development specifically in relation to the proposed relocation of the existing Gore Avenue traffic bulb as shown in the images below.



Figures 1 and 2 Current & Proposed Cul-de-Sac Location

+++

"A plan without action is a dream,
an action without a plan is a nightmare."



Now that more detailed plans have been prepared, we are able to provide you with further information on the proposed changes to the City's Road and sidewalk area. Unfortunately, recent survey information shows that a portion of your fence and landscaping is currently located within City property and outside the boundary of your lot. This fencing and landscaping will need to be relocated slightly to allow for the new road design. The images below show the fencing and landscaping before and after the changes.



Figure 3 Current and Proposed Fencing and Landscaping Locations.



Date Received: Nov 20, 2023
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 & 46010
Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

We are seeking comments from you regarding any concerns or suggestions that you may have with respect to the changes. Please note that the above depicted changes will be completed at no cost to you and with minimal disturbance. The intent is to relocate and/or replace existing landscaping to ensure your frontage remains unaltered as much as possible.

If you have any questions or would like to provide feedback, please forward them to me using the following methods no later than December 8, 2023:

Mail: OTG Developments Ltd., 201 – 45269 Keith Wilson Road, Chilliwack, B.C. V2R 5S1

Email: shannon@otgdevelopments.com

Regards,

A handwritten signature in blue ink, appearing to read 'Shannon Webb', is written over a horizontal line.

Shannon Webb
Senior Planner / Project Manager
P: 250 686 5793
E: shannon@otgdevelopments.com

May 1 2023

Our File: 18-125

City of Chilliwack
Planning & Development Department
8550 Young Road
Chilliwack B.C. V2P 8A4

Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 & 46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

Re: Neighbour Notification Summary for 9232 & 9240 Young Road, 46001 Gore Avenue, and 46002 & 46010 Princess Avenue

This letter is to provide a neighbour notification summary with respect to the Rezoning and Development Variance Permit applications as well as the City lane relocation for the proposed mixed-use development at the above-mentioned subject properties. Notification letters were mailed via Canada Post on March 20, 2023, to all properties within 30 metres of the proposed development site as shown within Figure 1 below. The property owners / tenants to the east (six commercial units within 46013 Gore Avenue) were sent a separate notification letter March 6, 2023, with additional information due to their property being directly adjacent to the proposal development and affected by the proposed alterations to Gore Avenue.



Figure 1 - Subject Properties and 30 metre Mailout Radius Map



Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

Copies of both neighbour notification letters are attached as Appendix I and II.

As of May 1, 2023, there have been no comments or concerns received.

Upon review of the above, if there are any questions or concerns, please do not hesitate to contact the undersigned.

Regards,

A handwritten signature in black ink, appearing to read 'Shannon', written over a horizontal line.

Shannon Webb
Senior Planner / Project Manager
P: 250 686 5793
E: shannon@otgdevelopments.com

Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

APPENDIX I

GENERAL LETTER TO PROPERTIES WITHIN 30M

March 3, 2023

Our File No. 18-125

Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

To Whom it May Concern,

Re: Proposed Mixed-Use Commercial and Residential Development - 9240 & 9232 Young Road, 46001 Gore Avenue, and 46002 & 46010 Princess Avenue

This letter is to notify you of a proposed development within the above noted properties and to offer you the opportunity to provide any concerns or comments. On behalf of the owners of the subject properties, OTG Developments will be submitting a rezoning application to the City of Chilliwack to facilitate the construction of a mixed-use development, comprising of both commercial and residential units. *Figure 1* below provides a location map of the subject properties.



Figure 1 - Location of Subject Properties

+++

"A plan without action is a dream,
an action without a plan is a nightmare."



The Rezoning Application is seeking to change the current zoning designations of the Subject Properties from the “Urban Residential Transitional” (R2), “Mid Rise Apartment” (R6), and “Town Centre Commercial” (C3) Zones to the “Mid Rise Apartment Commercial” (C9) Zone. The proposed C9 Zone will permit consolidation of the five lots and subsequent development of a six-story residential apartment building with commercial units on the ground floor and a separate five storey parking structure. *Figures 2 and 3* below provide rendered images of the proposed development as seen from Young Road (*Figure 2*) and Gore Avenue (*Figure 3*). Further below in *Figure 4* is an overall site plan of the proposed development.



Figure 2 - Rendered image of proposed development as seen from Young Road



Figure 3 - Rendered Image of proposed development as seen from Gore Avenue

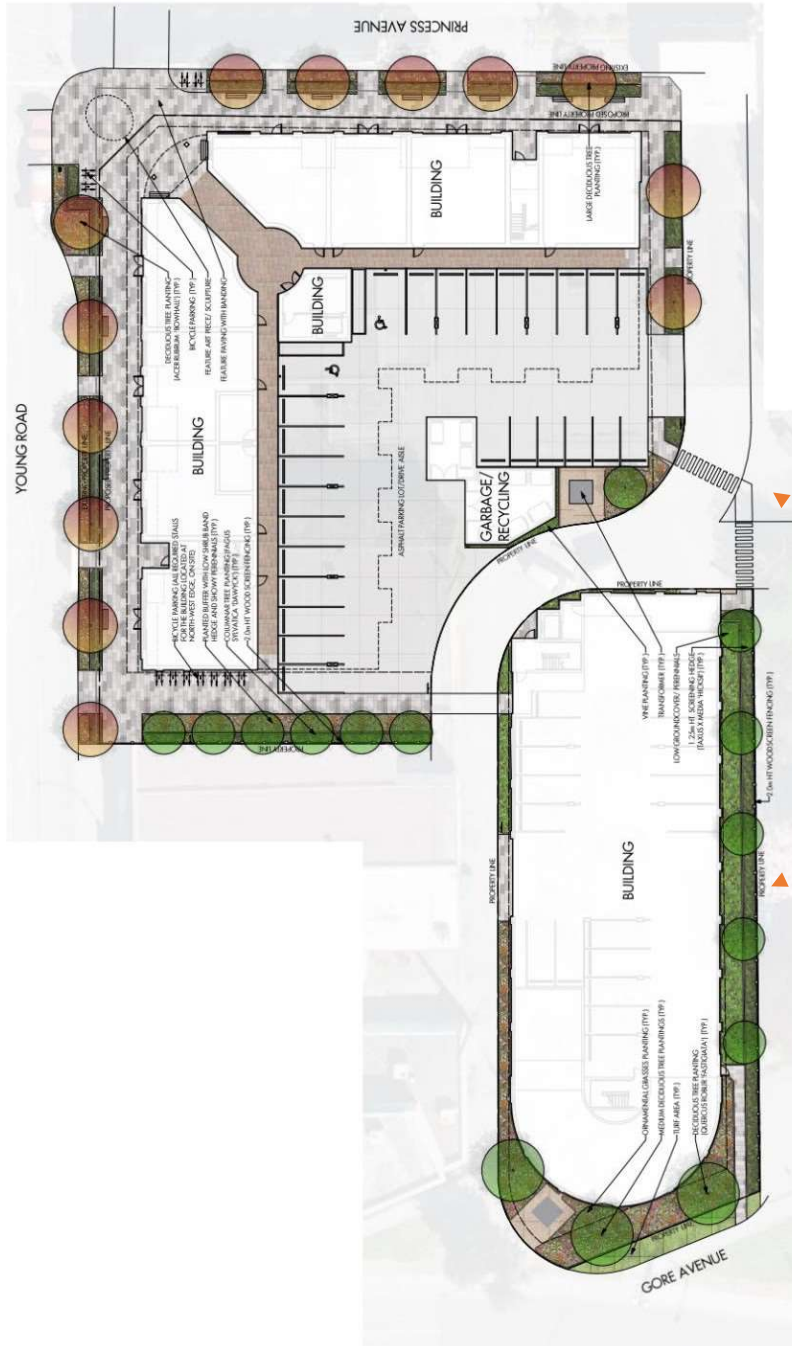


Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

The City's regulations require the first floor of the proposed parking structure to be sited at 3m from the lot line. The regulations also require the second floor to be located at 6.0m, the third at 6.75m, the fourth at 7.5m and the fifth at 8.25m. Please note that a reduction to the required setback from the common lot line between your property and the subject property is being requested to allow all floors of the building to be located at 3m. This is indicated in *Figure 4* below.

As the requested variance will bring the proposed building closer to your property boundary and established trees, we have retained a qualified Arborist to provide recommendations for construction and landscaping, to ensure that your existing trees are not impacted by the development. A copy of this report can be provided to you upon request.

To facilitate the development, a realignment of Gore Avenue and the connecting lane between Gore Avenue and Princess Avenue is also being proposed. The cul-de-sac "bulb" of Gore Avenue will be shifted to the east (indicated in *Figure 5*). As shown by the green circle, the radius of the cul-de-sac will remain the same size with no physical disturbance to private property anticipated. Measures will be undertaken to ensure that any disruption to your parking and driveway area are minimized during construction.



A variance being sought to permit all five floors of building to be sited at 3m from property line.

Figure 4 - Site Plan

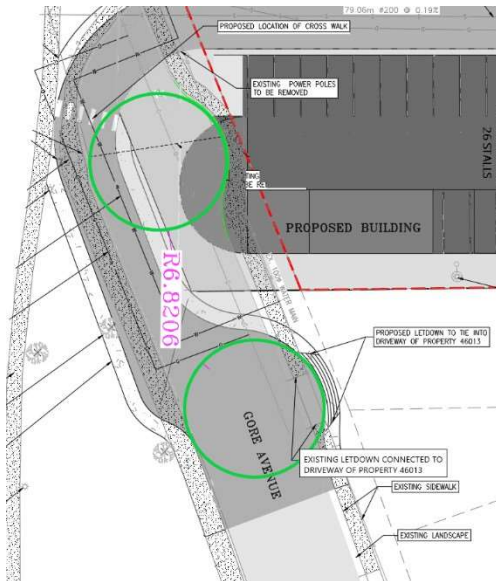


Figure 5 - Current & Proposed Cul-de-Sac Location

It is our goal to provide you with sufficient information to fully understand the details of the project and to also identify, and hopefully address, any concerns or comments you may have with respect to this proposal. **If you have any questions or would like to provide feedback, please forward them to me using the following methods no later than April 10, 2023:**

Mail: OTG Developments Ltd., 201 – 45269 Keith Wilson Road, Chilliwack, B.C. V2R 5S1

Email: shannon@otgdevelopments.com

Regards,

Shannon Webb
Senior Planner / Project Manager
P: 250 686 5793
E: shannon@otgdevelopments.com



Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

APPENDIX II

LETTER TO ADJACENT PROPERTY AT 46013 GORE AVENUE

604.316.9405

Unit 201 - 45269 Keith Wilson Rd Chilliwack, BC, V2R 5S1

www.otgdevelopments.com

March 16, 2023

Our File No. 18-125

To Whom it May Concern,

Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

Re: Proposed Mixed-Use Commercial and Residential Development - 9240 & 9232 Young Road, 46001 Gore Avenue, and 46002 & 46010 Princess Avenue

This letter is to notify you of a proposed development within the above noted properties and to offer you the opportunity to provide any concerns or comments. On behalf of the owners of the subject properties, OTG Developments will be submitting a rezoning application to the City of Chilliwack to facilitate the construction of a mixed-use development, comprising of both commercial and residential units. Figure 1 below provides a map of the subject properties.

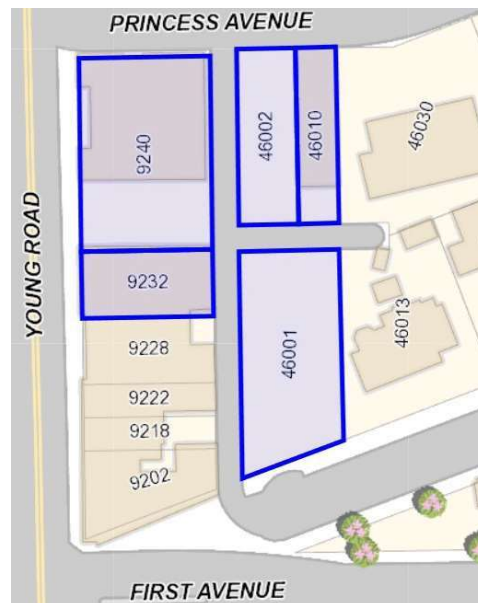
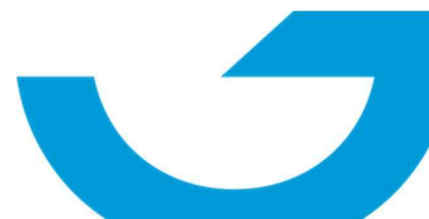


Figure 1 - Location of Subject Properties

+++

"A plan without action is a dream,
an action without a plan is a nightmare."



The Rezoning Application is seeking to change the current zoning designations of the Subject Properties from the “Urban Residential Transitional” (R2), “Mid Rise Apartment” (R6), and “Town Centre Commercial” (C3) Zones to the “Mid Rise Apartment Commercial” (C9) Zone. The proposed C9 Zone will permit consolidation of the five lots and subsequent development of a six-story residential apartment building with commercial units on the ground floor and a separate five storey parking structure. Figures 2 and 3 below provide rendered images of the proposed development as seen from Young Road (Figure 2) and Gore Avenue (Figure 3). Further below in Figure 4 is an overall site plan of the proposed development.



Figure 2 Rendered image of proposed development as seen from Young Road



Figure 3 Rendered Image of proposed development as seen from Gore Avenue

Development Variance Permit

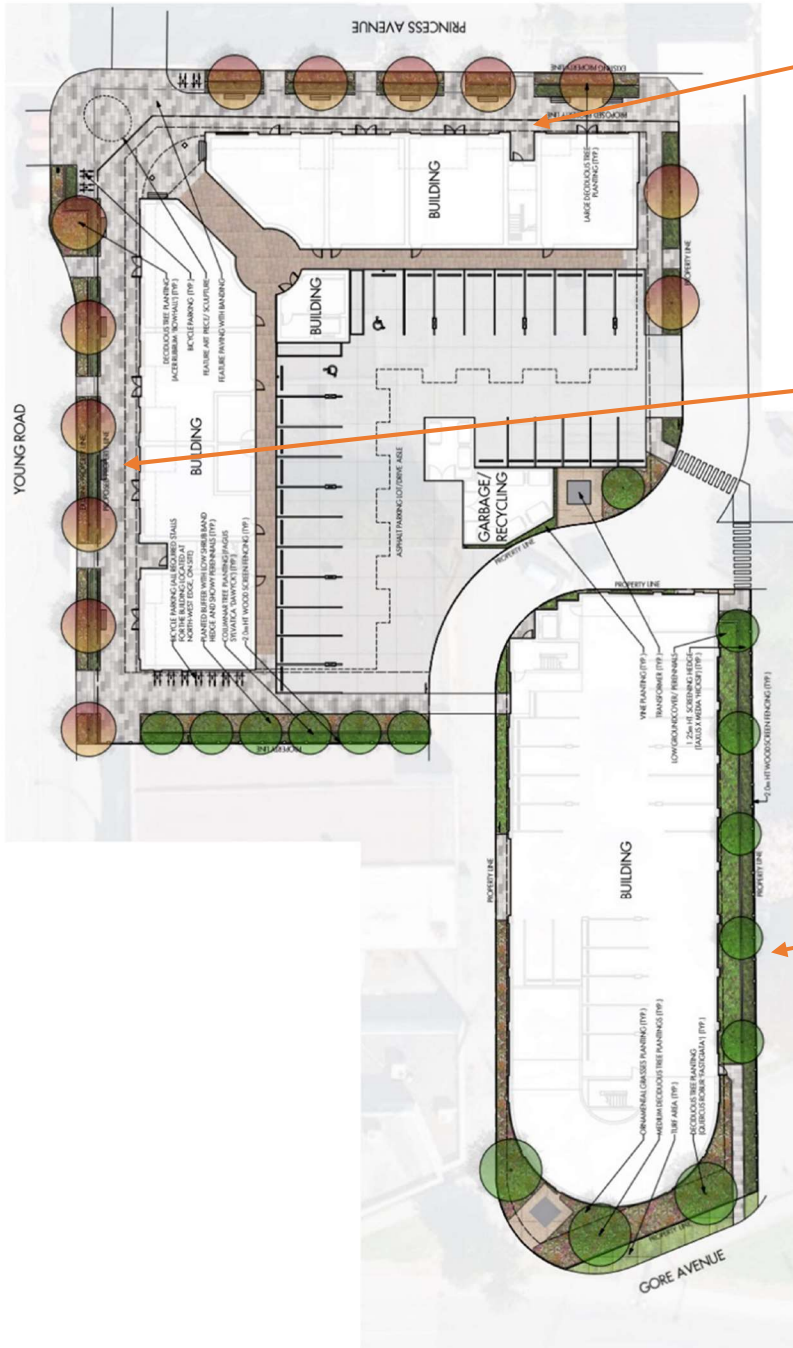
Please note that the following four (4) variances are being requested to facilitate the proposed development:

1. To reduce the required Front Lot Line Setback, as required by the proposed C9 Zone, from 3.0m to 1.0m on the northern side of the main building along Princess Avenue;
2. To reduce the required Interior Side Lot Line Setback, as required by the proposed C9 Zone, for the second to the fifth storey of the 'Parking Structure' from 6.0m / 6.75m / 7.5m / 8.25m respectively, to 3.0m for all storeys;
3. To reduce the Exterior Side Lot Line Setback from 3.0m to 1.0m, as required within the proposed C9 Zone, on the western side of the main building along Young Road; and,
4. To vary Sec. 4.09.2c (Fencing, Landscape, and Screening) to reduce the required landscaping within the front setback area from 40% to 0%. The front setback area abuts public sidewalk and borders the at-grade commercial units. Soft landscaping along this area is not possible. Pervious soft landscape is provided in the adjoining public right-of-way between the public sidewalk and street curb (as indicated below).



Front Lot Line Landscaping (north)

Date Received: June 3, 2024
 Received From: OTG Developments
 Folder Number: RZ1393
 Subject Property: 46001 Gore Ave, 46002 &
 46010 Princess Ave, 9232 & 9240 Young Road
 Council Date: June 18, 2024



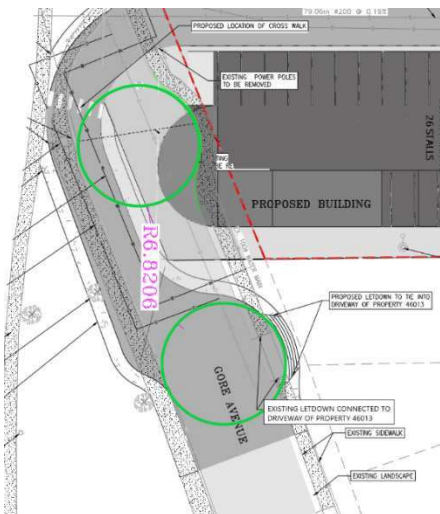
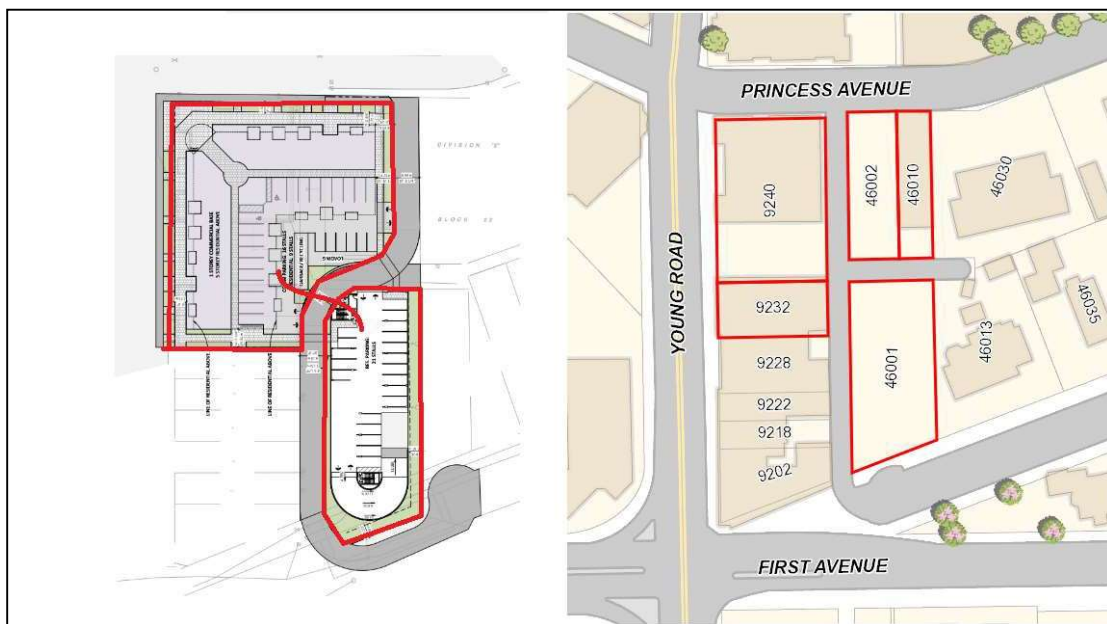
A variance is being sought decrease the front lot line setback from 3m to 1m AND landscaping requirements along Princess Avenue.

A variance being sought to reduce the exterior side lot line setback from 3m to 1m on Young Road.

A variance is being sought to permit all five floors of building to be sited at 3m from property line.

Figure 4 Site Plan

Please also note that to facilitate the proposed development, realignment of Gore Avenue and the connecting lane between Gore Avenue and Princess Avenue is also required. The cul-de-sac “bulb” of Gore Avenue is proposed to be shifted to the east as indicated in Figures 5 and 6 below.



Figures 5 & 6 Current & proposed Lane and Cul-de-Sac Location



Date Received: June 3, 2024
Received From: OTG Developments
Folder Number: RZ1393
Subject Property: 46001 Gore Ave, 46002 &
46010 Princess Ave, 9232 & 9240 Young Road
Council Date: June 18, 2024

It is our goal to provide you with sufficient information to fully understand the details of the project and to also identify, and hopefully address, any concerns or comments you may have with respect to this proposal.

If you have any questions or would like to provide feedback, please forward them to me using the following methods no later than April 30, 2023:

Mail: OTG Developments Ltd., 201 – 45269 Keith Wilson Road, Chilliwack, B.C.
V2R 5S1

Email: shannon@otgdevelopments.com

Regards,

A handwritten signature in black ink, appearing to read 'Shannon Webb', is written over a thin horizontal line.

Shannon Webb
Senior Planner / Project Manager
P: 250 686 5793
E: shannon@otgdevelopments.com

From:
To: [Clerks Dept Email](#)
Subject: Re: rezoning app. RZ001393 [EXTERNAL]
Date: June 12, 2024 4:14:32 PM

Mayor, City Councillors and Planning Department,

Regarding zoning amendment bylaw 2024, No. 5401

This mixed use development would be a welcomed and positive addition to this part of downtown. To keep the current excitement and interest in 1881 and downtown growing and expanding, this is an important addition. Keeping with the theme and design of 1881 would be especially helpful. Hopefully the parkade would be available for public use as well as the new development tenants and owners. The parkade should reflect the same design and character as the 1881 parkade but hopefully with greater capacity for more vehicles and EV charging stations included. Thanks for all the improvements the City has done downtown. Keep up the great work. It is important to continue support for those unhoused and vulnerable. If future facilities could be located at various locations around the city, maybe the concentration would not continue to increase in the downtown areas. Thanks for your consideration with all these important topics.

Sincerely,
Bruce Tiessen
46028 First Ave
Chilliwack BC

Sent from my iPhone

**REGULAR COUNCIL
JUNE 18, 2024
7.13 - RZ001393
46001 GORE AVE
46002 & 46010 PRINCESS AVE
9232 & 9240 YOUNG RD**

From:
To: [Clerks Dept Email](#)
Cc:
Subject: Response from St Thomas Church to rezoning application [EXTERNAL]
Date: June 17, 2024 2:28:43 PM
Attachments: [City of Chilliwack rezoning application response.docx](#)

Legislative Services Department
City of Chilliwack

Re: OTG Development Concepts Ltd. Rezoning / 46001 Gore Avenue, 46002 & 46010
Princess Avenue, and 9232 & 9240 Young Road

To the Members of Chilliwack City Council,

Please find attached our response to the City of Chilliwack's rezoning application, specified above.

Please contact us if you have any questions or should further information be required.

Best regards,
Nancy den Boesterd
Parish Administration

--

Parish Admin
St. Thomas Anglican Church
604-792-8521
<https://www.stthomaschilliwack.org/>

We acknowledge that we are meeting on the traditional, ancestral, and unceded lands of the Sto:lo peoples. May the living Christ lead us all on pathways of reconciliation, reparation, and healing.



St. Thomas

ANGLICAN CHURCH
Since 1873

Loving God. Loving each other. Loving our neighbours.

June 17, 2024

Legislative Services Department
City of Chilliwack
8550 Young Road
Chilliwack, BC V2P 8A4

Re: OTG Development Concepts Ltd. Rezoning / 46001 Gore Avenue, 46002 & 46010 Princess Avenue,
and 9232 & 9240 Young Road

To the Members of Chilliwack City Council,

We are writing to you on behalf of the congregation of The Parish of St. Thomas Anglican Church, 46048 Gore Avenue. We are a historical Chilliwack landmark with an inclusive and growing congregation, welcoming all in our downtown neighbourhood.

We heartily support the redevelopment of the downtown core which is bringing new people and families to our neighbourhood.

Our only concern with the proposed rezoning plan regards the loss of street parking. With the shortening of Gore Avenue (moving of cul de sac) we are losing 6 - 10 street parking spaces that our congregation uses each Sunday as overflow to our parking lot on First Ave.

Would the City of Chilliwack (or private owner of the parkade, if that is the case) be able to offer our congregation free parking on Sunday mornings? There would probably be no more than 10 spots used and the hours would be between 9 am and 12 pm.

We would also like to ask that occasionally (perhaps 2 - 3 x a year) extra parking be available possibly at a discount price for a city-wide funeral or event to support the community.

We are very willing to meet the parties involved in order to achieve this. Please feel free to contact us if more information is requested.

Yours Truly,

Lorie Martin, Priest in Charge
Jan Guretzki, Warden
Irene Tisdale, Warden
Lesley MacMillan, Associate Warden



Email: stthomaschilliwack@gmail.com | Phone: 604.792.8521 | 46048 Gore Avenue, Chilliwack, BC V2P 1Z6

Anglican Church of Canada | Diocese of New Westminster



City of Chilliwack

Bylaw No. 5401

A bylaw to amend the “Zoning Bylaw 2020, No. 5000”

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

1. This bylaw may be cited as **“Zoning Bylaw Amendment Bylaw 2024, No. 5401”**.
2. “Zoning Bylaw 2020, No. 5000” is hereby amended by rezoning property described as PID: 012-341-011, Lot “D” Block 22 Division “E” New Westminster District Plan 1737 from an R2 (Urban Residential Transition) Zone to a CP (Commercial Parking) Zone. (46001 Gore Avenue)
3. Said Bylaw is hereby further amended by rezoning property described as PID: 011-417-196, Lot “A” Division “E” New Westminster District Plan 9179, from an R6 (Mid Rise Apartment) Zone to a C9 (Mid Rise Apartment Commercial) Zone. (46002 Princess Avenue)
4. Said Bylaw is hereby further amended by rezoning properties described as:
 1. PID: 011-417-200, Lot “B” Division “E” New Westminster District Plan 9179 (46010 Princess Avenue);
 2. PID: 010-140-808, Lot 19 Block 22 Division “E” New Westminster District Plan 1737 (9232 Young Road); and,
 3. PID: 006-579-736, Lot 36 Division “E” New Westminster District Plan 31143 (9240 Young Road);from a C3 (Town Centre Commercial) Zone to a C9 (Mid Rise Apartment Commercial) Zone.

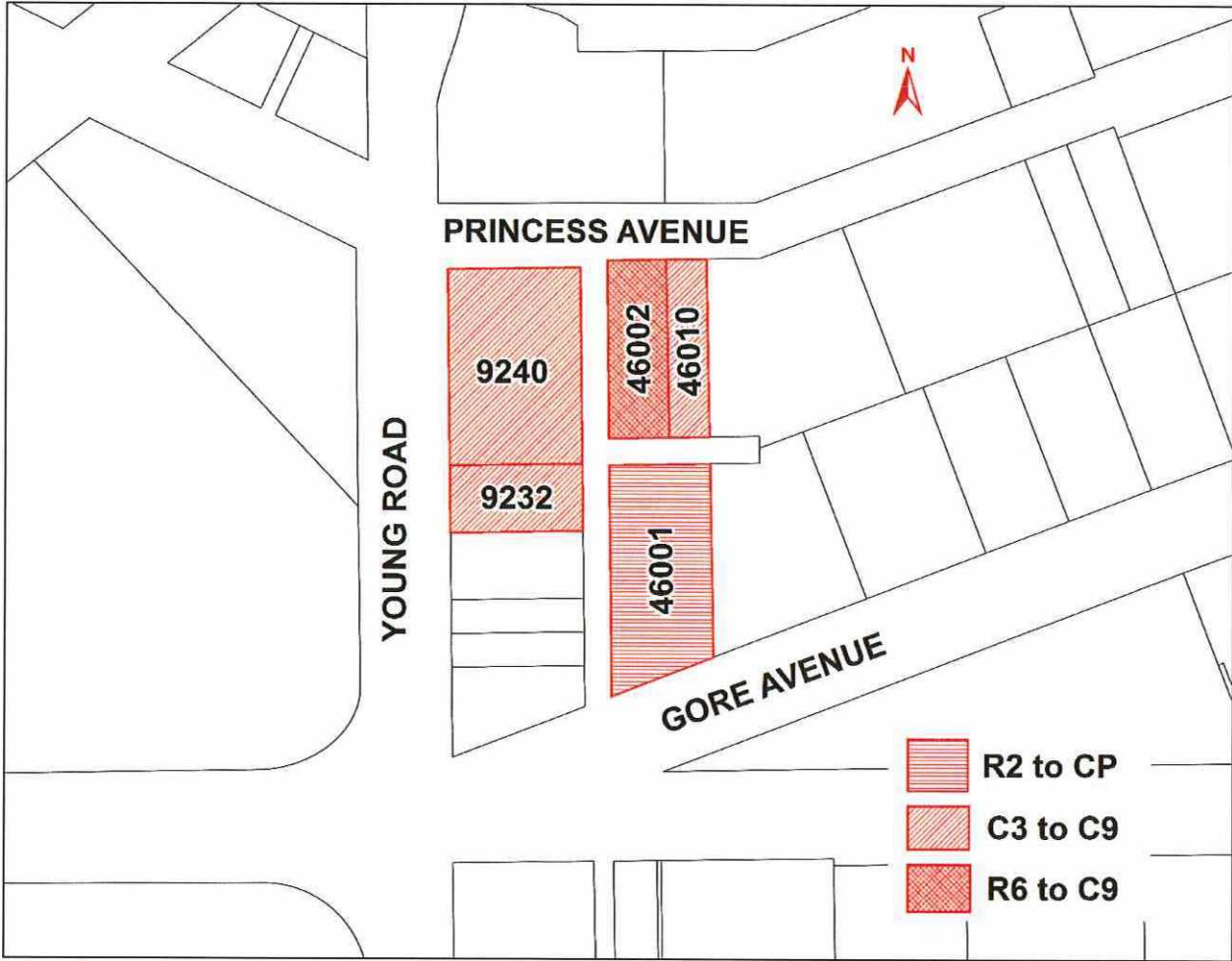
Received first and second reading on the
Public hearing held on the
Received third reading on the
Received adoption on the

Mayor

Corporate Officer

DRAFT

“Zoning Bylaw Amendment Bylaw 2024, No. 5401”



DRAFT

AGENDA ITEM NO: 7.14

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: 43701 Industrial Way DATE: June 11, 2024
Floodplain Site Specific Exemption

DEPARTMENT: Development & Regulatory Enforcement PREPARED BY: Miranda McLaughlin
Services (DARES)

1. SUMMARY OF ISSUE:

Tenshare Holdings Ltd. (Northcoast Lumber) has requested a site-specific exemption from *Floodplain Regulation Bylaw 2018, No. 4519*, for subject property 43701 Industrial Way, to permit the siting of a megadome open-air structure below the flood construction level stipulated for industrial use within the bylaw. A report has been prepared by a Qualified Professional which reviews the flood hazards/risks, outlines mitigation measures, and includes a Flood Assurance Statement, attached, that states “the land may be used safely for the use intended”.

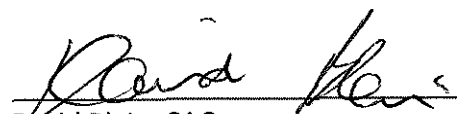
2. RECOMMENDATION:

That Council grant a site-specific exemption under the Floodplain Regulation Bylaw for the proposed megadome open-air structure at 43701 Industrial Way to be situated at an elevation of 9.20m, subject to the conditions specified in the Staff Report dated June 11, 2024


Glen White, Director of DARES

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.


David Blain, CAO

**STAFF REPORT ON
FLOODPLAIN SITE SPECIFIC EXEMPTION**

PREPARED BY:	<u>Miranda McLaughlin</u>	DATE:	<u>June 11, 2024</u>
POSITION:	<u>Senior Development Specialist</u>	DEPARTMENT:	<u>Development & Regulatory Enforcement Services</u>

1. BACKGROUND:

1.1 The Floodplain Regulation Bylaw sets minimum Flood Construction Levels (FCLs) for buildings to reduce the risk of flood damage and protect public safety. For properties in the Fraser River floodplain protected by the dike system, the FCLs are based on estimated water elevations associated with the 1894 flood of record, plus provide an additional 0.6m of freeboard.

1.2 The Bylaw includes general exemptions for industrial uses:

“20. The elevation requirements in this Bylaw shall not apply to.

- (1) industrial uses within areas designated for industrial use in the City of Chilliwack “Official Community Plan”, as amended from time to time, or occupied by an industrial use and which are protected by a Standard Dike, provided that:*
- (a) the underside of the lowest floor system or surface of the floor slab is no lower than 0.15 m above the crown of the nearest road where water may pond; and,*
 - (b) fixed equipment susceptible to damage by floodwaters is no lower than the FCL.”*

1.3 The Bylaw allows Council to consider site-specific exemptions where a property owner requests a variance to the elevations and/or setbacks stipulated in the Bylaw. Northcoast Lumber has requested a variance to the elevation to allow the siting of a megadome open-air structure below the flood construction level stipulated in the Bylaw.

1.4 Northcoast Lumber recently achieved an approved Development Permit #7 for the Form and Character (Industrial) of their business expansion on the subject site. Council approved DP001775, subject to conditions, at the regular meeting of Council held on June 4, 2024. This application supports the decision of DP001775, to provide storage for the lumber materials utilized on the industrial site.

2. FACTORS:

2.1 To support the site-specific exemption application, a Qualified Professional (QP) (Professional Engineer) from Wedler Engineering Ltd. has prepared a report that lays out why the exemption is being sought, reviews the flood hazards and risks for the property, and outlines mitigation measures to reduce the flood risk. A copy of the report is attached.

- 1.2 Per *Section 20 (1) (a)* of the Bylaw, exemptions for industrial uses within areas designated for industrial use within the City are accounted for when the underside of the lowest flood system or surface of floor slab is no lower than 0.15m above the crown of the nearest road where water may pond. The QP brings attention to the local drainage of the Industrial Way area. Ponding levels in this area of the City are not governed by the fronting road Industrial Way, and are controlled by the surface elevations along the CN rail line, located to the north of the subject site.
- 1.3 Elevations along the right of way for CN rail are within the general range of 8.0m. This area eventually drains to a western culvert with an invert elevation of 7.43m. The QP notes that the site has been raised from its original elevation to 9.20m, allowing for a gradient slope to the north. This achieves a positive overland drainage path to the lowest elevations of the area and where water is most likely to pond, the CN Rail right of way.
- 1.4 The megadome structure being proposed is 80 feet (24.3 metres) wide, 120 feet (36.5 metres) long and 37.5 feet (11.45 metres) tall. The total area of the structure is 9600 sq. ft (891.8 sq. metres). The megadome structure is open-air, has no walls or flooring, and is connected solely to a pre-cast concrete block.
- 1.5 Per *Section 20 (5)* of the Bylaw, ancillary buildings such as a garage or workshop are also exempt from elevation requirements listed within the document. The QP notes that similar to a garage or workshop, the megadome structure being proposed is completely non-habitable and would not be damaged by water inundation.
- 1.6 Per the BC Building Code's Appeal Board Decision #1455, dated December 15, 1997, the Province of British Columbia decided and upheld the decision that a structure of this nature meets the definition of a building under the BC Building Code and therefore must comply with the applicable requirements of Part 9 of the code.
- 1.7 The megadome structure is situated at-grade elevation on site (9.20m) to allow for the movement of the materials under the cover. The purpose of the megadome is for weather protection of lumber material.
- 1.8 The QP states that any electrical panels, electrical appurtenances, sprinkler system control valves and monitoring equipment will be located above 10.14m of elevation, which respects the Bylaw requirement of 0.15m above the adjacent crown of road.
- 1.9 The report speaks to the Owner of the property registering a Section 219 covenant under the Land Title Act, absolving the City of Chilliwack of any liability with respect to the flooding of the property, or flood damage to the land, structure, and contents thereof.
- 1.10 The QP has provided a signed Flood Assurance Statement in accordance with Engineers & Geoscientists BC's (EGBC's) Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC, stating that "the land may be used safely for the use intended".

1.11 If the site-specific exemption is granted by Council, it should be subject to the following conditions, already agreed upon by the Owner per the report provided:

- That the property owner provides a letter to the City acknowledging the flood hazard and risk identified in the QP report, and committing to implement the mitigation measures recommended by the QP;
- That the property owner enters into a covenant under Section 219 of the *Land Title Act*, absolving the City of Chilliwack of any liability with respect to the flooding of the property or flood damage to land, structures, and contents thereof. A copy of the QP report would form part of the covenant.

4. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

That Council grant a site-specific exemption under the *Floodplain Regulation Bylaw* for the proposed industrial use at 43701 Industrial Way, subject to the conditions specified in the Staff Report dated June 11, 2024.

Substantiation:

The site-specific exemption would allow for the siting of a megadome open-air structure below the flood construction level stipulated for industrial use in the *Floodplain Regulation Bylaw 2018, No. 4519*.

5. ATTACHMENTS:

- Flood Assurance Statement
- Location Map & Orthophoto;
- Technical Memo “General Exemption Request 43701 Industrial Way – Northcoast Lumber” May 8, 2024

Flood Assurance Statement

FLOOD ASSURANCE STATEMENT

Note: This statement is to be read and completed in conjunction with the current Engineers and Geoscientists BC Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC (the guidelines) and is to be provided for flood assessments for the purposes of the Land Title Act, Community Charter, or the Local Government Act. Defined terms are capitalized; see the Defined Terms section of the guidelines for definitions.

To: The Approving Authority Date: May 30, 2024
City of Chilliwack
8550 Young Road, Chilliwack, BC V2P 8A4
Jurisdiction and address

With reference to (CHECK ONE):

- Land Title Act (Section 86) – Subdivision Approval
- Local Government Act (Part 14, Division 7) – Development Permit
- Community Charter (Section 56) – Building Permit
- Local Government Act (Section 524) – Flood Plain Bylaw Variance
- Local Government Act (Section 524) – Flood Plain Bylaw Exemption

For the following property ("the Property"):

LOT 27 DISTRICT LOT 72 GROUP 2 NEW WESTMINSTER DISTRICT PLAN 66083 EXCEPT PLAN EPP121612
Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a Qualified Professional and is a Professional Engineer or Professional Geoscientist who fulfills the education, training, and experience requirements as outlined in the guidelines.

I have signed, sealed, and dated, and thereby certified, the attached Flood Assessment Report on the Property in accordance with the guidelines. That report and this statement must be read in conjunction with each other. In preparing that Flood Assessment Report I have:

(CHECK TO THE LEFT OF APPLICABLE ITEMS)

- 1. Consulted with representatives of the following government organizations:
City of Chilliwack
- 2. Collected and reviewed appropriate background information
- 3. Reviewed the Proposed Development on the Property
- 4. Investigated the presence of Covenants on the Property, and reported any relevant information
- 5. Conducted field work on and, if required, beyond the Property
- 6. Reported on the results of the field work on and, if required, beyond the Property
- 7. Considered any changed conditions on and, if required, beyond the Property
- 8. For a Flood Hazard analysis I have:
 - 8.1 Reviewed and characterized, if appropriate, Flood Hazard that may affect the Property
 - 8.2 Estimated the Flood Hazard on the Property
 - 8.3 Considered (if appropriate) the effects of climate change and land use change
 - 8.4 Refered on a previous Flood Hazard Assessment (FHA) by others
 - 8.5 Identified any potential hazards that are not addressed by the Flood Assessment Report
- 9. For a Flood Risk analysis I have:
 - 9.1 Estimated the Flood Risk on the Property
 - 9.2 Identified existing and anticipated future Elements at Risk on and, if required, beyond the Property
 - 9.3 Estimated the Consequences to those Elements at Risk

FLOOD ASSURANCE STATEMENT

- 10. In order to mitigate the estimated Flood Hazard for the Property, the following approach is taken:
 - 10.1 A standard-based approach
 - 10.2 A Risk-based approach
 - 10.3 The approach outlined in the guidelines, Appendix F: Flood Assessment Considerations for Development Approvals
 - 10.4 No mitigation is required because the completed flood assessment determined that the site is not subject to a Flood Hazard
- 11. Where the Approving Authority has adopted a specific level of Flood Hazard or Flood Risk tolerance, I have:
 - 11.1 Made a finding on the level of Flood Hazard or Flood Risk on the Property
 - 11.2 Compared the level of Flood Hazard or Flood Risk tolerance adopted by the Approving Authority with my findings
 - 11.3 Made recommendations to reduce the Flood Hazard or Flood Risk on the Property
- 12. Where the Approving Authority has not adopted a level of Flood Hazard or Flood Risk tolerance, I have:
 - 12.1 Described the method of Flood Hazard analysis or Flood Risk analysis used
 - 12.2 Referred to an appropriate and identified provincial or national guideline for level of Flood Hazard or Flood Risk
 - 12.3 Made a finding on the level of Flood Hazard or Flood Risk tolerance on the Property
 - 12.4 Compared the guidelines with the findings of my flood assessment
 - 12.5 Made recommendations to reduce the Flood Hazard or Flood Risk
- 13. Considered the potential for transfer of Flood Risk and the potential impacts to adjacent properties
- 14. Reported on the requirements for implementation of the mitigation recommendations, including the need for subsequent professional certifications and future inspections.

Based on my comparison between:

[CHECK ONE]

- The findings from the flood assessment and the adopted level of Flood Hazard or Flood Risk tolerance (item 11.2 above)
- The findings from the flood assessment and the appropriate and identified provincial or national guideline for level of Flood Hazard or Flood Risk tolerance (item 12.4 above)

I hereby give my assurance that, based on the conditions contained in the attached Flood Assessment Report:

[CHECK ONE]

- For a subdivision approval, as required by the *Land Title Act* (Section 86), "that the land may be used safely for the use intended":
 - [CHECK ONE]
 - With one or more recommended registered Covenants.
 - Without any registered Covenant.
- For a development permit, as required by the *Local Government Act* (Part 14, Division 7), my Flood Assessment Report will "assist the local government in determining what conditions or requirements it will impose under subsection (2) of this section [Section 491 (4)]".
- For a building permit, as required by the *Community Charter* (Section 56), "the land may be used safely for the use intended":
 - [CHECK ONE]
 - With one or more recommended registered Covenants.
 - Without any registered Covenant.
- For flood plain bylaw variance, as required by the *Flood Hazard Area Land Use Management Guidelines* and the *Amendment Section 3.5 and 3.6* associated with the *Local Government Act* (Section 524), "the development may occur safely".
- For flood plain bylaw exemption, as required by the *Local Government Act* (Section 524), "the land may be used safely for the use intended".

FLOOD ASSURANCE STATEMENT

I certify that I am a Qualified Professional as defined below.

May 30, 2024

Date

Partner & Project Manager

Prepared by

André Boissonnault, P.Eng.

Name (print)



Signature

Senior Partner & Project Manager

Reviewed by

Kelly Kerr, P.Eng.

Name (print)



Signature

301-44561 Skylark Road

Address

Chilliwack, BC V2P 6J6

604-792-0651

Telephone

aboissonnault@wedler.com

Email



(Affix PROFESSIONAL SEAL here)

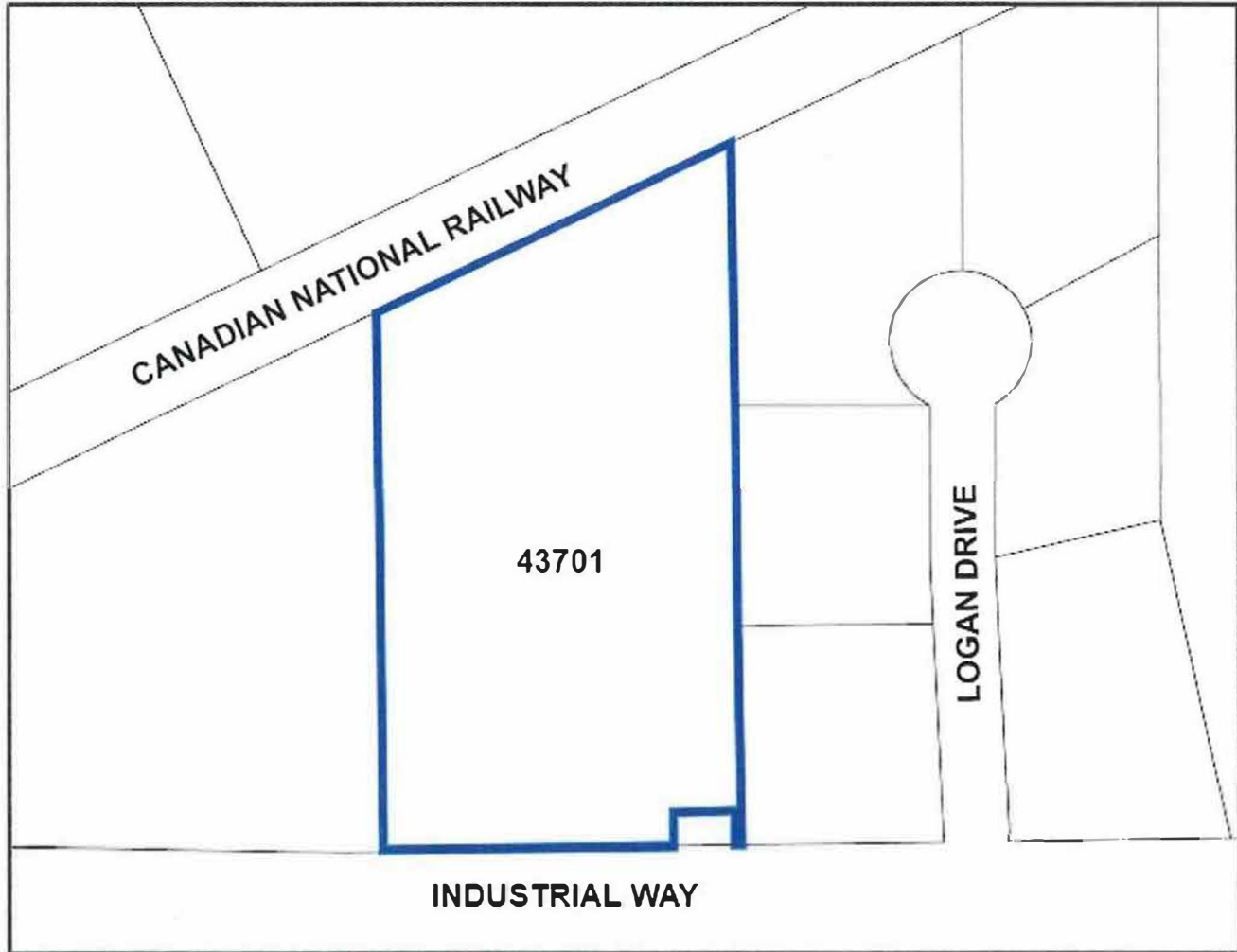
If the Qualified Professional is a member of a firm, complete the following:

I am a member of the firm
and I sign this letter on behalf of the firm.

Wedler Engineering LLP

(Name of firm)

Location Map



Orthophoto



Wedler Engineering LLP
301-44561 Skylark Road
Chilliwack, BC V2R 6J6



WEDLER
ENGINEERING

June 11, 2024

File Ref: C23-6028A

City of Chilliwack
8550 Young Road
Chilliwack BC V2P 8A4

Attention: Glen White, Director of Development and Regulatory Enforcement Services

**Reference: General Exemption Request
43701 Industrial Way – Northcoast Lumber**

On behalf of the Owner, Wedler is requesting a General Exemption as per the Floodplain Regulation Bylaw 2018, No. 4519 in relation to a Mega-Dome structure proposed onsite. The Mega-dome is an ancillary open-air structure proposed on the north end of the subject parcel, plans presented in [Appendix A](#).

With respect to the City of Chilliwack Bylaw 2018, No. 4519, the Floodplain Regulation General Exemptions indicates for Industrial uses that the underside of the lowest floor system or surface of the floor slab be 0.15m above the crown of the nearest road where water may pond. While the adjacent Industrial Road crown elevation is 9.99m as indicated in [Appendix B](#), this will not govern local ponding elevations in the area. Ponding levels appear to be controlled by surface elevations along the south side of the CNR Railway from Industrial Road and east towards Lickman Road, ultimately to McDermott Ditch.

In addition, there is provision to exempt “an ancillary building such as a garage or workshop in section 20.(5). The open-air structure is solely to provide weather protection to some of the stored lumber materials in the yard. It has no walls or floors like a garage or workshop, is completely non habitable and would not be damaged by water inundation if it was to occur. The foundation from which the structure’s steel trusses are connected to are pre-cast concrete block installed at grade. It needs to be at the same general grades as the rest of the paved storage yard area for efficient movement of materials in the yard.

The paved yard area has been raised from original elevation, generally sloped north to a series of catch basins, and a retaining wall at property line with a top elevation of 9.02 m as per the plan presented in [Appendix A](#). The low area elevations along CN Rail ROW are approximately 8.0 m, well below the top of wall and eventually drains to a culvert at Industrial Way with an invert of 7.43. The overall grades of this area range from 8.0 to 9.1m from Industrial Way to Lickman Road. If a ponding event of this area occurred and culvert capacities exceeded, the elevations indicate overland flow would be to Lickman Road before Industrial Road. Under a flooding event, or a high-flow precipitation event, there would be a significant area well beyond the subject property ponded should water levels reach 9.02 m and with the proposed paved yard grade under the storage structure at 9.20, there would be 0.18m freeboard from such an event.

Given the ancillary use of this storage structure and the paved yard elevation of 9.20 m proposed, the open-air structure is considered safe for its intended use. The owner will ensure that any electrical panels, other electrical appurtenances, sprinkler systems control valves and monitoring equipment be located above 10.14m elevation, respecting the 0.15m above the adjacent road regulation. Having the above noted equipment located above 10.14 m elevation would result in 1.12m of free-board from the onsite ponding expected from a high-flow precipitation, or local flooding event in the area. It is understood by the Owner, that in the event of a major flood, estimated to be 11.15 m, a water depth of 1.95m would be anticipated within the open air structure.

The Owner agrees to providing a letter to the City acknowledging the flood hazard and risks identified and committing to implement the mitigation measured identified in this document. The Owner will also enter a covenant under section 219 of the *Land Title Act*, absolving the City of Chilliwack of any liability with respect to the flooding of the property, or flood damage to land, structure, and contents thereof.

We trust the above provides a suitable framework to move this project forward as proposed under the General Exemptions without needing the next step of a Site Specific Application. Please let Northcoast Lumber or Wedler Engineering know if there may be any further information required.

Yours truly,

Wedler Engineering LLP

Per:



André Boissonnault, P.Eng.
Partner • Project Manager
aboissonnault@wedler.com

cc: Northcoast Lumber

Enclosures:

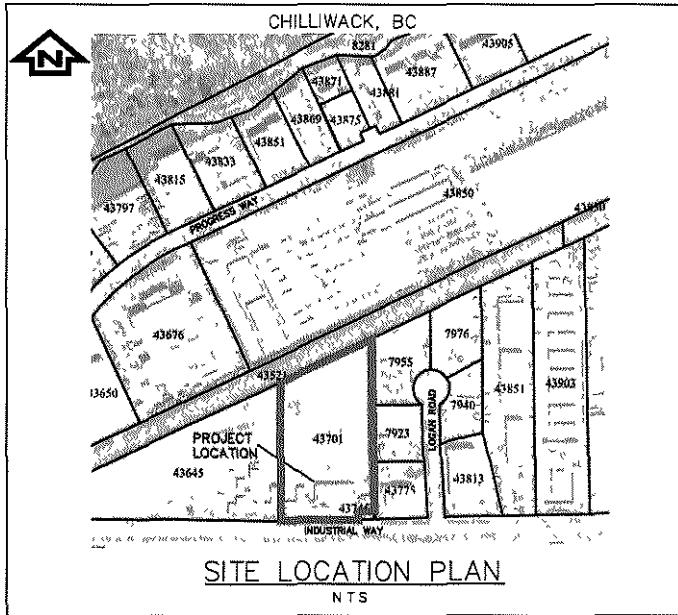
[Appendix A:](#) Grading and Site Plan, Ponding Elevations & Mega-Dome Plans

[Appendix B:](#) Wedler Record Drawing C20-5728A for Industrial Way, Chilliwack

[Appendix C:](#) EGBC Flood Assurance Statement Form



Appendix A



Client:

NORTHCOAST LUMBER

Project:

COMMERCIAL SITE SERVICING
43701 INDUSTRIAL WAY

Engineering Services Provided by:



WEDLER
ENGINEERING

www.wedler.com

THE WEDLER GROUP

- Abbotsford
1 604 746 0300
- Chilliwack
1 604 792 0651
- Courtenay
1 250 334 3263
- Surrey
1 604 588 1919

Drawing Index:

Drawing No	Revision	Title of Drawing
		COVER SHEET
C23-6028A-01	F	GENERAL NOTES & DETAILS
C23-6028A-02	F	KEY PLAN
C23-6028A-03	F	GRADING PLAN
C23-6028A-04	F	STORM SERVICING PLAN
C23-6028A-05	F	SANITARY & WATER SERVICING PLAN

DRAWING INDEX
REVISION F

Project No: C23-6028A

Date: MAY 2024

REVISED STORM & GRADING



LOCAL GOVERNMENT FILE

NOTES

GENERAL

- THE GOVERNING JURISDICTION FOR THIS PROJECT IS THE CITY OF CHILLIWACK
- ALL WORKS, MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH THE CURRENT BYLAWS OF THE GOVERNING JURISDICTION, THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (PRINTED 2009 "PLATINUM" EDITION) (M/C) AND THE B.C. PLUMBING CODE AS APPLICABLE.
- FOR SITE DIMENSIONS, REFER TO LEGAL SURVEY PLANS FOR BUILDING LAYOUT DIMENSIONS, REFER TO ARCHITECTURAL PLANS. ALL ELEVATIONS ARE SHOWN IN METERS RELATED TO GEODETIC SURVEY OF CANADA, UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE SHOWN IN METERS AND ALL PIPE DIAMETERS ARE SHOWN IN MILLIMETERS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TO WEDLER ENGINEERING A DIGITAL VIDEO AND PHOTOGRAPHIC RECORD IDENTIFYING ANY AND ALL EXISTING UTILITIES TO BE DISTURBED. THE CONTRACTOR SHALL RESTORE ALL DISTURBED PAVEMENT, CURBS, SIDEWALKS, BOULEVARDS, LANDSCAPING, FENCES OR ANY OTHER FEATURES AFFECTED BY THE WORK IN COMPLIANCE WITH THE REQUIREMENTS OF THE GOVERNING JURISDICTION, M/C AND ANY RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND TO THE SATISFACTION OF THE GOVERNING JURISDICTION AND WEDLER ENGINEERING.
- THE CONTRACTOR MUST CONTACT THE GOVERNING JURISDICTION AND WEDLER ENGINEERING PRIOR TO CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL NOTIFY WEDLER ENGINEERING A MINIMUM OF 2 WORKING DAYS PRIOR TO REQUIRED INSPECTIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - MOBILIZATION
 - DURING PIPE LAYING
 - DURING CONSTRUCTION OF DETENTION FACILITIES
 - DURING PREPARATION OF PAVEMENT STRUCTURE
- TESTING OF ALL UTILITIES
 - AFTER COMPLETION OF ALL WORK
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT, CONFIRM BENCH MARK OR TEMPORARY BENCH MARK PRIOR TO CONSTRUCTION, ADVISE WEDLER ENGINEERING OF ANY DISCREPANCIES.
- ANY VARIATIONS FROM THE PROPOSED WORK MUST BE APPROVED IN WRITING BY WEDLER ENGINEERING. FAILURE TO NOTIFY WEDLER ENGINEERING IN ADVANCE MAY RESULT IN REJECTION OF THE WORK, SUBSTITUTION OF ANY SPECIFIED MATERIALS, PRODUCTS OR EQUIPMENT WITH AN APPROVED EQUAL OR APPROVED EQUIVALENT WILL BE PERMITTED ONLY WITH THE EXPRESS WRITTEN APPROVAL OF WEDLER ENGINEERING, AT ITS DISCRETION.
- THE CONTRACTOR SHALL ADJUST THE TOPS OF ALL ACTIVE MANHOLES, CATCH BASINS, VALVE BOXES, ETC. AS REQUIRED TO MATCH NEW GRADING.
- ALL TRENCH BACKFILL WITHIN PUBLIC RIGHTS-OF-WAY TO BE IMPORTED GRANULAR BACKFILL UNLESS OTHERWISE APPROVED BY THE GEOTECHNICAL ENGINEER.
- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS TO BE MADE WITH METHODS AND MATERIALS APPROVED BY THE GOVERNING JURISDICTION. APPROVAL TO BE OBTAINED BEFORE INSTALLATION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY AT THE PLACE OF WORK AS AND TO THE EXTENT REQUIRED BY APPLICABLE CONSTRUCTION SAFETY LEGISLATION, REGULATIONS AND CODES, AND BY GOOD CONSTRUCTION PRACTICE. THE CONTRACTOR SHALL PERFORM ITS WORKS IN STRICT COMPLIANCE WITH THE REQUIREMENTS, RULES, REGULATIONS AND BY-LAWS OF ANY FEDERAL, PROVINCIAL OR MUNICIPAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL PUBLIC AND PRIVATE ROADS AFFECTED BY THE WORK AND ARRANGE FOR ADEQUATE STREET CLEANING DURING WORKING DAYS.
- THE CONTRACTOR SHALL PREPARE A TRAFFIC MANAGEMENT PLAN FOR APPROVAL BEFORE START OF CONSTRUCTION. TRAFFIC MANAGEMENT PLAN TO BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION'S REGULATIONS. AS A MINIMUM, ONE LANE TRAFFIC MUST BE MAINTAINED AND KEPT OPEN AT ALL TIMES.
- THE CONTRACTOR SHALL CARRY OUT THE WORK SO AS TO MINIMIZE THE INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SERVICES AND ACCESS TO RESIDENCES AND BUSINESSES AT ALL TIMES FOR VEHICLES AND PEDESTRIANS. ANY DISRUPTIONS THAT ARE UNAVOIDABLE WILL REQUIRE A MINIMUM NOTICE OF 2 WORKING DAYS TO BE GIVEN TO PROPERTY OWNERS, THE GOVERNING JURISDICTION AND WEDLER ENGINEERING.
- THE CONTRACTOR SHALL RECORD ON A CURRENT SET OF PLANS IN A NEAT MANNER, ALL CHANGES, ADDITIONS AND DELETIONS TO REFLECT THE "AS CONSTRUCTED" INSTALLATION. THIS SET OF PLANS SHALL BE RETURNED TO WEDLER ENGINEERING AT THE COMPLETION OF THE WORKS AND PRIOR TO THE ISSUANCE OF SUBSTANTIAL PERFORMANCE. ANY ADDITIONAL SURVEY REQUIRED TO COMPLETE THE RECORD DRAWINGS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

EXISTING STRUCTURES, UTILITIES AND PROPERTIES

- INFORMATION ON THE DRAWINGS REGARDING EXISTING UTILITIES IS DERIVED FROM MUNICIPAL AND/OR SHALLOW UTILITY RECORD DRAWINGS, AND/OR FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DATA BY EXPOSURE BEFORE ANY CONSTRUCTION AND TO IMMEDIATELY REPORT ANY DISCREPANCIES TO WEDLER ENGINEERING. BEFORE CONSTRUCTION, ALL TIE-IN UTILITIES SHALL BE CONFIRMED, AND EXPOSURES PERFORMED WHERE THERE IS POTENTIAL FOR CONFLICTS BETWEEN EXISTING AND PROPOSED SERVICES. ANY COSTS RESULTING FROM THE CONTRACTOR'S FAILURE TO DO SO SHALL BE AT THE CONTRACTOR'S EXPENSE.
- BEFORE CONSTRUCTION THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXACT LOCATION OF BOUNDARIES OF PROPERTIES, RIGHTS-OF-WAY OR EASEMENTS. ANY COST RESULTING FROM SPECIAL CONSTRUCTION METHODS, EQUIPMENT OR MATERIALS REQUIRED TO PERFORM THE WORK WITHOUT ENCROACHING ON OR CAUSING DAMAGE TO OTHER PROPERTY, SHALL BE INCLUDED IN THE CONTRACT PRICE, AND NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH COSTS.

COORDINATION WITH OTHER WORK

- THE CONTRACTOR TO IMMEDIATELY REPORT (TO WEDLER ENGINEERING AND OTHERS AS REQUIRED) ANY CONFLICTS, DISCREPANCIES, ETC. BETWEEN WORKS SHOWN ON WEDLER ENGINEERING PLANS AND WORKS SHOWN ON ANY OTHER PLANS.

WATERWORKS

- THE COMPLETED SERVICE SHALL BE DISINFECTED ACCORDING TO AWWA STANDARD C651, OR LATEST REVISION THEREOF.
- CURRENT PROCEDURES OF THE GOVERNING JURISDICTION FOR ACCEPTANCE AND TIE-IN OF NEW WATERMAINS SHALL BE FOLLOWED.

STORM SEWERS & SANITARY SEWERS

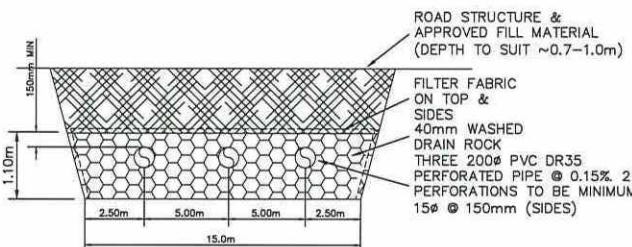
- THE PIPE DISTANCES SHOWN ON STORM AND SANITARY SEWER DRAWINGS ARE MEASURED HORIZONTALLY FROM MANHOLE CENTERLINE TO MANHOLE CENTERLINE.

QUALITY CONTROL

- ALL TESTING SHALL BE PERFORMED BY INDEPENDENT AND CERTIFIED TESTING AGENCIES AT THE CONTRACTOR'S COST.
- ALL REQUIRED TESTING OF THE SUBGRADE, EMBANKMENT, BACKFILL, GRANULAR MATERIALS, COMPACTION, CONCRETE, ASPHALT, GROWING MEDIUM, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR AND AT THE CONTRACTOR'S COST.
- ALL CLEANING, FLUSHING, PRESSURE AND LEAKAGE TESTING, VIDEO INSPECTION, DISINFECTION AND BACTERIOLOGICAL TESTING AS REQUIRED FOR WATER MAINS AND DRAINAGE SYSTEMS ARE AT THE CONTRACTOR'S COST.
- MATERIAL TESTS SHALL BE PERFORMED AT THE MINIMUM FREQUENCIES / INTERVALS AS PER THE GOVERNING JURISDICTION'S REGULATIONS, OR AS PER "WEDLER MINIMUM MATERIAL TEST FREQUENCIES", WHICHEVER IS GREATER.
- IN ADDITION TO THE REQUIREMENTS OF THE GENERAL CONDITIONS, THE CERTIFICATE OF SUBSTANTIAL PERFORMANCE WILL NOT BE ISSUED PRIOR TO RECEIPT BY WEDLER ENGINEERING OF COPIES OF ALL REQUIRED CERTIFICATES, INSPECTION AND TESTING REPORTS.

GEOTECHNICAL AND GEOSYNTHETICS

- DESIGN AND CONSTRUCTION OF ALL SLOPES AND RETAINING WALLS TO BE CERTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL GEOSYNTHETICS TO BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER.



SOAK AWAY TRENCH DETAIL

NTS
 88.5m L x 15.0m W x 1.1m H
 TOTAL STORAGE PROVIDED = 494.5m³



SOAK-AWAY SIZING CALCULATION SHEET

Client: Northwest Builders Date Printed: October 4, 2023
 Project: Commercial Site Servicing By: PDM
 Soak-Away Desc: C23-6028A

Previous Land Use	Area (m ²)	Runoff Coefficient	Infiltration Rate Used	Q ₁ (m ³ /hr)	Q ₂ (m ³ /hr)
Residential	20488	0.88	1500	1500	1500
Commercial	20488	0.88	1200	1200	1200

Time	Intensity	Runoff	Volume	Volume	Volume	
(min)	(mm/hr)	(m ³ /hr)	(m ³)	(m ³)	(m ³)	
5	72.00	0.3040	0.0167	118.20	5.02	112.18
10	56.00	0.2708	0.0167	144.20	11.24	132.96
15	40.00	0.2012	0.0167	180.16	16.86	163.30
20	28.00	0.1326	0.0167	216.12	22.47	193.65
30	19.20	0.0867	0.0167	288.11	33.74	254.37
40	13.76	0.0611	0.0167	333.21	44.97	288.24
50	7.92	0.0418	0.0167	388.35	56.14	332.21
70	5.34	0.0289	0.0167	454.35	67.51	386.84
140	1.40	0.0081	0.0167	1725.02	261.48	1463.54

Design Notes:
 Designed for 110 yr storm event
 Permeation rate of 0.15 m/d

SOAK AWAY DESIGN SPREADSHEET



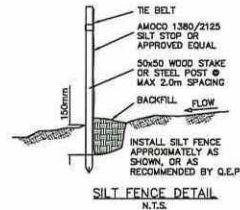
DRAINAGE SYSTEM DESIGN - CALCULATION SHEET

Client: Northwest Lambie Date: October 4, 2023
 Project: Site Servicing Date Printed: October 12, 2023
 Project #: C23-6028A By: PDM
 DESIGN RETURN PERIOD: 10 Year

Pipe Man Labels	Length (m)	Catch Area (m ²)	Slope (m/m)	Drainage Area Parameters	Infiltration	Flow Calculations		Pipe Design												
						Q ₁ (m ³ /hr)	Q ₂ (m ³ /hr)	Depth (mm)	Velocity (m/s)	Time (min)	HLGL (m)	Q ₁ -Q ₂ (m ³ /hr)	Q ₁ -Q ₂ (m ³ /hr)							
D15	104	28	0.38	0.90	0.44	10.80	50.61	79.94	0.012	0.039	200	0.011	0.36	0.021	0.676	0.69	0.09	0.23	0.099	0.001
D15	103	82	0.46	0.90	0.17	10.80	48.97	76.11	0.008	0.033	250	0.011	0.38	0.042	0.647	1.07	0.01	0.00	0.013	0.029
D15	102	98	0.65	0.90	1.04	12.56	45.27	70.29	0.018	0.029	250	0.011	0.37	0.043	0.871	1.50	0.07	0.16	0.024	0.016
D12	01	16	1067	0.90	0.217	14.24	42.03	65.07	0.028	0.044	300	0.011	0.20	0.01	0.723	0.37	0.06	0.15	0.023	0.007
D1	104	16	0.90	0.217	12.81	11.60	41.42	64.16	0.029	0.041	300	0.011	0.15	0.044	0.626	0.43	0.08	0.14	0.016	0.001
D1	103	16	0.90	0.217	15.03	15.03	40.84	63.16	0.027	0.042	300	0.011	0.15	0.044	0.626	0.43	0.08	0.14	0.017	0.002
D11	110	13.9	421	0.90	0.63	10.80	50.61	78.94	0.018	0.032	150	0.011	0.25	0.009	0.500	0.45	0.10	0.27	0.001	-0.001
D10	109	18.2	1037	0.90	1.06	10.80	40.45	77.04	0.021	0.032	200	0.011	0.27	0.020	0.641	0.47	0.28	0.68	0.001	-0.012
D9	108	39.5	734	0.90	0.256	10.80	48.30	75.20	0.043	0.045	375	0.011	0.15	0.080	0.727	0.91	0.04	0.11	0.007	0.013
D8	107	14.3	972	0.90	0.288	11.83	46.32	72.00	0.064	0.039	375	0.011	0.16	0.080	0.727	0.92	0.10	0.23	0.016	-0.010
D7	106	14.3	997	0.90	0.282	12.16	45.67	70.94	0.072	0.032	375	0.011	0.15	0.080	0.727	0.92	0.12	0.29	0.008	-0.012
D6	105	13.2	999	0.90	0.601	12.45	45.04	69.93	0.083	0.028	300	0.011	0.25	0.085	1.199	1.15	0.52	1.26	0.002	-0.041
D12	109	26.2	1200	0.90	0.600	10.80	50.61	78.94	0.015	0.024	150	0.011	0.20	0.015	0.832	0.51	0.21	1.71	0.001	-0.010
D13	114	32.7	973	0.90	0.76	10.80	50.61	78.94	0.012	0.039	250	0.011	0.25	0.015	0.716	0.71	0.03	0.07	0.013	0.016
D14	113	22.9	784	0.90	1.81	10.71	48.81	76.02	0.021	0.033	250	0.011	0.25	0.015	0.716	0.69	0.09	0.23	0.014	0.007
D13	103	27.7	787	0.90	2.272	11.32	47.42	73.77	0.030	0.047	250	0.011	0.25	0.015	0.716	0.64	0.18	0.44	0.005	-0.011
Nonpoint	26.2	970	0.90	0.73	0.00	0.00	50.61	78.94	0.012	0.039	150	0.011	0.25	0.015	0.755	0.58	0.47	1.33	0.001	-0.006
D10	110	39.6	842	0.90	7.58	10.80	50.61	78.94	0.011	0.017	150	0.011	0.40	0.011	0.644	1.02	0.35	0.83	0.001	-0.005
D11	117	30.7	973	0.90	16.64	11.02	48.08	74.84	0.022	0.034	250	0.011	0.38	0.043	0.863	0.58	0.10	0.22	0.022	0.009
D17	116	25.9	784	0.90	2.539	11.60	46.80	72.77	0.030	0.047	250	0.011	0.38	0.043	0.863	0.49	0.19	0.43	0.013	0.004
D16	104	27.7	787	0.90	3.028	12.69	45.80	71.15	0.039	0.060	250	0.011	0.38	0.043	0.863	0.52	0.30	0.73	0.005	-0.017
100	104	90.80	18.772	0.90	0.993	10.80	33.71	49.75	0.091	0.123	457	0.012	0.18	0.102	0.620	2.42	0.03	0.15	0.011	-0.021
104	103	30.60	26.465	0.90	2.9313	12.42	30.71	41.52	0.221	0.299	907	0.012	0.10	0.103	0.631	0.87	0.02	0.07	0.012	0.334
103	102	183.29	18.849	0.90	2.9309	12.42	30.71	41.52	0.221	0.299	907	0.012	0.10	0.103	0.631	0.87	0.02	0.07	0.012	0.334
102	101	183.29	18.230	0.90	3.5236	13.02	26.27	38.12	0.277	0.373	907	0.012	0.11	0.104	0.638	2.49	0.01	0.01	0.387	0.290
101	2	23.77	0	0.90	3.5236	13.02	26.45	35.56	0.289	0.388	907	0.012	0.10	0.103	0.631	0.86	0.01	0.01	0.374	0.289
2	1	17.71	0	0.90	3.5236	13.02	26.09	33.10	0.285	0.384	1062	0.012	0.10	0.104	0.660	0.27	0.01	0.01	0.309	0.621

STORM SEWER DESIGN SPREADSHEET

NTS

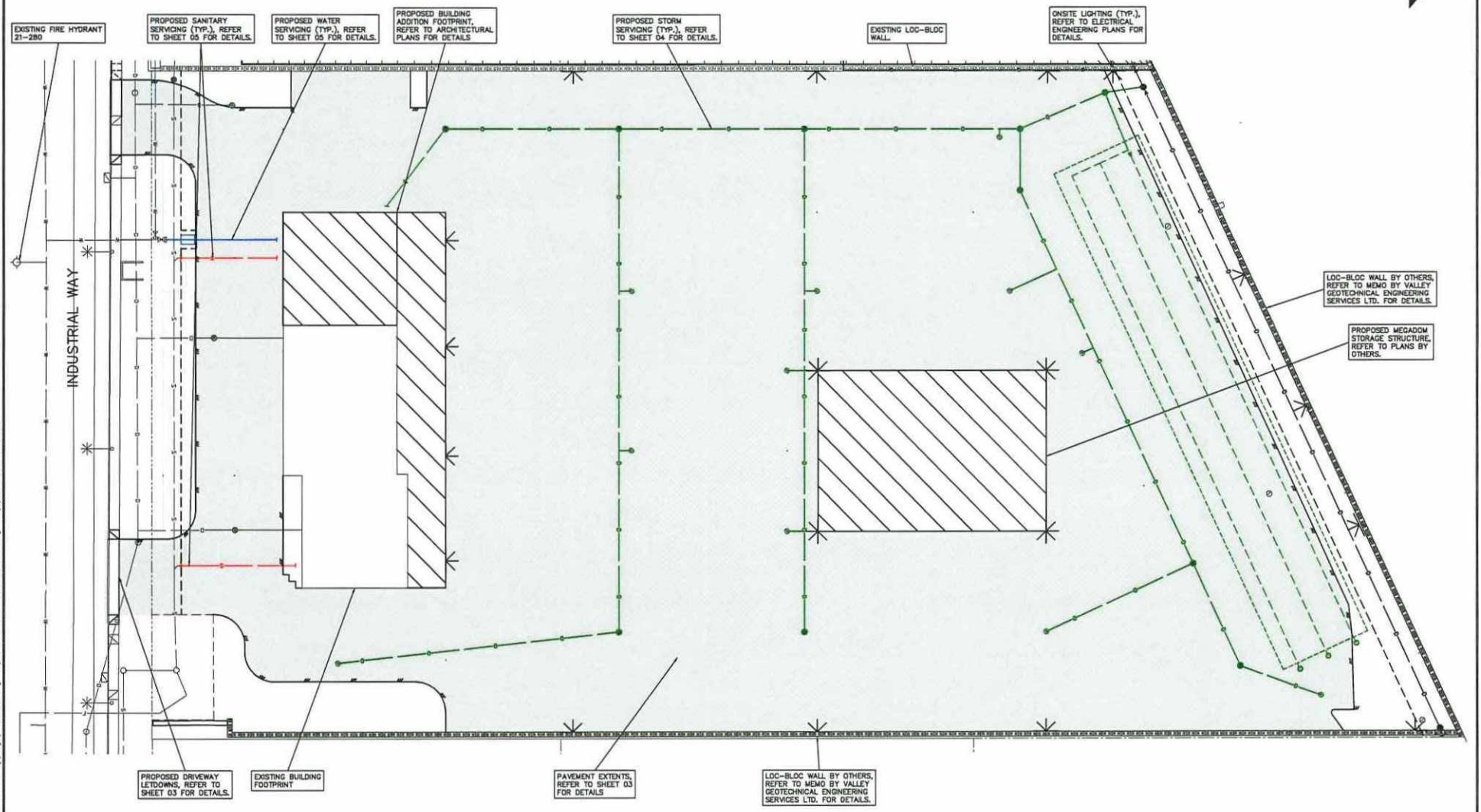


K:\Projects\C23-6028A - Current Drawings\Drawings\C23-6028A - Rev F - As Bilt - Details.dwg 2023/09/28 13:23:14 PM PDM

ISSUED FOR CLIENT COORDINATION	2023-08-21	STM																				
REVISED TOPOGRAPHIC ELEVATIONS	2023-08-29	PDM																				
C STREET LIGHTS ADDED	2023-08-11	STM																				
D ISSUED FOR CLIENT REVIEW	2023-10-04	PDM																				
E ISSUED FOR CDC APPROVAL	2023-10-11	PDM																				
F REVISED STORM & GRADING	2024-09-08	PDM																				
REV	DESCRIPTION	YYYY-MM-DD	BY	REV	DESCRIPTION	YYYY-MM-DD	BY															

2024 - WEDLER ENGINEERING LLP - ALL RIGHTS RESERVED - THIS DOCUMENT IS PROTECTED BY COPYRIGHT LAW AND MAY NOT BE REPRODUCED IN ANY MANNER, OR FOR ANY PURPOSE, EXCEPT BY WRITTEN PERMISSION OF COPYRIGHT HOLDER.

PROGRESS PRINT - NOT FOR CONSTRUCTION



LEGAL:	A. ISSUED FOR CLIENT COORDINATION	2023-08-23	STM		
	B. REVISED TOPOGRAPHIC ELEVATIONS	2023-08-29	PGS		
	C. STREET LIGHTS ADDED	2023-08-11	STM		
	D. ISSUED FOR CLIENT REVIEW	2023-10-04	PGS		
	E. ISSUED FOR CDC APPROVAL	2023-10-11	PGS		
	F. REVISED STORM & GRADING	2024-05-08	PGS		

REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION	DATE	BY

Tyler J. Hester
 State of North Carolina
 License No. 28749

WEDLER ENGINEERING
 THE WEDLER GROUP
 ■ Asheville
 ■ Charlotte
 ■ Chatham
 ■ Cary
 ■ Durham

NORTHCOAST LUMBER
 COMMERCIAL SITE SERVICING
 43701 INDUSTRIAL WAY
 KEY PLAN

DRAWING NO. **C23-6028A-02** OF -5-
 LOCAL GOVERNMENT FILE
 PHASE REVISION
 F



12.2m REDUCED CROSS-FALL LET DOWN PER COC STD DR-16. LETDOWN THICKNESS 200mm WITH 1.5m TAPER. ALIGNMENT & ELEVATION TO MATCH EXISTING CURB

ASPHALT RESTORATION AS PER UNCO STD G3 (TYP OF 2)

PAVING GRADE BREAK LINE (TYP)

PROPOSED STORM SERVICING (TYP). REFER TO SHEET 04 FOR DETAILS.

EXISTING LOC-BLOC WALL.

WATER POOLING EXTENT AT OVERLAND FLOW ROUTE ELEVATION @ 0.02m

100YR OVERLAND FLOW ROUTE (TYP)

LOC-BLOC WALL BY OTHERS. REFER TO MEMO BY VALLEY GEOTECHNICAL ENGINEERING SERVICES LTD FOR DETAILS.

PROPOSED MEGADOM STORAGE STRUCTURE. REFER TO PLANS BY OTHERS.

INDUSTRIAL WAY

12.2m REDUCED CROSS-FALL LET DOWN PER COC STD DR-16. LETDOWN THICKNESS 200mm WITH 1.5m TAPER. ALIGNMENT & ELEVATION TO MATCH EXISTING CURB

PREVIOUSLY INSTALLED LOC-BLOC WALL.

EXISTING SURVEYED ELEVATION (TYP)

PAVEMENT EXTENTS (TYP)

PAVEMENT SLOPE TRANSITION MAX SLOPE 1:1 (TYP OF 2)


LOC-BLOC WALL BY OTHERS. REFER TO MEMO BY VALLEY GEOTECHNICAL ENGINEERING SERVICES LTD FOR DETAILS.

PROPOSED GRADE (TYP)

PROPOSED ELEVATION (TYP)

EXISTING PAVEMENT EXTENTS (TYP)

REV	DESCRIPTION	DATE	BY	CHK	APP
A	ISSUED FOR CLIENT COORDINATION	2023-09-22	STM		
B	REVISED TOPOGRAPHIC ELEVATIONS	2023-09-29	POD		
C	STREET LIGHTS ADDED	2023-10-11	STM		
D	ISSUED FOR CLIENT REVIEW	2023-10-04	POD		
E	ISSUED FOR COC APPROVAL	2023-10-11	POD		
F	REVISED STORM & GRADING	2024-05-08	POD		

 2024-05-08 WEDLER ENGINEERING LTD 10000 FARM ROAD WILLOWDALE, ONTARIO	TITLE: DATE: SCALE: NEXT SCALE:
--	--



WEDLER ENGINEERING

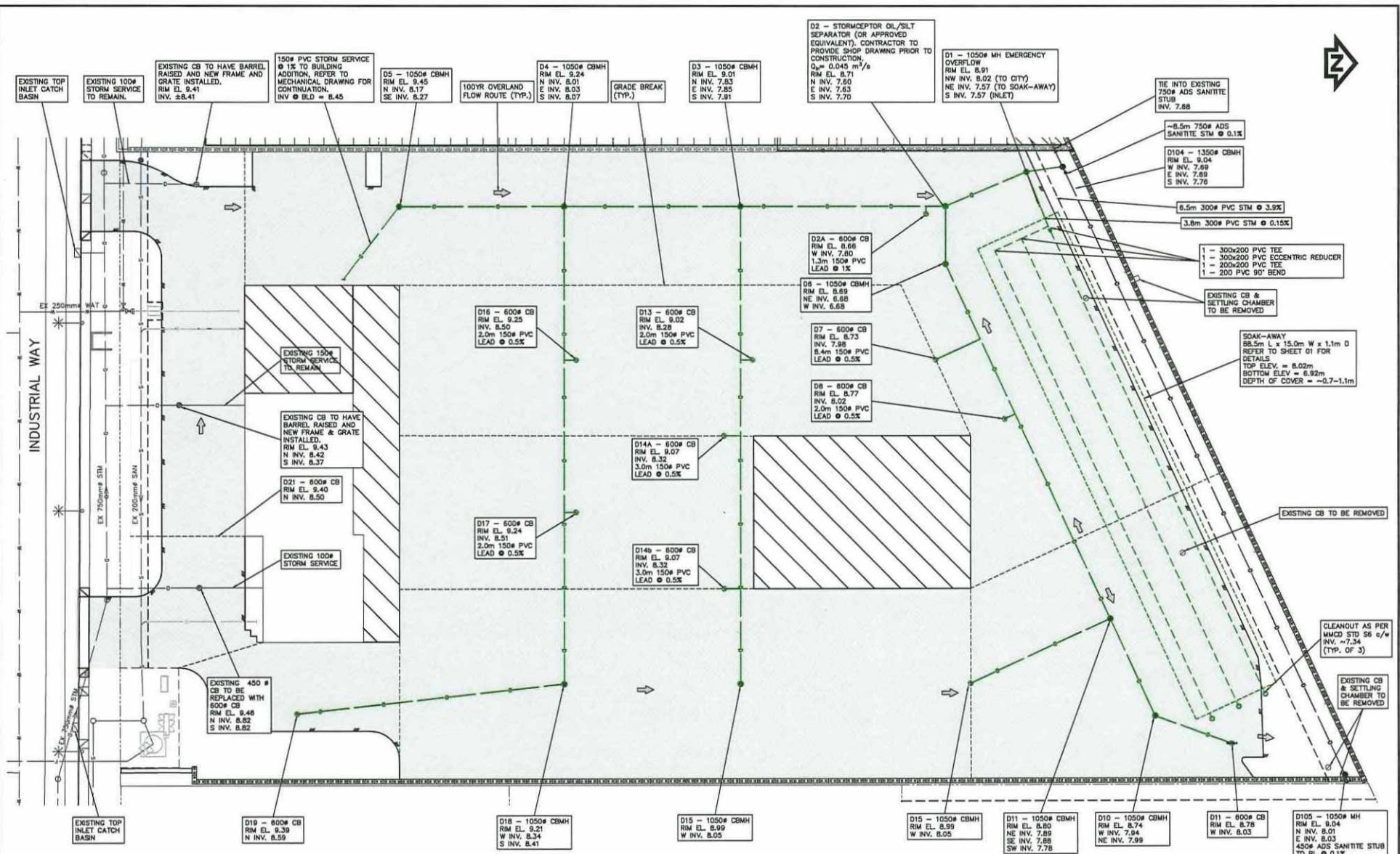
www.wedler.com

THE WEDLER GROUP 10000 FARM ROAD WILLOWDALE, ONTARIO	NORTHCOAST LUMBER COMMERCIAL SITE SERVICES 43701 INDUSTRIAL WAY GRADING PLAN
--	---

DRAWING NO.	OF	-5-
C23-6028A-03		
LOCAL GOVERNMENT FILE		
PHASE	REVISION	
	F	

I:\WORKSPACE\2023\05 - C23 - Commercial Site Servicing\05 - C23 - Commercial Site Servicing - 2024\2024-05-08 10:57:38 AM - Revision
 I:\WORKSPACE\2023\05 - C23 - Commercial Site Servicing\05 - C23 - Commercial Site Servicing - 2024\2024-05-08 10:57:38 AM - Revision

3/20/2024 10:53:02 AM - 43701 Industrial Way (3701-008A) REV F - A-B-B-B-D-Engineering 2024/07/06 12:57:48 PM 1/16/2024



REV	DESCRIPTION	DATE	BY	CHK
A	ISSUED FOR CLIENT COOPERATION	2023-06-23	STW	
B	REVISED TOPOGRAPHIC ELEVATIONS	2023-08-28	PGD	
C	STREET LIGHTS ADDED	2023-08-11	STW	
D	ISSUED FOR CLIENT REVIEW	2023-10-04	PGD	
E	ISSUED FOR CDC APPROVAL	2023-10-11	PGD	
F	REVISED STORM & GRADING	2024-05-08	PGD	

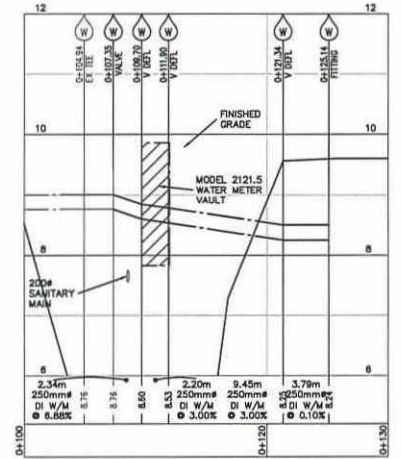
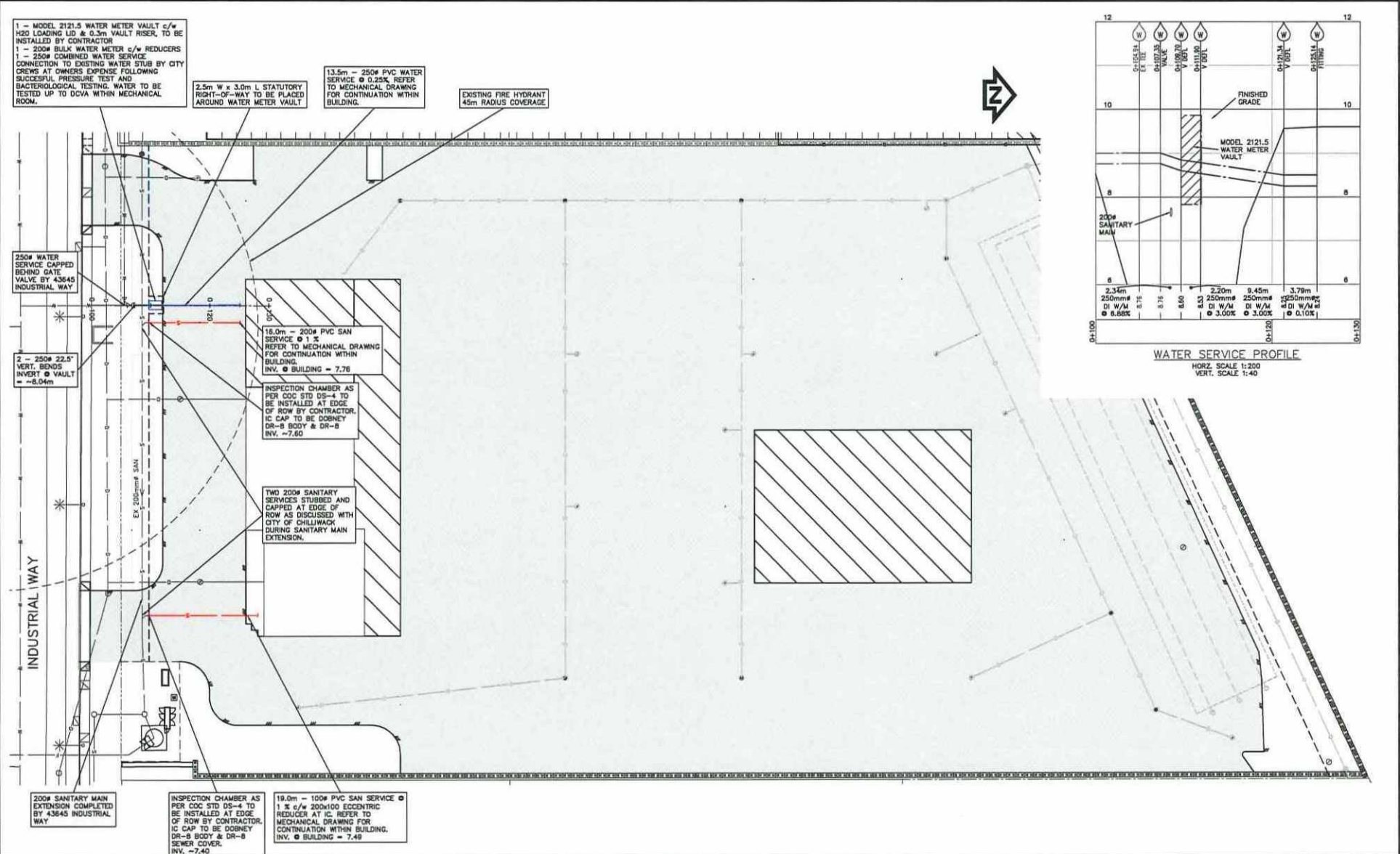

 PEGAL NO. STW
 DESIGN DRAWING PGD
 PER REVIEWED
 HORIZ. SCALE 1:300
 VERT. SCALE


WEDLER ENGINEERING
 THE WEDLER GROUP
 • Architecture
 • Civil/Structural
 • Geotechnical
 • Construction Management
 • Surveying
 11000 15th St SW
 Seattle, WA 98148

NORTHCOAST LUMBER
 COMMERCIAL SITE SERVICING
 43701 INDUSTRIAL WAY
STORM SERVICING PLAN

DRAWING NO.	C23-6028A-04
LOCAL GOVERNMENT FILE	
PHASE	REVISION F

K:\Projects\623-6028A - 4370 Industrial Way\623-6028A - Current Drawings\623-6028A - RVT - 4370 Industrial Way - 2024/07/06 12:35:58 PM - Plot.mxd



WATER SERVICE PROFILE
 HORIZ. SCALE 1:250
 VERT. SCALE 1:40

REV	DESCRIPTION	DATE	BY	CHKD
A	ISSUED FOR CLIENT COORDINATION	2023-08-23	STM	
B	REVISED TOPOGRAPHIC ELEVATIONS	2023-08-28	PDG	
C	STREET LIGHTS ADDED	2023-08-11	STM	
D	ISSUED FOR CLIENT REVIEW	2023-10-04	PDG	
E	ISSUED FOR COC APPROVAL	2023-10-11	PDG	
F	REVISED STORM & GRADING	2024-09-06	PDG	

REV	DESCRIPTION	DATE	BY	CHKD
1	19.0m - 100# PVC SAN SERVICE @ 1% REFER TO MECHANICAL DRAWING FOR CONTINUATION WITHIN BUILDING. INV. @ BUILDING = 7.49			
2	INSPECTION CHAMBER AS PER COC STD DS-4 TO BE INSTALLED AT EDGE OF ROW BY CONTRACTOR. IC CAP TO BE DOBNEY DR-B BODY & DR-B SEWER COVER. INV. -7.40			
3	200# SANITARY MAIN EXTENSION COMPLETED BY 43645 INDUSTRIAL WAY			
4	250# WATER SERVICE CAPPED BEHIND GATE			
5	2 - 250# 22.5\"/>			

WEDLER ENGINEERING
 THE WEDLER GROUP
 1300, 7th Floor
 1000, 7th Floor
 Courtenay
 1300, 7th Floor
 1300, 7th Floor

NORTHCOAST LUMBER COMMERCIAL SITE SERVING 4370 INDUSTRIAL WAY WATER & SANITARY SERVING	DRAWING NO. C23-6028A-05 LOCAL GOVERNMENT FILE PHASE REVISION F
--	--



12.2m REDUCED CROSS-FALL LET DOWN PER CQC STD DR-16. LETDOWN THICKNESS 200mm WITH 1.5m TAPERS. ALIGNMENT & ELEVATION TO MATCH EXISTING CURB

ASPHALT RESTORATION AS PER MMCO STD GS, (TYP. OF 2)

PAVING GRADE BREAK LINE (TYP.)

PROPOSED STORM SERVICING (TYP.), REFER TO SHEET 04 FOR DETAILS.

EXISTING LOC-BLOC WALL.

WATER POOLING EXTENT AT OVERLAND FLOW ROUTE ELEVATION 0.02m

100YR OVERLAND FLOW ROUTE (TYP.)

DIRECTION OF OVERLAND FLOW TOWARDS CULVERT AT INDUSTRIAL WAY & RAILWAY CROSSING.

LOC-BLOC WALL BY OTHERS. REFER TO MEMO BY VALLEY GEOTECHNICAL ENGINEERING SERVICES LTD. FOR DETAILS.

PROPOSED MEGADOM STORAGE STRUCTURE. REFER TO PLANS BY OTHERS.

4370 Industrial Way (Sheets) - Civil Drawing File\C23-6028A REV F - As Built Drawings.dwg 2024/07/06 12:30:18 PM Pjpham

12.2m REDUCED CROSS-FALL LET DOWN PER CQC STD DR-16. LETDOWN THICKNESS 200mm WITH 1.5m TAPERS. ALIGNMENT & ELEVATION TO MATCH EXISTING CURB

PREVIOUSLY INSTALLED LOC-BLOC WALL

EXISTING SURVEYED ELEVATION (TYP.)

PAVEMENT EXTENTS (TYP.)

PAVEMENT SLOPE TRANSITION, MAX SLOPE 1:1 (TYP. OF 2)

LOC-BLOC WALL BY OTHERS. REFER TO MEMO BY VALLEY GEOTECHNICAL ENGINEERING SERVICES LTD. FOR DETAILS.

PROPOSED GRADE (TYP.)

PROPOSED ELEVATION (TYP.)

EXISTING PAVEMENT EXTENTS (TYP.)

REV	DESCRIPTION	DATE	BY	CHKD
01	ISSUED FOR INFORMATION	2024-05-08	PGS	

PROJ. NO.	STN
DESIGN/DRW	PGC
FILE REVISION	
HORIZ. SCALE	1:300
VERT. SCALE	



THE WEDLER GROUP
 ■ Aberdeen 1.004.744.0398
 ■ Christchurch 1.504.762.9041
 ■ Courtenay 1.290.334.3300
 ■ Dunedin 1.504.568.1919

NORTHCOST LUMBER COMMERCIAL SITE SERVICING 43701 INDUSTRIAL WAY	DRAWING NO. C23-6028A-06
OVERLAND DRAINAGE PLAN	LOCAL GOVERNMENT FILE
PHASE	REVISION A

© 2024 WEDLER ENGINEERING LTD. ALL RIGHTS RESERVED - THIS DOCUMENT IS PROTECTED BY COPYRIGHT LAW AND MAY NOT BE REPRODUCED IN ANY MANNER, OR FOR ANY PURPOSE, WITHOUT THE WRITTEN PERMISSION OF COPYRIGHT HOLDER.

PROGRESS PRINT - NOT FOR CONSTRUCTION

Build
NOT FOR CONSTRUCTION
 17 08/17/2023 2:37:20 PM

QUANTUM
ENGINEERING LTD.
 231 43197 Main Street
 Chilliwack BC V2P 2Y7
 Tel: 604 794 3628
 Fax: 604 794 3628
 Email: info@quantumeng.ca
 (PROJECT 22 1)

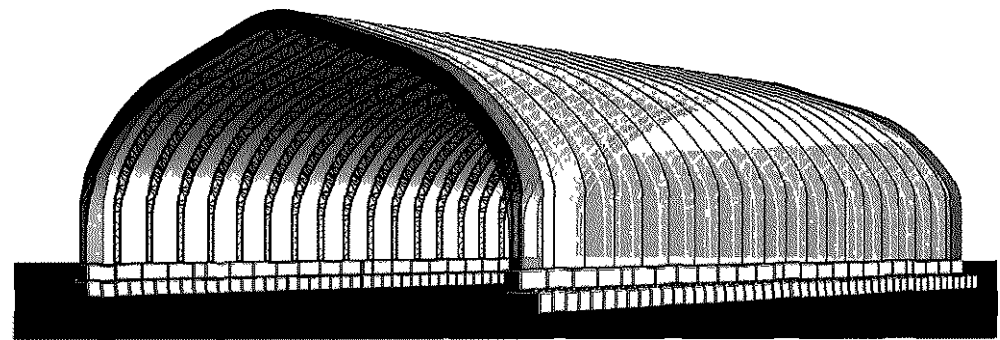
MegADOME
 BY BUILDWORKS

New Storage Building
North Coast Building Products
 43701 Industrial Way, Chilliwack, BC

Build
 www.buildworks.com
 tel 604 794 3628
 info@buildworks.com

3561
 17 August 2023
 D
 A 1
 2023-08 17 12 24 36 PM
 GDC 23050

MEGADOME



PERSPECTIVE VIEW
 NOTE: TRANSLUCENCY OF MATERIAL IS SHOWN
 FOR ILLUSTRATION PURPOSES ONLY

DRAWING LIST & REVISIONS				
NO	TITLE	REV	REV DATE	REV DESCRIPTION
01	Issue			
02	Issue			
03	Issue			
04	Issue			
05	Issue			

GENERAL PARAMETERS & REQUIREMENTS

Building Use: Office storage
 Frame Protection: Pre-galvanized steel
 Foundation/Walls: Concrete Lock blocks – 2 courses
 Bulk loading on Walls: N/A
 Tie-Plate Protection: Pre-painted/galv
 Membrane: Powdercoated FR

GENERAL NOTES

Read these structural drawings in conjunction with all other consultants drawings, technical documents and specifications.
 Check and verify all dimensions, elevations, quantities and conditions with architectural drawings before commencing any work. Notify engineer of any discrepancies or inconsistencies. Any discrepancies not reported become the responsibility of the contractor.
 The latest edition of the standards and codes referenced in these notes and drawings shall apply.
 All dimensions and notes to take precedence over scale shown on plan sections and details.
 In the event of discrepancies in the specifications, drawings or contract documents, the more stringent requirement shall apply. Contact Quantum Engineering Ltd (Quantum Engineering or the Engineer) for clarification.
 Notes and details specified on the plans and details take precedence over those in the general structural notes, except for minimum requirements.
 For conditions not explicitly shown, contractor shall immediately request clarification from the Engineer.
 Review of any work or portion thereof by the Engineer shall not in any way relieve the contractor of any responsibility and obligation to comply with the contract documents and specifications.
 Structural information on these drawings do not include any design or detailing of any waterproofing systems.

Architectural and building envelope design, civil, electrical, mechanical and mechanical engineering requirements are not included on these drawings and are the responsibility of others.
DESIGN LOADS
 This structure has been designed in accordance with Part 4 of the BC Building Code 2018 and the following requirements:
 The structure has been designed to the following basic importance Category 9-Warehouse Low Risk (1 = D).
 Unfactored MegaDome reactions provided by Harmit Industries Ref No: A57157

Dead Weight: 51608 kN (Building)
 Climatic Data:
 Snow (S_s): ± 2.20 kPa
 Rain (R_s): ± 0.32 kPa
 Wind (W_s): ± 0.47 kPa

Unfactored Loads

Member	Wind _W Support		Leeward Support	
	RX (kN)	RY (kN)	RX (kN)	RY (kN)
Dead	220.2	533.2	225.3	525.8
Snow	4540.8	8263.9	4703.8	6214.3
Wa	1414.9	305.4	35.6	37.9
Wb	-2223.0	2824.5	745.8	-3187.7
Wc	2445.0	1882.8	2478.0	3228.8

CONSTRUCTION
 Drawings show the completed structure only. The contractor is responsible for all temporary bracing and shoring elements against construction loading conditions for construction erection procedures stability until the structure is complete (shoring, bracing and underpinning of adjacent structures).
 All construction to be in accordance with municipal by-laws and the British Columbia Building Code 2018 and WorkSafeBC regulations.
 Contractors suppliers and sub-trades are responsible for ensuring that they are working with current drawings and for verification of all. All orders and drawings should be checked. Do not construct from these drawings unless marked 'Issued for Construction'.
 The contractor is responsible for job site safety and compliance with WorkSafeBC regulations during construction.
 All structural work and elements shall be protected during adverse weather.
 Contractor to provide Quantum Engineering with a written submission of all proposed alternate products and systems that provide technical specifications if required for review and approval prior to construction.
 The contractor shall immediately notify the engineer if site conditions differ from those anticipated or shown on the drawings for corrective or remedial work.
 The contractor is responsible for all costs associated with the completion of documents as directed by the Engineer.

FOUNDATIONS

In the absence of a geotechnical engineering report, foundation design shall be based on the following assumptions:
 Minimum Soil bearing capacity (SLS) 150 kPa (2000 psf)
 Review and approval of the Lock-Block wall during a field review by the Engineer does not imply acceptance of and the Engineer takes no responsibility for the assumed soil bearing capacity used in this design.
 Note: All lock blocks to be minimum 20 MPa con. rate. All lock blocks to be installed in a running bond pattern unless noted otherwise.

FIELD REVIEWS

The Engineer provides field reviews only for the work shown on the structural drawings prepared by Quantum Engineering. These field reviews consist of a periodic review at the professional judgement of the Engineer. The purpose is to ascertain that the work is in general accordance with the structural documents and drawings prepared by Quantum and to facilitate completion of the Letter of Assurance required by the local Authority having jurisdiction. These field reviews do not replace any required municipal inspections.
 Field reviews are not carried out for the benefit of the contractor(s) nor does the field review make Quantum Engineering guarantee of the contractor's work. The contractor(s) is responsible for their own quality control and shall perform the work with good workmanship and in accordance with the contract documents.
 The contractor shall provide minimum 24 hours notice to Quantum Engineering for field reviews of the following items:
 a) Lock block wall prior to erecting MegaDome
 b) Structural steel prior to construction
 c) Project completion
 Contractor is responsible for pre-inspecting the work and confirming completeness and conformity with the structural documents prior to field review by Quantum Engineering.
 The work must be complete prior to field review and the contractor shall provide safe access for the engineer. Allow sufficient time for the field review and to execute any corrections.
 Any work that is found to be incomplete, poorly executed, contains errors or omissions, unworkable situations and requires additional field reviews and/or remedial design by the Engineer shall be at the expense of the contractor.
 All works shall be accessible for review. Failure to provide required notification and accessibility may result in the Engineer requiring removal and replacement of the work at the contractor's expense.
 The contractor shall notify the trade manufacturer to review the installation of all fixtures and provide a written certificate for installation and maintenance prior to installation of any roofing.
 Refer to material sections for inspection requirements related to specific materials.

SECONDARY & NON-STRUCTURAL NOTES
 Quantum Engineering Ltd is not responsible for the structural design of non-structural and secondary building elements and their connection to the primary structure.
 Secondary building components shall be designed to part 4 of the Building Code for gravity and lateral loads designed and inspected by the specialty Professional Engineer retained by the contractor. Specialty engineers to submit letters of assurance, sealed shop drawings and perform appropriate field reviews.
 Submit shop drawings to Quantum Engineering for review at least 10 days prior to fabrication. Shop drawings to include design assumptions, loads and loads imposed on building structure and connection details.
 Shop drawings must be signed and sealed by a BC registered Professional Engineer for structural design.
SHOP DRAWINGS
 Refer to the permit consultant documents and drawings for items requiring shop drawings.
 Submit no more than 4 hard copies of shop drawings and allow minimum of 10 working days for review by the Engineer.
 Shop drawings shall clearly indicate the supplier's company details (organization, drawing date, material lists, member arrangement, dimensions, assembly information, applicable codes and standards, finish etc).
 The supplier, subcontractor and specialty engineer are responsible for dimensions, detailing, engineering design and field inspections of the installed components.
 Hand-drawn shop drawings will be rejected.
 Shop drawings for structural components shall be signed and sealed by the supplier's specialty Professional Engineer.
 The specialist engineer must be experienced with the associated component, regulated in BC and in good standing with APEGBC. Upon completion of the work in the field, the specialty engineer shall submit to the general contractor and engineer a signed and sealed letter of assurance containing a copy of the work to the contract documents.
 Printing costs for shop drawings sent to Quantum Engineering by email or fax will be charged to the respective subcontractor/contractor and/or project owner.

STRUCTURAL STEEL - GENERAL

Fabrication, erection, design & detailing shall be in accordance with CSA S15. Welding shall be in accordance with CSA W47.1. General requirements in accordance with CAN3-G40-20. Workmanship to CAN3-G40-21. Primer to CGSB 1-CP-100 requirements.
 All welding shall conform to CSA W59, W55.2 and W186. All welding shall be performed by itinerant welders fully certified by the Canadian Welding Bureau to the requirements of W47.1. All welders shall be CWI certified.
 Supplier shall provide copies of the shop and welders certificates to the Engineer along with the shop drawings.
 Supplier shall confirm all dimensions and site conditions prior to fabrication.
 Submit shop drawings for a pre-fabrication to Quantum Engineering and the architect (if applicable) for review prior to fabrication. Show all pertinent details, material specifications on the shop drawings. All shop drawings to be sealed and signed by the Iterant Professional Engineer for the connection design.
 The Professional Engineer sealing the shop drawings shall be responsible for inspection of the steel fabrication for conformance with their design and shop drawings. Upon completion the specialty engineer shall provide a Schedule 3 certifying substantial conformance to the Engineer of Record.
 Material:
 All structural steel: 300W
 Hollow Structural sections: HSS355W Class C
 Plates: angles channels: 300W
 Structural Pipe: ASTM A53 (40MPa)
 Bars: Rebar: sheets & mesh: metal: 300W
 Bolts, nuts and washers: ASTM A325
 Anchor bolts: ASTM A307
 Washers: E-70xx (480MPa)

All edges and corners of connections shall be ground smooth.
 Apply minimum one coat of shop primer to all steel work. Use weatherable primer where further welding is anticipated.
 Do all open ends of pipe, tubes and HSS sections with 4.8mm (3/16") thick steel plates with seal welds all around.
 Any steel subject to corrosion shall be hot dip galvanized. All hot dip galvanizing to be in accordance with CAN/CSA G184.
 Erection bracing during construction is the responsibility of the contractor.
 Power up adhesive as all drilled anchor and reinforcing steel locations indicated on structural drawings to depth of embedment noted.
 Adhesives used to install reinforcing steel and threaded anchors into existing concrete shall be one of the following: Hilti HIT HY 150MAX epoxy or Simpson Strong-Tie SET epoxy.
 Drilling of holes through existing reinforcing steel in beams and columns is prohibited.
 Prior to construction, sign all personnel involved in installation by on-site representative of trade manufacturer. Installation to be in strict accordance with manufacturer's recommendations.
 Notify Quantum Engineering for a review of drilled anchors during installation process. On site load testing may be required if determined by Quantum Engineering.

STEEL PROTECTION - GENERAL
 A Standard Condition:
 All steel components shall be cleaned and painted with industrial grade coat of paint.
 B Corrosive Environments:
 Hot-dip galvanize all structural steel exposed to corrosive environments to CAN/CSA G184. All materials to be hot dip galvanized must have good surface quality and shall not have imperfections including rust, mill scale, etc.
 All galvanized items that have been welded, burned or damaged shall be cleaned and touched up with Galvalume Cold Galvanizing compound or approved alternative.

PRE-ENGINEERED BUILDING SPECIFICATIONS

PRE-ENGINEERED BUILDING SPECIFICATIONS
 The following shall be the minimum specification applicable to the structure and construction of the pre-engineered fabric system:
 CSA A00 CERTIFICATION
 The manufacturer of the pre-engineered building system shall submit to Quantum Engineering Ltd a Certificate of Design and Manufacturing Conformance (CSA A00-10) together with building system drawings signed/checked by a Professional Engineer registered in the province of British Columbia and a Schedule 3-B (Assurance of Professional Design by a Supporting Registered Professional).
 STEEL
 The steel used for the fabrication of the pre-engineered steel superstructure shall be high strength, low alloy structural steel and meeting the minimum structural and mechanical properties of ASTM A-500 GR B with an ultimate tensile strength of 380 MPa and yield strength of 345 MPa. All steel shall be new steel, recycled, and of minimum Grade 300W in accordance to CAN/CSA G40-20 and CAN/CSA G40-21 standards.
 Unless specified otherwise, all tubing utilized in the structural frame shall be pre-purchased Galvalume that is galvanized with a zinc-aluminum alloy (55% zinc, 0.5% aluminum) coating. Weight of the galvanization shall be 150 g/m² for the equivalent of 0.30 oz./sq. foot (total for both sides). The Galvalume treatment shall be applied to both sides of the cold formed steel and applied with a process that allows galvanization process. In accordance to the ASTM A792/A792M-2015 Steel Sheet 55% Aluminum-Zinc Alloy-Coated Hot Dip Process A clear protective coating shall be applied after the treatment to help preserve the finish. Welding on the Galvalume steel items shall be of the self-corrosive type in order to preserve the pre-galvanization corrosion protection properties.
 If so specified in the General Parameters & Requirements above—The welded steel truss of the superstructure frame shall include a hot dip galvanization process which is applied after welding and the finished components having been completely immersed in a zinc solution and shall cover all surfaces, inside and out.
RIDGE AND GABLE CLADDING/MEMBRANES
 The roof and gable walls shall be clad with PowerShield® 3-layer woven polyethylene membrane, that is UV stabilized with a core in made of woven HDPE woven using natural or plant UV treated 1000 denier tapes to fabricate an unbreakable low tear strength and elasticity to the membrane in all directions, an outside layer made of colored high density polyethylene (HDPE) material that forms a waterproof barrier against the elements, and a white or clear ultraviolet resistant coating of the same HDPE material.
 Total coated weight of PowerShield polyethylene membrane shall be 12.0oz/yd² ± 5%.
 The membrane shall conform to the following standard of testing and materials:
 Grab tensile strength of 359 lbs. and be tested per ASTM D-5034-95 (Standard Test Method for Breaking Strength and Elongation of Textile Fabrics) (Grab Test).
 If so specified in the General Parameters & Requirements above—Flame resistance in accordance with standard NFPA 701-1608 (large scale) and 1906.1 (small scale). CANULC C-108-AM7 (small and large scale), CANULC C-102-03 ASTM E84-08a (Class 1) and UBC2.1.1 and California Fire Methods (FA 51403).

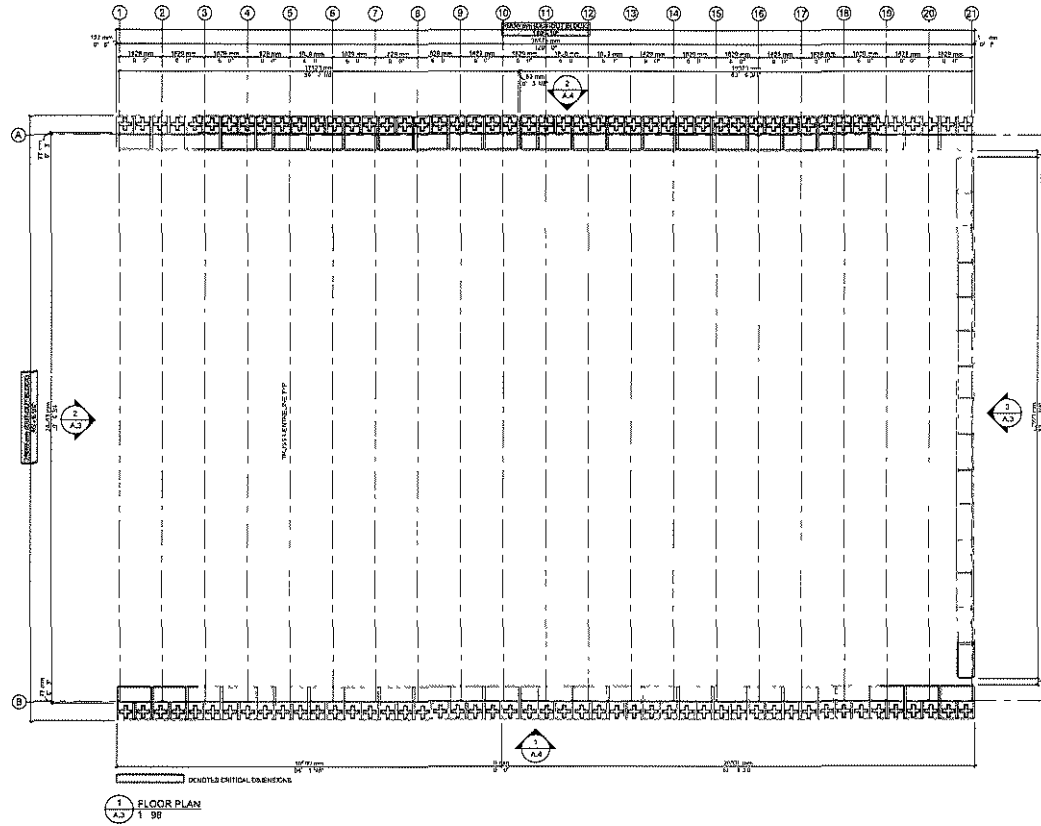


New Storage Building
North Coast Building Products
 43701 Industrial Way, Chilliwack, BC



REV	3561
DATE	17 August 2023
BY	0
APP	A 2

© 2023 BuildWorks Corporation Inc. This drawing and the design contained herein is the exclusive property of the copyright owner and may not be used in whole or in part for any purpose except for construction of the specific project named herein. MegaDome is a registered trademark of Harmit Industries Ltd.



Build *1/2/23*
NOT FOR CONSTRUCTION
 17 08/17/2023 2 37 20 PM

QUANTUM
 ENGINEERING LTD.
 17 8017 Van Ness
 Richmond BC V6V 1T7
 T 604 276 5047
 F 604 276 5133
 Email: info@quantumeng.ca
 (PROJECT 23)

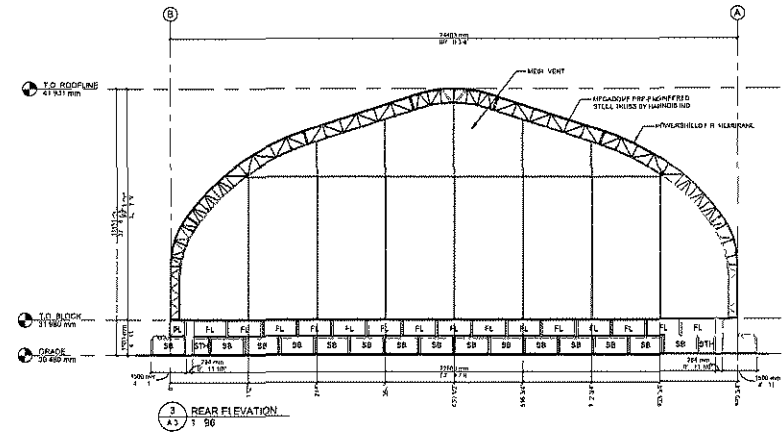
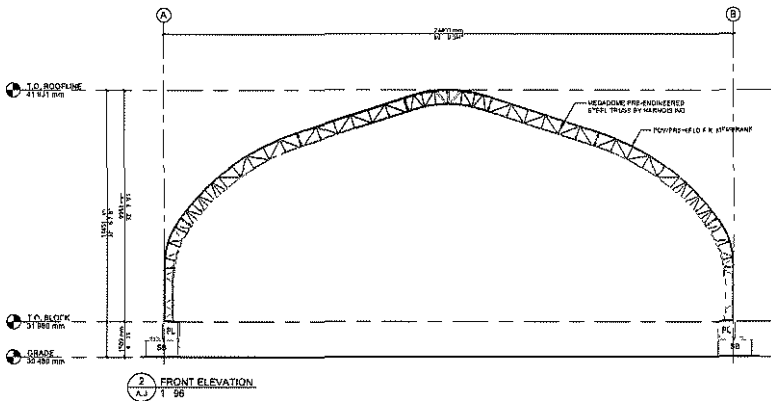
MegaDome
 BY BUILDWORKS

New Storage Building
North Coast Building Products
 43701 Industrial Way, Chilliwack, BC

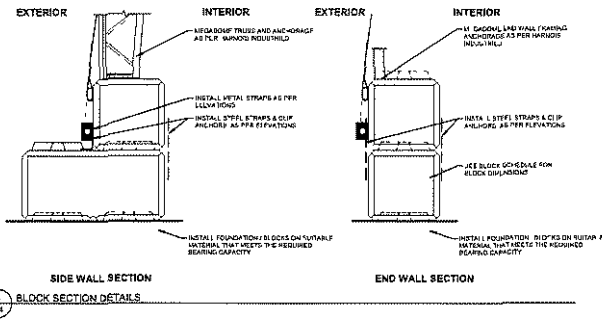
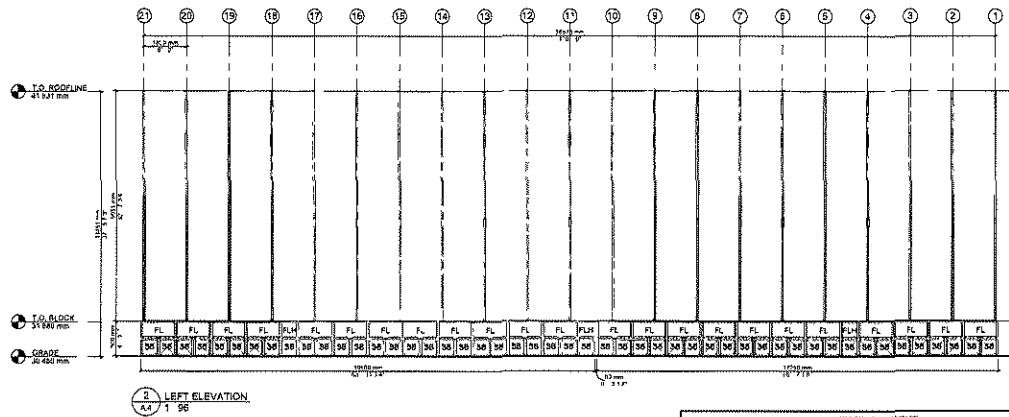
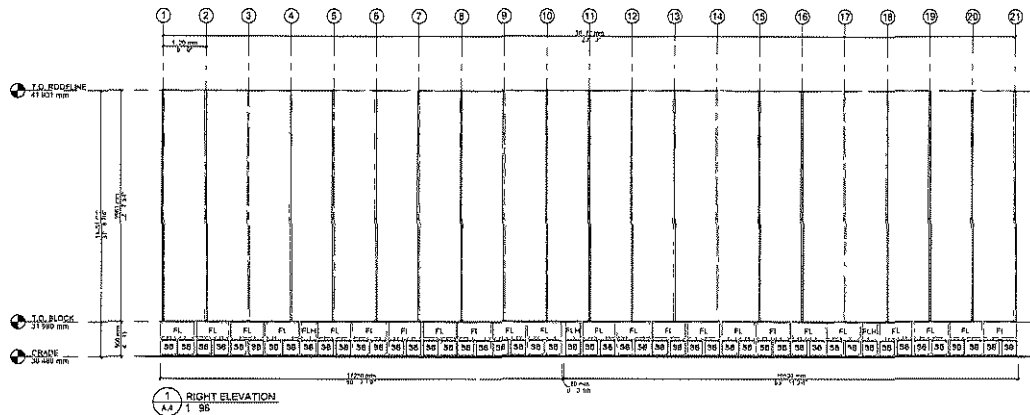
Buildworks
 www.buildworks.com
 tel: 604 724 3528
 info@buildworks.com

3561
 17 August 2023
 0

A 3
 2023-08-17 12:24:41 PM
 GDC 23050



© 2023 Buildworks Construction Inc. This drawing and the design contained herein is the exclusive property of the copyright owners and may not be used in whole or in part for any purpose except for consultation of the specific project named herein. Buildworks is a registered trademark of Harborside Industries Ltd.



BLOCK LEGEND			
TYPE	TOP VIEW	SIDE VIEW	END VIEW
SB (Klayed Standard Block)			
FL (Flat Standard Block)			
STH (Klayed Flat Sheet)			
FLH (Flat Half Block)			
LB (Klayed Long Block)			

LOW BLOCK SCHEDULE				
SQ#	QTY	LENGTH	DEPTH	DESCRIPTION
FL	17	1.000	1.000	FL (Flat Standard Block)
FLH	8	1.000	0.500	FLH (Flat Half Block)
SB	10	1.000	1.000	SB (Klayed Standard Block)
STH	2	1.000	1.000	STH (Klayed Flat Sheet)
LB	2	2.000	1.000	LB (Klayed Long Block)

Build
NOT FOR CONSTRUCTION
17 08/17/2023 2 37 20 PM

QUANTUM ENGINEERING LTD.
201 4013 14th St E
Chilliwack BC V7P 1T7
Tel: 604 703 3625
Fax: 604 703 7000
Email: info@quantumeng.ca
(PROJECT 23)

MegaDome
BY BUILDWORKS

New Storage Building
North Coast Building Products
43701 Industrial Way, Chilliwack, BC

Buildworks
www.buildworks.com
Tel: 804 704 2626
Info@buildworks.com

PLAN NO: **3561**
DATE: **17 August 2023**
SCALE: **0**
REV: **A 4**



Appendix B

Drawing Index: Rev #8

Drawing No.	Revision	Title of Drawing
COVER SHEET		
C SERIES SHEETS		
C20-5728/A-C01	G	KEY PLAN
C20-5728/A-C02	G	STANDARD NOTES
C20-5728/A-C03	F	EROSION AND SEDIMENT MANAGEMENT PLAN
C20-5728/A-C04	G	STORM WATER MANAGEMENT PLAN
C20-5728/A-C05	H	SEWAGE PUMP STATION
P SERIES SHEETS		
C20-5728/A-P01 (1+025 - 1+280)	G	INDUSTRIAL WAY - PLAN/PROFILE ROAD & STORM WORKS
C20-5728/A-P02 (1+280 - 1+548)	G	INDUSTRIAL WAY - PLAN/PROFILE ROAD & STORM WORKS
C20-5728/A-P03	G	LOGAN DRIVE - PLAN/PROFILE ROAD & STORM WORKS
C20-5728/A-P04	G	INDUSTRIAL WAY - GRADING DETAILS
C20-5728/A-P05	G	INDUSTRIAL WAY & LOGAN DRIVE PLAN/PROFILE SANITARY & WATER WORKS
C20-5728/A-P06	H	INDUSTRIAL WAY - PLAN/PROFILE FORCEMAIN WORKS
C20-5728/A-P07	G	INDUSTRIAL WAY - PLAN/PROFILE FORCEMAIN WORKS

DRAWING INDEX REVISION #8

Client:

JOOL COMPANY

Project:

RITEWAY-PICK-A-PART
OFFSITE SERVICING PHASE
INDUSTRIAL WAY, CHILLIWACK, BC

Engineering Services Provided by:



WEDLER
ENGINEERING

www.wedler.com

THE WEDLER GROUP

- Abbotsford
1.604.746.0300
- Chilliwack
1.604.792.0651
- Courtenay
1.250.334.3263
- Surrey
1.604.588.1919

RITEWAY PICK-A-PART
Project No: C20-5728/A
Date: MARCH 6, 2023
AS BUILT DRAWING

WEDLER
ENGINEERING

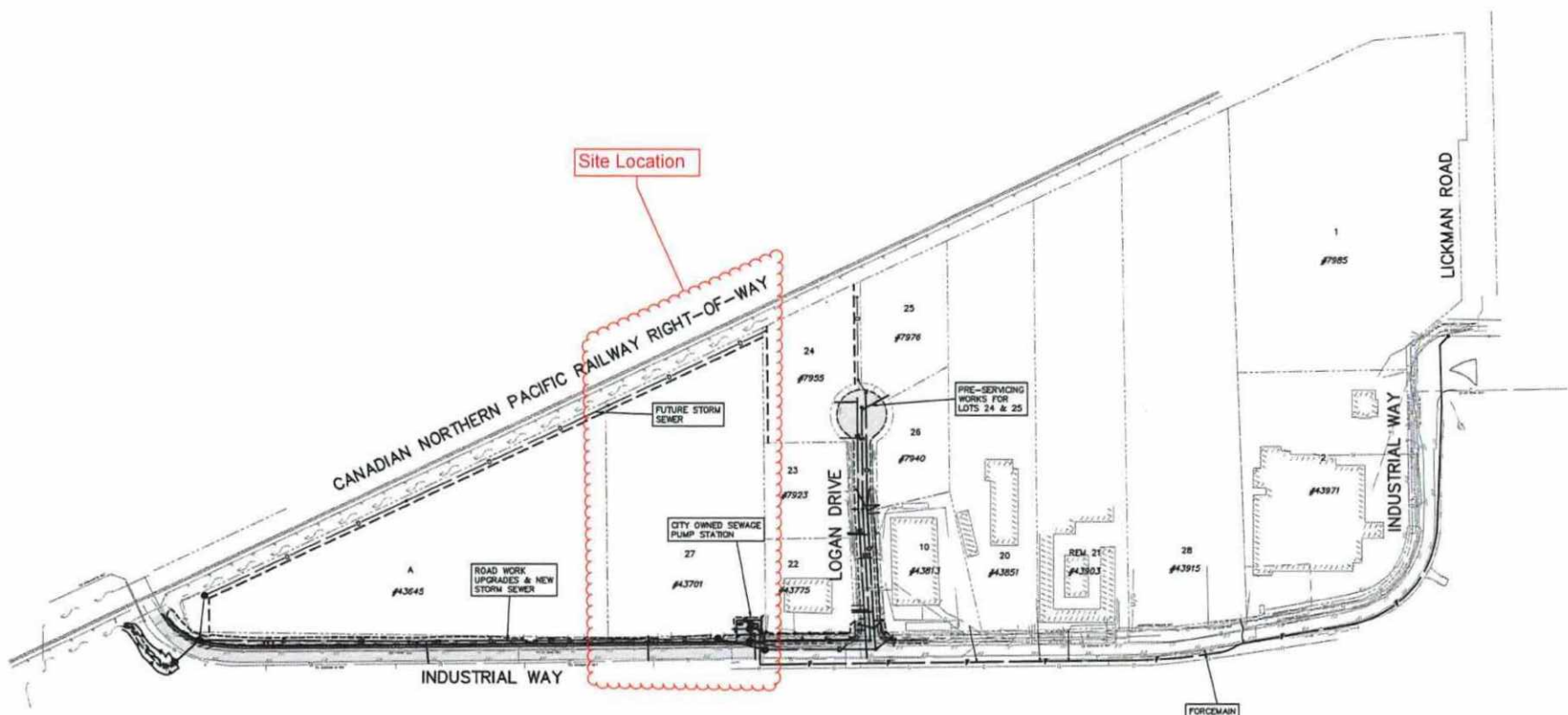


LOCAL GOVERNMENT FILE:

THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDENDA, CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES, BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES, BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION IF ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLIES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING



K:\2025\2505\C20-5728 - RiteWay Pick-A-Part\Current Drawings Files\C20-5728 - Pk - C&E.dwg 2025/07/08 10:21:39 AM P:\m...

REV	DESCRIPTION	YYYY-MM-DD	BY	REV	DESCRIPTION	YYYY-MM-DD	BY
A	ISSUED FOR PRINT SUBMISSION	2020-08-13	OPS				
B	REVISED FOR CITY COMMENTS	2020-08-14	ENR				
C	REVISED FOR CITY COMMENTS	2020-10-28	ENR				
D	REVISED FOR CONTRACT	2020-11-05	ENR				
E	PUMP STATION ISSUED FOR CONSTRUCTION	2021-03-04	ENR				
F	WATER SERVICE LOCATION, SPECIAL: ISSUED FOR CONSTRUCTION	2021-04-28	ENR				
G	AS BUILT DRAWING	2023-03-08	ENR				



PLOT NO. CND
 DESIGN/DATE QAN
 PER REVIEWED ASB
 HORIZ. SCALE 1:1500
 VERT. SCALE N/A



THE WEDLER GROUP
 ■ Abundant
 1,000,000,000
 ■ On/Off
 1,000,000,000
 ■ Country
 1,000,000,000
 ■ Sunny
 1,000,000,000

JCOL COMPANY	
RITEWAY-PICK-A-PART	
INDUSTRIAL WAY, CHILLIWACK, BC	
KEY PLAN	

DRAWING NO.	OF
C20-5728/A-C01	4
LOCAL GOVERNMENT FILE	
PHASE	REVISION
	C

NOTES

GENERAL

- 1 THE GOVERNING JURISDICTION FOR THIS PROJECT IS THE CITY OF CHILLIWACK, BC.
2 ALL WORKS, MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH THE CURRENT BYLAWS OF THE GOVERNING JURISDICTION...
3 FOR SITE DIMENSIONS, REFER TO LEGAL SURVEY PLANS...
4 PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE A DIGITAL VIDEO AND PHOTOGRAPHIC RECORD...
5 THE CONTRACTOR MUST NOTIFY THE GOVERNING JURISDICTION AND WEDLER ENGINEERING PRIOR TO CONSTRUCTION...
6 THE CONTRACTOR SHALL NOTIFY WEDLER ENGINEERING A MINIMUM OF 2 WORKING DAYS PRIOR TO REQUIRED INSPECTIONS...
7 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT CONFORM BENCH MARK OR TEMPORARY BENCH MARK...
8 ANY VARIATIONS FROM THE PROPOSED WORK MUST BE APPROVED IN WRITING BY WEDLER ENGINEERING...
9 THE CONTRACTOR SHALL ADJUST THE TOPS OF ALL ACTIVE MANHOLES, CATCH BASINS, VALVE BOXES, ETC. AS REQUIRED TO MATCH NEW GRADING...
10 ALL TRENCH BACKFILL WITHIN PUBLIC RIGHTS-OF-WAY TO BE IMPORTED GRANULAR BACKFILL UNLESS OTHERWISE APPROVED...
11 CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS TO BE MADE WITH METHODS AND MATERIALS APPROVED...
12 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY AT THE PLACE OF WORK...
13 THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL PUBLIC AND PRIVATE ROADS AFFECTED BY THE WORK...
14 THE CONTRACTOR SHALL PREPARE A TRAFFIC MANAGEMENT PLAN FOR APPROVAL BEFORE START OF CONSTRUCTION...
15 THE CONTRACTOR SHALL CARRY OUT THE WORK SO AS TO MINIMIZE THE INCONVENIENCE TO THE PUBLIC...
16 THE CONTRACTOR SHALL RECORD ON A CURRENT SET OF PLANS IN A NEAT MANNER, ALL CHANGES, ADDITIONS AND DELETIONS...

EXISTING STRUCTURES, UTILITIES AND PROPERTIES

- 1 INFORMATION ON THE DRAINAGE REMAINING UTILITIES IS DERIVED FROM MUNICIPAL AND/OR SHALLOW UTILITY RECORD DRAWINGS...
2 THERE IS CONSTRUCTION FOR THE CONTRACTOR SHALL ASSUMPTION FOR THE EXACT LOCATION OF BOUNDARIES OF PROPERTIES...
3 COORDINATION WITH OTHER WORK
1 CONTRACTOR TO IMMEDIATELY NOTIFY (TO WEDLER ENGINEERING AND OTHERS AS REQUIRED) ANY CONFLICTS, DISCREPANCIES, ETC...

WATERWORKS

- 1 THE COMPLETED SERVICE SHALL BE DISINFECTED ACCORDING TO AWWA STANDARD C651 OR LATEST REVISION THEREOF
2 CURRENT PROCEDURES OF THE GOVERNING JURISDICTION FOR ACCEPTANCE AND TIE-IN OF NEW WATERWORKS SHALL BE FOLLOWED
3 MATERIALS TO BE USED SHALL BE IN ACCORDANCE WITH THE BYLAWS OF THE GOVERNING JURISDICTION...

STORM SEWERS & SANITARY SEWERS

- 1 THE PIPE DISTANCES SHOWN ON STORM AND SANITARY SEWER DRAWINGS ARE MEASURED HORIZONTALLY FROM MANHOLE CENTERLINE TO MANHOLE CENTERLINE.
2 QUALITY CONTROL
1 ALL TESTING SHALL BE PERFORMED BY INDEPENDENT AND CERTIFIED TESTING AGENCIES AT THE CONTRACTOR'S COST...

QUALITY CONTROL

- 1 ALL TESTING SHALL BE PERFORMED BY INDEPENDENT AND CERTIFIED TESTING AGENCIES AT THE CONTRACTOR'S COST
2 ALL REQUIRED TESTING OF THE SUBGRADE, EMBANKMENT BACKFILL, GRANULAR MATERIALS, COMPACTION, CONCRETE, ASPHALT, GROWING MEDIA, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR AND AT THE CONTRACTOR'S COST
3 ALL CLEANING, FLUSHING, PRESSURE AND LEAKAGE TESTING, VIDEO INSPECTION, DISINFECTION AND BACTERIOLOGICAL TESTING AS REQUIRED FOR WATER, SANITARY AND DRAINAGE SYSTEMS ARE AT THE CONTRACTOR'S COST...

GEOTECHNICAL AND GEOSYNTHETICS

- 1 DESIGN AND CONSTRUCTION OF ALL SLOPES AND RETAINING WALLS TO BE CERTIFIED BY THE GEOTECHNICAL ENGINEER.
2 ALL GEOSYNTHETICS TO BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER.

Table with 3 columns: ACTIVITY, TEST OR INSPECTION, REQUIRED FREQUENCY. Rows include GENERAL, SUBGRADE, EXCAVATING/TRENCHING & BACKFILLING, RETAINING WALLS, CONCRETE TESTING TO CSA-A 23.1, HOT-MIX ASPH CONCRETE PAVING.

JOINT RESTRAINTS (DUCTILE IRON PIPE)

ENSURE THE TYPE OF JOINT RESTRAINTS USED ARE SUITABLE FOR THE TYPE OF PIPE AND ASSOCIATED FITTINGS. THEY ARE IDENTIFIED FOR (L.E. PVC; D.I. COO & PS PIPE).

MINIMUM RESTRAINT LENGTHS

Table with 4 columns: FITTING, Lx (m), Lx (ft), Lx (in). Rows list various pipe fittings and their corresponding minimum restraint lengths in meters, feet, and inches.

EQUIVALENTS MAY BE SUBSTITUTED FOR JOINT RESTRAINTS NOTED UPON APPROVAL OF WEDLER ENGINEERING.

INSTALL JOINT RESTRAINTS AS PER MWCO AND MANUFACTURER'S RECOMMENDATIONS.

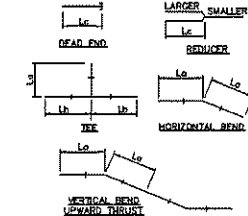
DO NOT THRUST WATERMANS AGAINST OTHER WATERMANS, SERVICES OR UTILITIES.

MINIMUM RESTRAINT LENGTHS CALCULATED USING EBAA IRON RESTRAINT LENGTH CALCULATOR 6.3 AND ASSUME:

- RESTRAINED LENGTHS NOTED APPLY TO INDIVIDUAL FITTINGS INDEPENDENT OF OTHER FITTINGS AND RESTRAINED LENGTHS
- DUCTILE IRON PIPE
- SM TYPE NATIVE SOIL (SILTY SANDS, SAND SILT MIXTURES)
- SAFETY FACTOR OF 1.5
- TRENCH TYPE 5
- MINIMUM 10cm BURY AND COMPACTED BEDDING
- TEST PRESSURE OF 200psi (1.38MPa)

NOTES:

- TIE RESTRAINT THE LENGTH OF RESTRAINT ALONG THE RUNS (Lx) CAN BE REDUCED BY INCREASING THE LENGTH OF RESTRAINT ALONG THE BRANCH (Lb)
- VERTICAL BOND RESTRAINT THE LENGTH OF RESTRAINT FOR DOWNWARD THRUST BENDS DEPEND ON THE DEPTH OF COVER
- OVERLAPPING RESTRAINT WHEN RESTRAINED LENGTHS OVERLAP, THE COMBINATION TO BE EVALUATED AS A WHOLE
- DIRECT ANY INQUIRIES TO WEDLER ENGINEERING PRIOR TO CONSTRUCTION.



TIE-IN AND RESTORATION NOTES.

- PAVEMENT RESTORATION AS PER MCO STD OMC C5
- CUT EXISTING ASPHALT TO FORM A SMOOTH VERTICAL JOINT GRIND EX ASPHALT 200mm WIDE x 35mm DEEP AT TIE-IN PRIOR TO PLACING SURFACE LIFT
- ENSURE THAT ALL DRIVEWAYS WITH EXISTING DRAINAGE TOWARDS THE ROAD CONTINUE TO DRAIN TOWARDS THE ROAD AFTER DRIVEWAY RESTORATION
- REINSTATE EXISTING DRIVEWAYS TO ORIGINAL OR BETTER CONDITION MATCH EXISTING MATERIALS AND FINISHES.
- DRIVEWAY REINSTATEMENTS TO EXTEND TO LIMITS SHOWN OR TO EXISTING CONSTRUCTION JOINTS WHERE APPLICABLE.

BACKFILL BEHIND SHOULDERS CURBS AND SIDEWALKS AS REQUIRED WITH IMPORTED EMBANKMENT FILL OR APPROVED NATIVE FILL SLOPE FILL AT 2:1 OR FLATTER.

ALL DISTURBED EXISTING LANDSCAPING TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION. NEATLY CUT EXISTING LANDSCAPING AS REQUIRED. SLOPE REINSTATED LANDSCAPING AT 4:1 OR FLATTER.

ADJUST THE TOPS OF ALL EX MH'S CB'S, IC'S CLEANOUTS, LD'S METER BOXES AND VALVE BOXES AS REQUIRED TO MATCH NEW GRADING.

AT ALL SERVICE TIE-IN'S CONTRACTOR TO EXPOSE AND DETERMINE EXISTING LOCATION SIZE & INVERT PRIOR TO CONSTRUCTION AND INFORM WEDLER ENGINEERING OF DISCREPANCIES.

AT ALL HARD SURFACE TIE-IN'S CONTRACTOR TO CONFIRM EXISTING GROUND ELEVATIONS AT TIE-IN PRIOR TO CONSTRUCTION AND INFORM WEDLER ENGINEERING OF DISCREPANCIES.

ALL WATERMAIN TIE-IN'S BY CITY FORCES AT DEVELOPER'S COST CONTRACTOR TO PROVIDE PAVEMENT CUTTING & EXCAVATION AS REQUIRED TO SUPPLY WATER TO SUPPLY INSTALL & COMPACT BACKFILL AND TO FORM SURFACE RESTORATION.

ALL SANITARY TIE-IN'S BY CITY FORCES, OR THE CONTRACTOR AT THE CITY'S DISCRETION FOR TIE-IN'S BY CITY FORCES CONTRACTOR TO PROVIDE PAVEMENT CUTTING & EXCAVATION AS REQUIRED TO SUPPLY MATERIALS TO SUPPLY INSTALL & COMPACT BACKFILL AND TO FORM SURFACE RESTORATION.

Table with 4 columns: NO., DESCRIPTION, DATE, STATUS. Rows include items like 'A. REVIEW FOR PRELIMINARY DESIGN', 'B. REVIEW FOR CITY COMMENTS', etc.

Professional Engineer seal for WEDLER ENGINEERING, including name, registration number, and company details.

WEDLER ENGINEERING logo and contact information, including website and phone number.

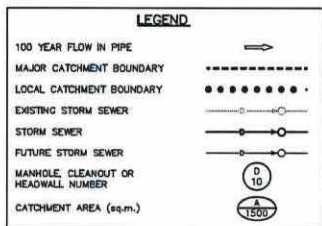
Table with 2 columns: JOOL COMPANY, STANDARD NOTES. Rows include 'RITWAY-PCK-A-PART' and 'INDUSTRIAL WAY CHILLIWACK, BC'.

DRAINAGE SYSTEM DESIGN - CALCULATION SHEET

Client: **CEPCO** Date: **June 25, 2021**
 Project: **RiteWay Pick-A-Part** Printed: **June 25, 2021** DESIGN RETURN PERIOD: 10 year 100 year
 Project #: **C20-5728/A** By: **CHWK**

Based on the *Ignatiev Rainfall IDF Curve*

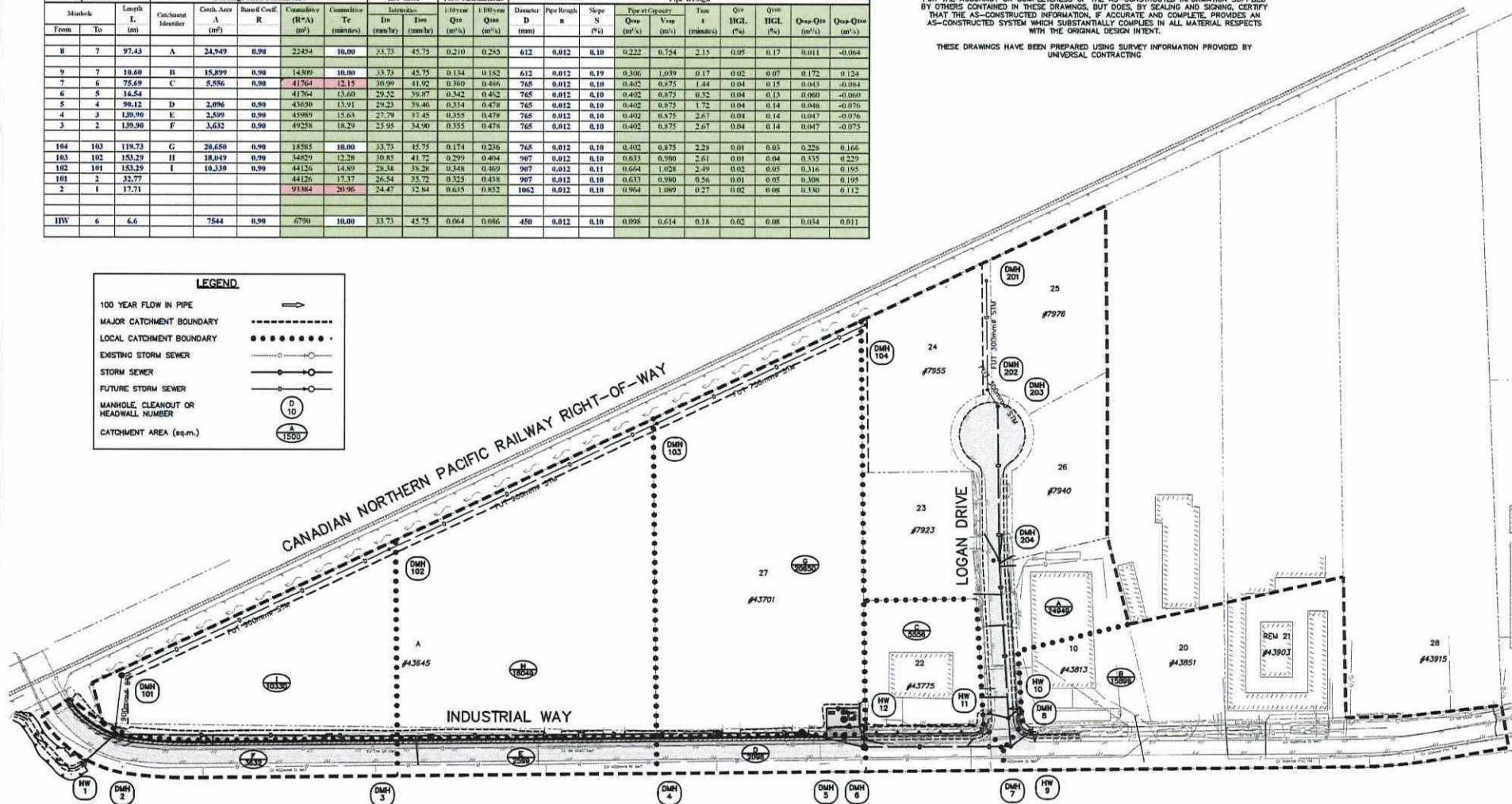
Pipe Run Info		Drainage Area Parameters			IDF Info		Flow Calculations			Pipe Design											
Manhole	Length L (m)	Calculation Identifier	Catch. Area A (m ²)	Rainfall Coeff. R	Cumulative R(A) (m ²)	Time Tc (minutes)	10 Year Q10 (mm/hr)	10 Year Q10 (m ³ /s)	100 Year Q100 (mm/hr)	100 Year Q100 (m ³ /s)	Diameter D (mm)	Pipe Rough n	Slope S (%)	Flow at Capacity Qcap (m ³ /s)	Flow at 10 Year Q10 (m ³ /s)	Flow at 100 Year Q100 (m ³ /s)	IGL IGL (%)	IGL IGL (%)	Qcap-Q10 (m ³ /s)	Qcap-Q100 (m ³ /s)	
8	7	97.43	A	24,949	0.90	22424	10.00	33.73	45.75	0.210	0.285	612	0.012	0.10	0.222	0.754	2.15	0.05	0.17	0.011	-0.064
9	7	18.60	H	15,999	0.90	14899	10.00	33.73	45.75	0.134	0.182	612	0.012	0.19	0.306	1.039	0.17	0.02	0.07	0.172	0.124
7	6	75.69	C	5,556	0.90	41764	12.15	30.99	41.92	0.360	0.486	765	0.012	0.10	0.402	0.875	1.44	0.04	0.15	0.043	-0.004
6	5	14.54				41764	13.60	29.52	39.87	0.342	0.462	765	0.012	0.10	0.402	0.875	0.52	0.04	0.13	0.060	-0.000
5	4	90.12	D	2,096	0.90	43650	13.91	29.23	39.46	0.334	0.478	765	0.012	0.10	0.402	0.875	1.72	0.04	0.14	0.048	-0.076
4	3	139.90	E	2,599	0.90	43989	15.63	27.79	37.45	0.335	0.478	765	0.012	0.10	0.402	0.875	2.67	0.04	0.14	0.047	-0.076
3	2	139.90	F	3,632	0.90	49258	18.29	25.95	34.90	0.335	0.478	765	0.012	0.10	0.402	0.875	2.67	0.04	0.14	0.047	-0.075
104	103	119.73	G	20,650	0.90	18585	10.00	33.73	45.75	0.174	0.236	765	0.012	0.10	0.402	0.875	2.29	0.01	0.03	0.228	0.166
103	102	153.29	H	18,049	0.90	34029	12.28	30.85	41.72	0.299	0.404	907	0.012	0.10	0.633	0.980	2.61	0.01	0.04	0.335	0.229
102	101	153.29	I	10,330	0.90	44126	14.89	28.38	38.26	0.348	0.469	907	0.012	0.11	0.664	1.028	2.49	0.02	0.05	0.316	0.195
101	2	32.77				44126	17.37	26.54	35.72	0.325	0.438	907	0.012	0.10	0.633	0.980	0.56	0.01	0.05	0.308	0.195
2	1	17.71				93864	20.95	24.47	32.84	0.615	0.852	1062	0.012	0.10	0.964	1.089	0.27	0.02	0.08	0.330	0.112
HW	6	6.6		7544	0.90	6790	10.00	33.73	45.75	0.064	0.086	450	0.012	0.10	0.098	0.614	0.18	0.02	0.08	0.034	0.011



THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDENDA, CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES, BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

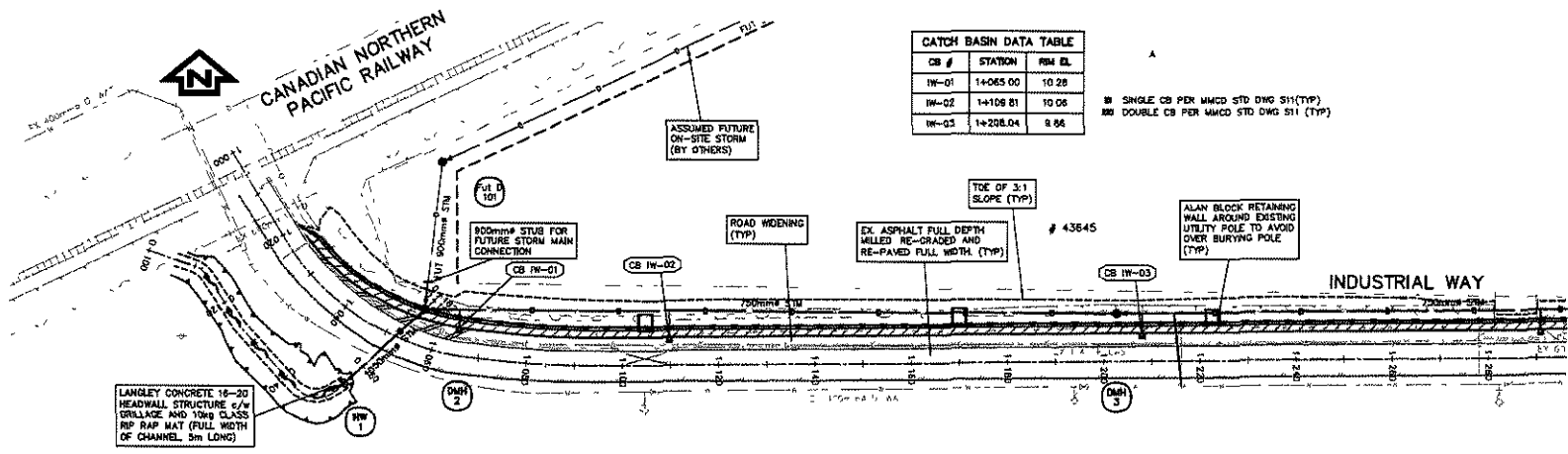
THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES, BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION, IF ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLIES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING



K:\15100330\15100330-5728 - RiteWay Pick-A-Part - CHWK.dwg 2021/06/25 10:32:00 AM 10/25/2021

<table border="1"> <tr><td>REV</td><td>DESCRIPTION</td><td>DATE</td><td>BY</td><td>CHK</td></tr> <tr><td>A</td><td>ISSUED FOR FIRST SUBMISSION</td><td>2020-08-18</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>B</td><td>REVISION FOR CITY COMMENTS</td><td>2020-09-14</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>C</td><td>REVISION FOR CITY COMMENTS</td><td>2020-10-28</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>D</td><td>REVISION FOR CONTRACT</td><td>2020-11-03</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>E</td><td>PUMP STATION ISSUED FOR CONSTRUCTION</td><td>2021-05-04</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>F</td><td>WATER SERVICE LOCATION, SIDEWALK, ISSUED FOR CONSTRUCTION</td><td>2021-09-28</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>G</td><td>AS BUILT DRAWING</td><td>2023-03-08</td><td>CHWK</td><td>CHWK</td></tr> </table>	REV	DESCRIPTION	DATE	BY	CHK	A	ISSUED FOR FIRST SUBMISSION	2020-08-18	CHWK	CHWK	B	REVISION FOR CITY COMMENTS	2020-09-14	CHWK	CHWK	C	REVISION FOR CITY COMMENTS	2020-10-28	CHWK	CHWK	D	REVISION FOR CONTRACT	2020-11-03	CHWK	CHWK	E	PUMP STATION ISSUED FOR CONSTRUCTION	2021-05-04	CHWK	CHWK	F	WATER SERVICE LOCATION, SIDEWALK, ISSUED FOR CONSTRUCTION	2021-09-28	CHWK	CHWK	G	AS BUILT DRAWING	2023-03-08	CHWK	CHWK	<table border="1"> <tr><td>REV</td><td>DESCRIPTION</td><td>DATE</td><td>BY</td><td>CHK</td></tr> <tr><td>1</td><td>ISSUED FOR FIRST SUBMISSION</td><td>2020-08-18</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>2</td><td>REVISION FOR CITY COMMENTS</td><td>2020-09-14</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>3</td><td>REVISION FOR CITY COMMENTS</td><td>2020-10-28</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>4</td><td>REVISION FOR CONTRACT</td><td>2020-11-03</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>5</td><td>PUMP STATION ISSUED FOR CONSTRUCTION</td><td>2021-05-04</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>6</td><td>WATER SERVICE LOCATION, SIDEWALK, ISSUED FOR CONSTRUCTION</td><td>2021-09-28</td><td>CHWK</td><td>CHWK</td></tr> <tr><td>7</td><td>AS BUILT DRAWING</td><td>2023-03-08</td><td>CHWK</td><td>CHWK</td></tr> </table>	REV	DESCRIPTION	DATE	BY	CHK	1	ISSUED FOR FIRST SUBMISSION	2020-08-18	CHWK	CHWK	2	REVISION FOR CITY COMMENTS	2020-09-14	CHWK	CHWK	3	REVISION FOR CITY COMMENTS	2020-10-28	CHWK	CHWK	4	REVISION FOR CONTRACT	2020-11-03	CHWK	CHWK	5	PUMP STATION ISSUED FOR CONSTRUCTION	2021-05-04	CHWK	CHWK	6	WATER SERVICE LOCATION, SIDEWALK, ISSUED FOR CONSTRUCTION	2021-09-28	CHWK	CHWK	7	AS BUILT DRAWING	2023-03-08	CHWK	CHWK	<p>PRJL NO: CHD DESIG/DRW: CHWK PER REVIEWED: JWB VERT. SCALE: 1:1000 HORIZ. SCALE: N/A</p>	<p>THE WEDLER GROUP 1500 West 10th Street Chilliwack, BC V6P 4C1 TEL: 604.702.2881 FAX: 604.702.2882 WWW.WEDLER.COM</p>	<p>JCOL COMPANY RITEWAY-PICK-A-PART INDUSTRIAL WAY, CHILLIWACK, BC</p>	<p>DRAWING NO. C20-5728/A-C04 LOCAL GOVERNMENT FILE PHASE REVISION G</p>
REV	DESCRIPTION	DATE	BY	CHK																																																																																	
A	ISSUED FOR FIRST SUBMISSION	2020-08-18	CHWK	CHWK																																																																																	
B	REVISION FOR CITY COMMENTS	2020-09-14	CHWK	CHWK																																																																																	
C	REVISION FOR CITY COMMENTS	2020-10-28	CHWK	CHWK																																																																																	
D	REVISION FOR CONTRACT	2020-11-03	CHWK	CHWK																																																																																	
E	PUMP STATION ISSUED FOR CONSTRUCTION	2021-05-04	CHWK	CHWK																																																																																	
F	WATER SERVICE LOCATION, SIDEWALK, ISSUED FOR CONSTRUCTION	2021-09-28	CHWK	CHWK																																																																																	
G	AS BUILT DRAWING	2023-03-08	CHWK	CHWK																																																																																	
REV	DESCRIPTION	DATE	BY	CHK																																																																																	
1	ISSUED FOR FIRST SUBMISSION	2020-08-18	CHWK	CHWK																																																																																	
2	REVISION FOR CITY COMMENTS	2020-09-14	CHWK	CHWK																																																																																	
3	REVISION FOR CITY COMMENTS	2020-10-28	CHWK	CHWK																																																																																	
4	REVISION FOR CONTRACT	2020-11-03	CHWK	CHWK																																																																																	
5	PUMP STATION ISSUED FOR CONSTRUCTION	2021-05-04	CHWK	CHWK																																																																																	
6	WATER SERVICE LOCATION, SIDEWALK, ISSUED FOR CONSTRUCTION	2021-09-28	CHWK	CHWK																																																																																	
7	AS BUILT DRAWING	2023-03-08	CHWK	CHWK																																																																																	



CB #	STATION	R/W EL.
IW-01	1+065.00	10.28
IW-02	1+109.81	10.06
IW-03	1+208.04	9.84

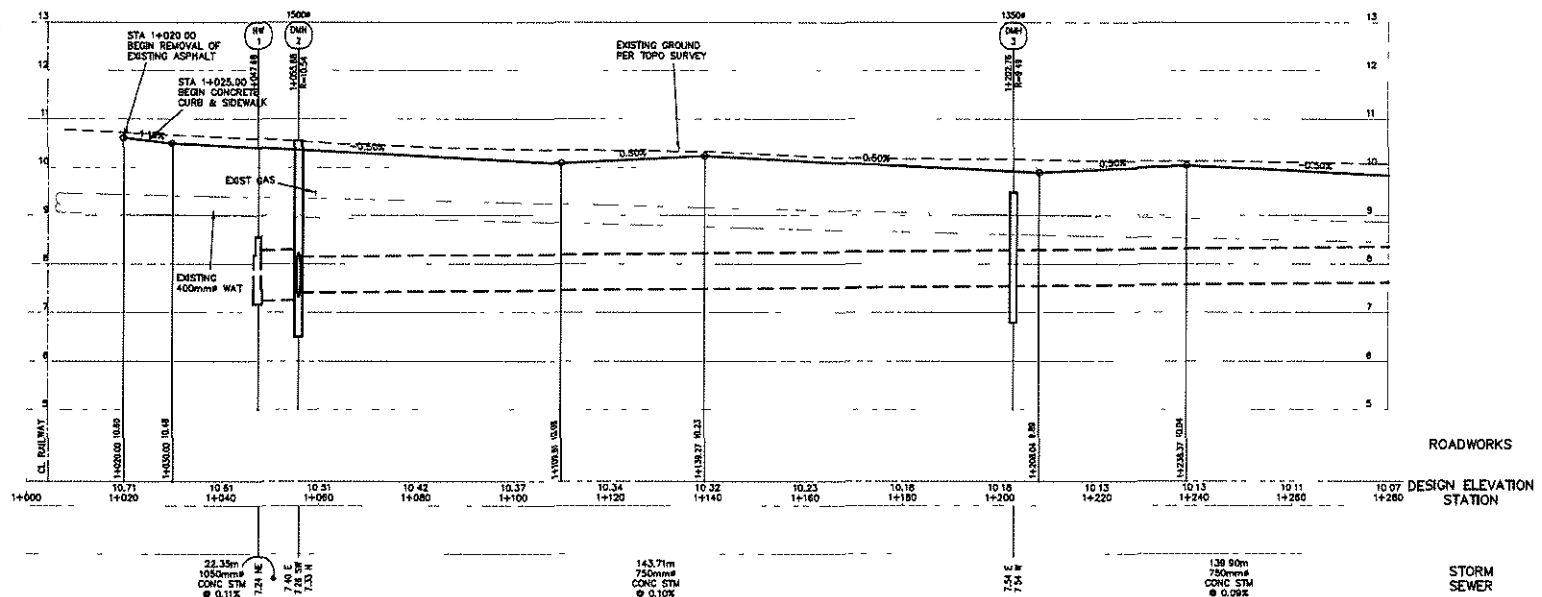
M SINGLE CB PER MMCD STD DWG S11 (TYP)
 N/D DOUBLE CB PER MMCD STD DWG S11 (TYP)

NOTES:
 * STORM MANHOLES c/w 600mm SUMPS

THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDENDA, CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES, BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES, BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION IS ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLIES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING.



REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PERMITS	2009-08-18	OPR
B	REVISED FOR CITY COMMENTS	2009-09-14	OPR
C	REVISED FOR CITY COMMENTS	2009-10-29	OPR
D	REVISED FOR CONTRACT	2009-11-09	OPR
E	PUMP STATION ISSUED FOR CONSTRUCTION	2009-03-04	OPR
F	WATER SERVICE LOCATION: SCHEDULED FOR CONSTRUCTION	2009-03-28	OPR
G	AS BUILT DRAWING	2009-03-28	OPR
REV	DESCRIPTION	DATE	BY

22.35m
 1050mm
 CONC. STW
 @ 0.11%
 7.24 E
 7.40 W
 7.53 W

143.71m
 750mm
 CONC. STW
 @ 0.10%
 7.25 E
 7.35 W

130.90m
 750mm
 CONC. STW
 @ 0.09%
 7.25 E
 7.35 W

WEDLER ENGINEERING
 www.wedler.com

THE WEDLER GROUP
 1684, 744-8300
 1,965, 793-8841
 1,255, 524-2999
 1,900, 295-1919

JOEL COMPANY
 RTEWAY-PICK-A-PART
 INDUSTRIAL WAY CHILLIWACK, BC

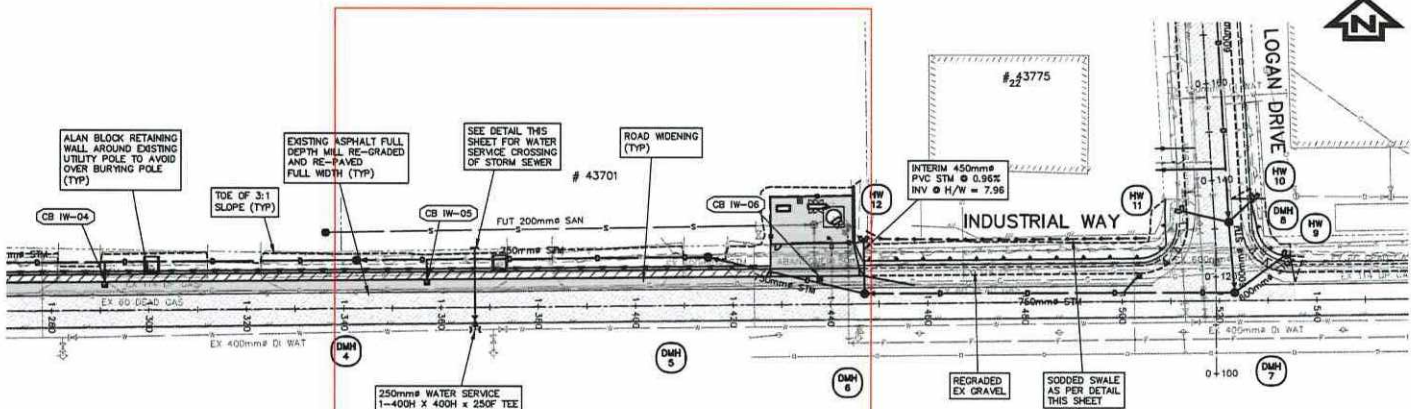
INDUSTRIAL WAY -- PLAN/PROFILE
 ROAD & STORM WORKS 1+025 - 1+280

DRAWING NO. C20-5728/A-P01
 LOCAL GOVERNMENT FEE
 PHASE G

THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDENDA, CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES, BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES, BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION, IF ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

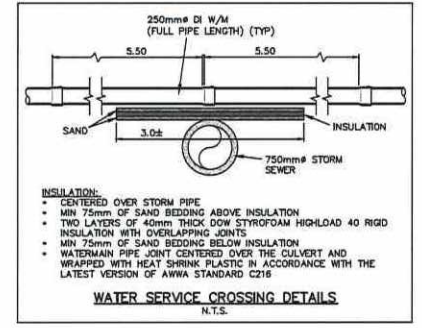
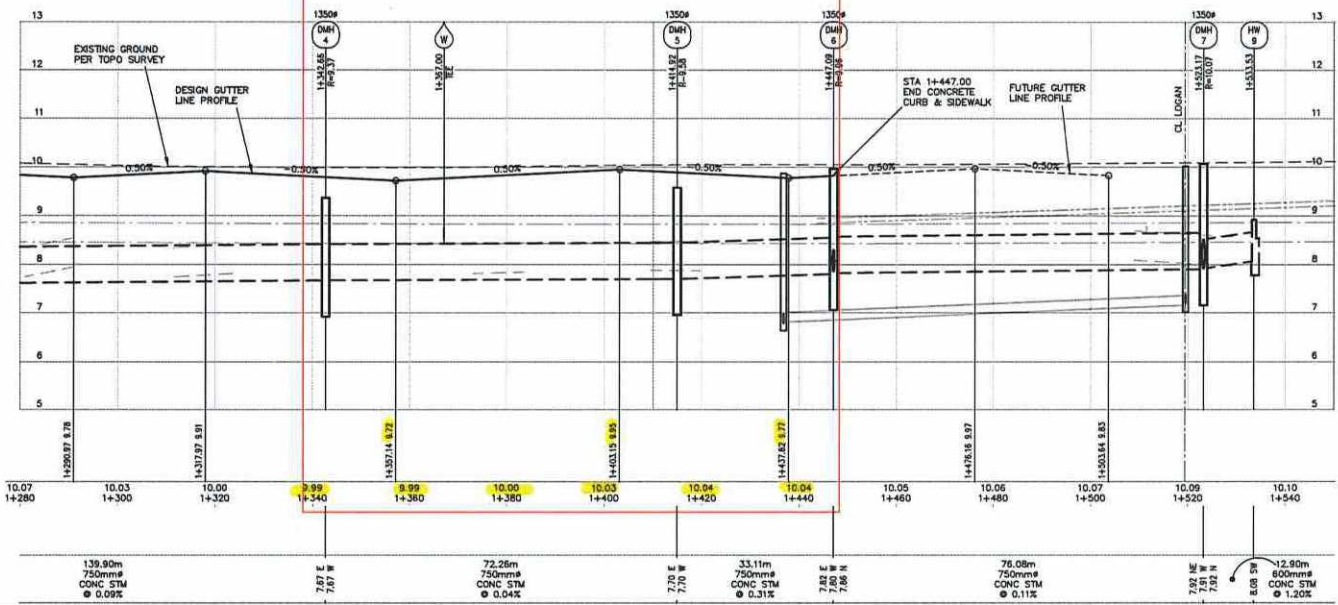
THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING



NOTES:
 • STORM MANHOLES c/w 600mm SUMPS

CATCH BASIN	STATION	RIM EL.
IW-04	1+280.97	9.75
IW-05	1+357.14	9.69
IW-06	1+437.82	9.74

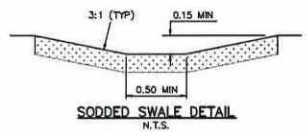
■ SINGLE CB PER MDCD STD DWG S11(TYP)
 ■ DOUBLE CB PER MDCD STD DWG S11 (TYP)



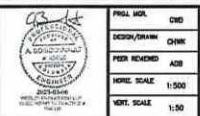
ROADWORKS

DESIGN ELEVATION STATION

STORM SEWER



REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PREL SUBMISSION	2020-06-13	OPR				
B	REVISED FOR CITY COMMENTS	2020-08-14	CHK				
C	REVISED FOR CITY COMMENTS	2020-10-28	CHK				
D	REVISED FOR CONTRACT	2020-11-05	CHK				
E	PUMP STATION: ISSUED FOR CONSTRUCTION	2021-03-04	CHK				
F	WATER SERVICE LOCATION; SIDEWALK: ISSUED FOR CONSTRUCTION	2021-04-26	CHK				
G	AS BUILT DRAWING	2023-03-08	CHK				
REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION	DATE	BY



THE WEDLER GROUP
 ■ ASSOCIATED: 1.604.744.0000
 ■ CHIEF: 1.604.742.0001
 ■ COURTESY: 1.283.333.3003
 ■ SKYLINE: 1.604.688.1913

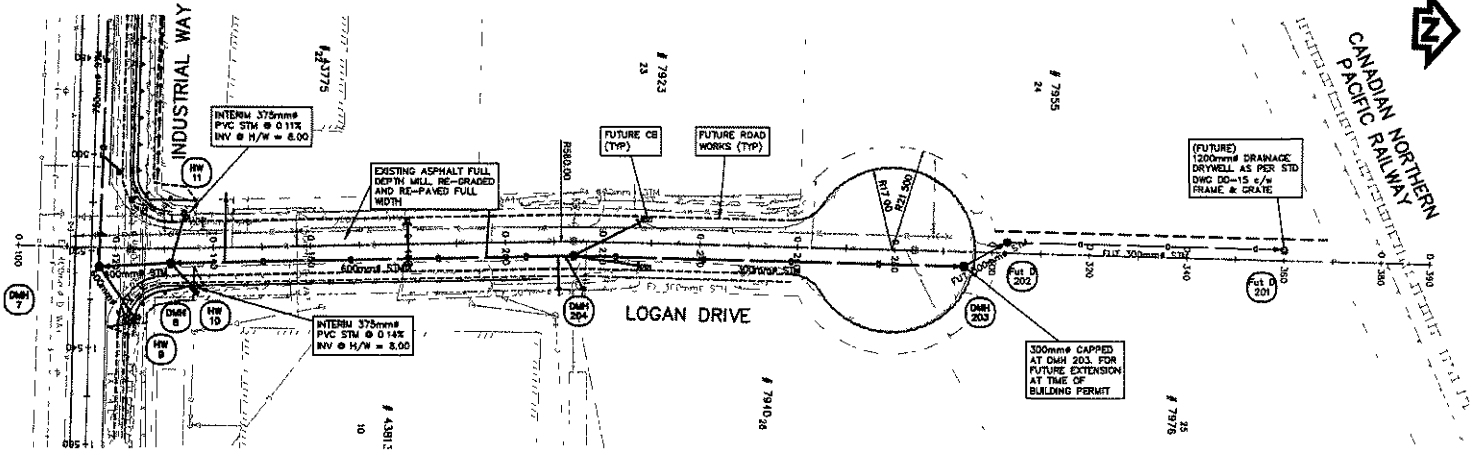
JCOL COMPANY
 RITNEY-PICK-A-PART
 INDUSTRIAL WAY, CHILLIWACK, BC
 INDUSTRIAL WAY - PLAN/PROFILE
 ROAD & STORM WORKS 1+280 - 1+540

DRAWING NO. OF -7-
C20-5728/A-P02
 LOCAL GOVERNMENT FILE
 PHASE REVISION
 G

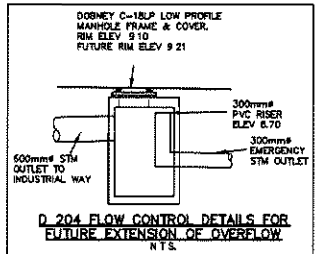
THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDENDA, CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES, BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION IS ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLIES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING.



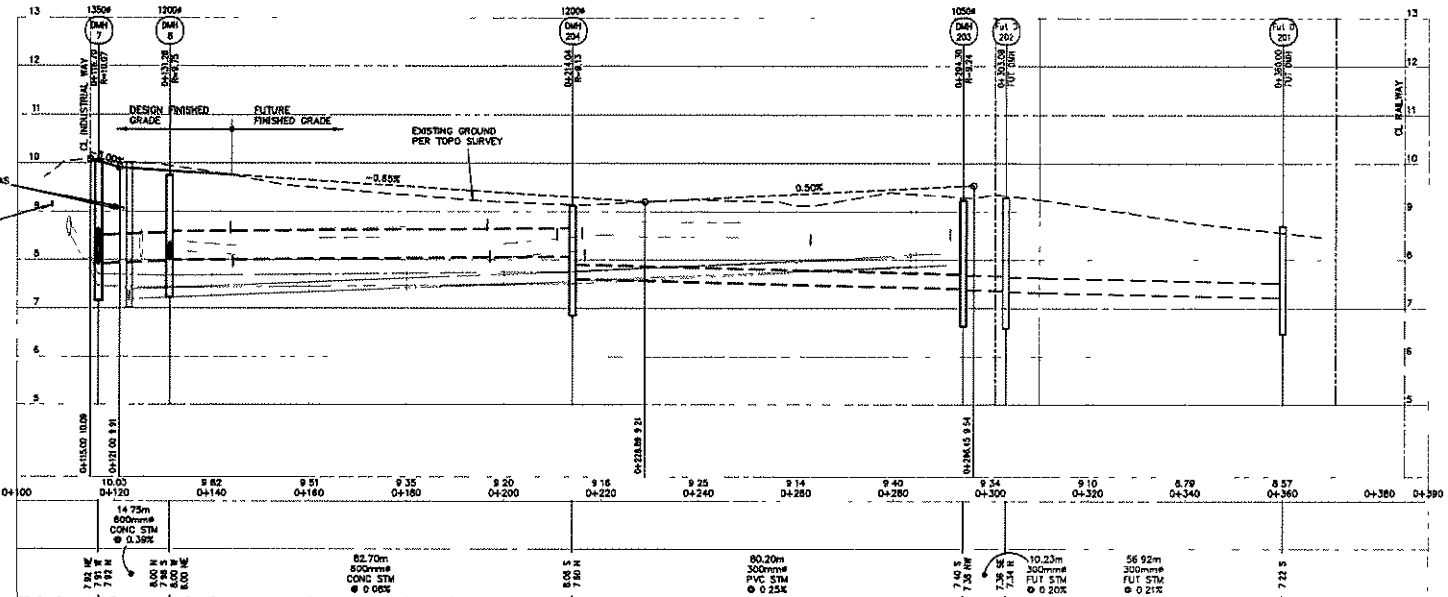
NOTES:
 * STORM MANHOLES TO BE c/w 800mm SUMPS



ROADWORKS

DESIGN ELEVATION
 STATION

STORM
 SEWER



REV	DESCRIPTION	DATE	BY	CHK
1	ISSUED FOR PERMITS	2020-08-13	OW	
2	REVISED FOR CITY COMMENTS	2020-08-14	OW	
3	REVISED FOR CITY COMMENTS	2020-10-28	OW	
4	REVISED FOR CONTRACT	2020-11-05	OW	
5	TRAP STATIONS, SIGNALS FOR CONSTRUCTION	2021-03-04	OW	
6	WATER SERVICE LOCATION, SIGNALS, SIGNALS FOR CONSTRUCTION	2021-03-29	OW	
7	AS BUILT DRAWING	2022-05-04	OW	
		2022-05-04	OW	
		2022-05-04	OW	
		2022-05-04	OW	

PROJ. NO. 620
 DESIGNER: OW
 PER. REVIEWED: ABB
 HORIZ. SCALE: 1:500
 VERT. SCALE: 1:50

WEDLER ENGINEERING
 www.wedler.com

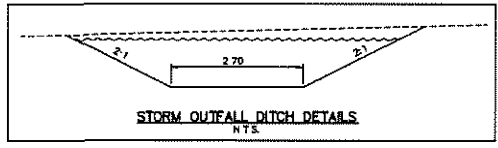
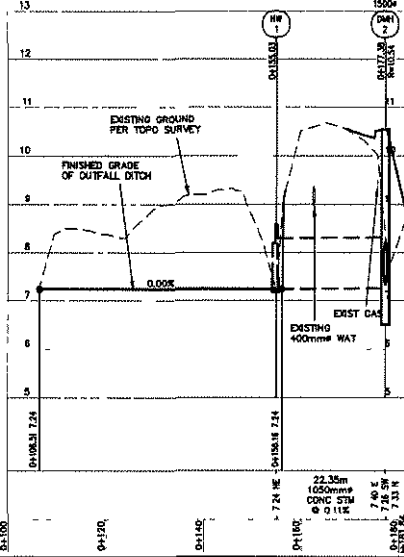
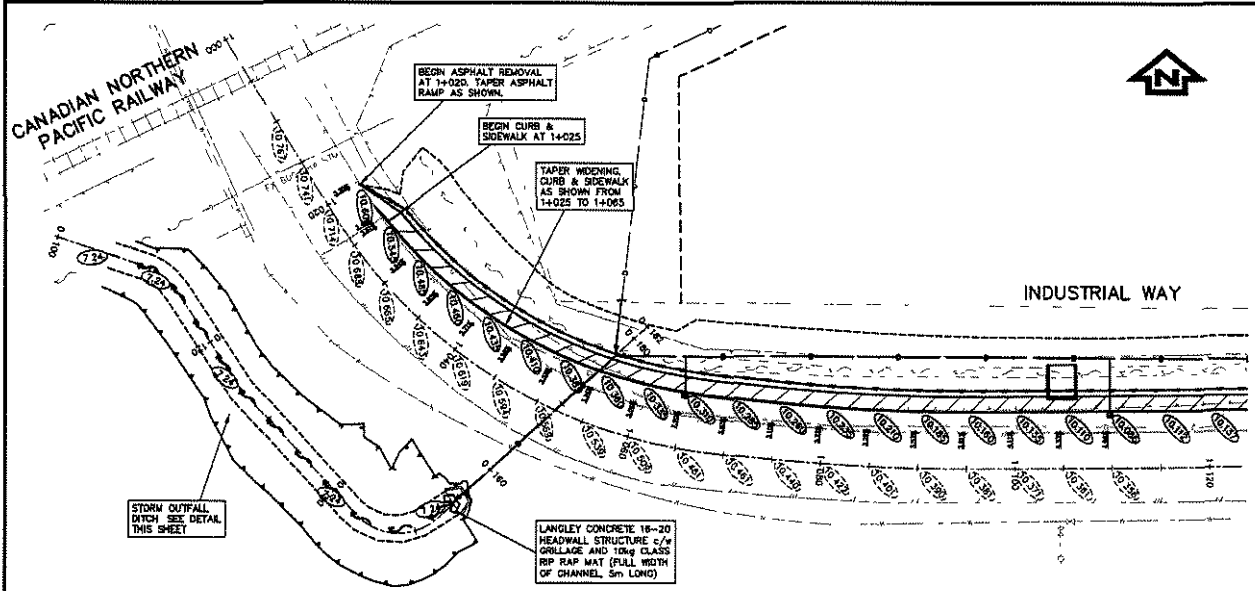
THE WEDLER GROUP:
 ■ Abbotsford 749.74.0000
 ■ Chilliwack 749.74.0001
 ■ Courtenay 749.74.0002
 ■ Surrey 749.74.0003

JOOE COMPANY
 RTWAY-PICK-A-PART
 INDUSTRIAL WAY, CHILLIWACK, BC

LOGAN DRIVE - PLAN/PROFILE
 ROAD & STORM WORKS

PROJECT NO.	C20-5728/A-P03
LOCAL GOVERNMENT FILE	
DATE	2022-05-04
REVISION	G

W:\Projects\C20-5728\Drawings - Project\Drawings\Plan\Profile\2022\05\04_C20-5728-A-P03.dwg 2022/05/04 10:27:45 AM P:\ow



THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDITIONAL CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES, BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION, IF ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLIES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING.

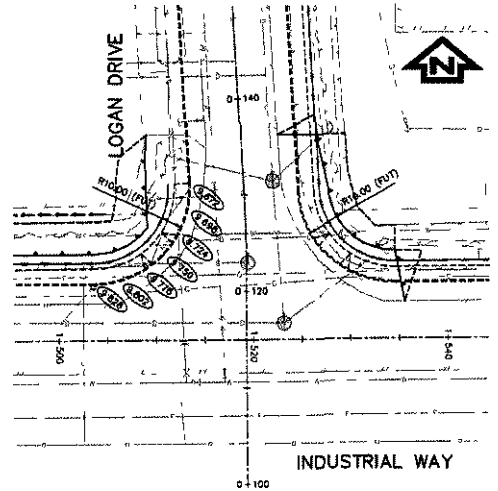
THIS DRAWING SHOWS DESIGN GRADES AND IS NOT AS CONSTRUCTED EXCEPT FOR THE TOP OF WALL LOCATIONS AS NOTED.

FUTURE LOT GRADING TO BE COMPLETED BY BUDDER.

GRADING LEGEND

EXISTING ELEVATION	103.41
EXTERIOR FINISHED ELEV	104.50
FUTURE ELEVATION	104.50
TOP OF WALL ELEV	104.50
PROPOSED GRADE	2.00%
TOP INLET CATCH BASIN	
LAWN DRAIN	
TOP OF SLOPE	
BOTTOM OF SLOPE	
RETAINING WALL	

NOTE:
DESIGN ROAD ELEVATIONS ARE SHOWN



REV	DESCRIPTION	DATE	BY	CHKD	APP'D
A	ISSUED FOR PERMITS	2020-08-18	DN		
B	REVISED FOR CITY COMMENTS	2020-08-14	DN		
C	REVISED FOR CITY COMMENTS	2020-10-28	DN		
D	REVISED FOR CONTRACT	2020-11-05	DN		
E	TRAMP STATION, ISSUED FOR CONSTRUCTION	2021-03-04	DN		
F	REVIEW SERVICE LOCATIONS, SIDEWALK, ISSUED FOR CONSTRUCTION	2021-03-23	DN		
G	AS BUILT DRAWING	2023-03-08	DN		
REV	DESCRIPTION	DATE	BY	CHKD	APP'D
1777-08-01	ST	1777-08-01	ST		

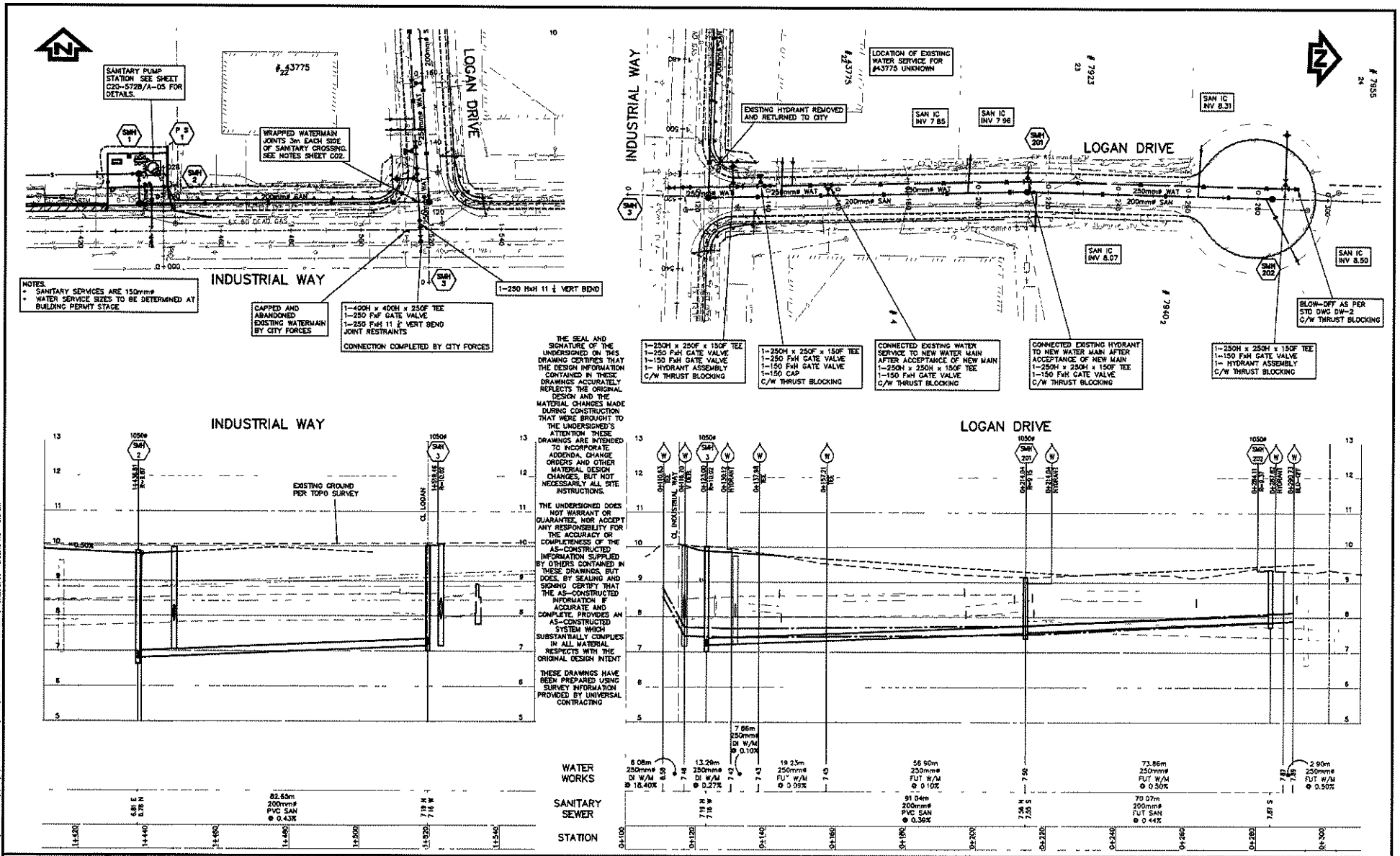
PROFESSIONAL ENGINEER
BRITISH COLUMBIA
NO. 12774
1994-12-14

THE WEDLER GROUP
JOEL COMPANY
RITWAY-PICK-A-PART
INDUSTRIAL WAY DILLWICK, BC

WEDLER ENGINEERING
www.wedler.com

PROJECT NO. 1777-08-01
DATE: 2023-03-08
SCALE: AS SHOWN
SHEET NO. 1 OF 1

PROJECT NO.	1777-08-01
SHEET NO.	1 OF 1
DATE	2023-03-08
SCALE	AS SHOWN
SHEET NO.	1 OF 1
PROJECT NO.	1777-08-01
SHEET NO.	1 OF 1
DATE	2023-03-08
SCALE	AS SHOWN
SHEET NO.	1 OF 1



NO.	DESCRIPTION	DATE	BY	REV
1	ISSUED FOR PERMITS	2020-08-10	OPR	
2	REVISED PER CITY COMMENTS	2020-08-14	OPR	
3	REVISED PER CITY COMMENTS	2020-08-28	OPR	
4	REVISED FOR CONSTRUCTION	2020-11-20	OPR	
5	PUMP STATION, ISSUED FOR CONSTRUCTION	2021-01-20	OPR	
6	WATER SERVICE LOCATIONS, ISSUED FOR CONSTRUCTION	2021-04-29	OPR	
7	AS BUILT DRAWING	2023-03-04	OPR	
8		1771-04-02	BY	REV

PROJECT NO. C20-5728/A-P05

DATE: 2023-03-04

SCALE: 1:50

WEDLER ENGINEERING

www.wedler.com

THE WEDLER GROUP

- Abbotsford 1.641.743.2000
- Chilliwack 1.604.743.3881
- Coquitlam 1.281.943.2000
- Surrey 1.604.996.1919

JCOL COMPANY

RTEWAY-PICK-A-PART

INDUSTRIAL WAY DRILLWACK, BC

INDUSTRIAL WAY & LOGAN DRIVE

PLAN/PROFILE

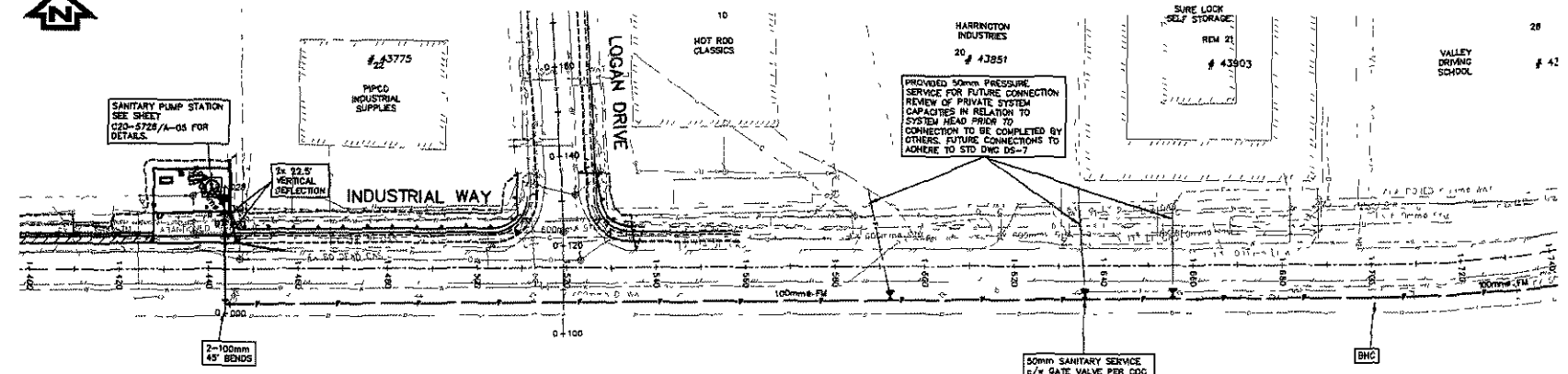
SANITARY & WATER WORKS

PROJECT NO. C20-5728/A-P05

LOCAL GOVERNMENT FILE

PHASE

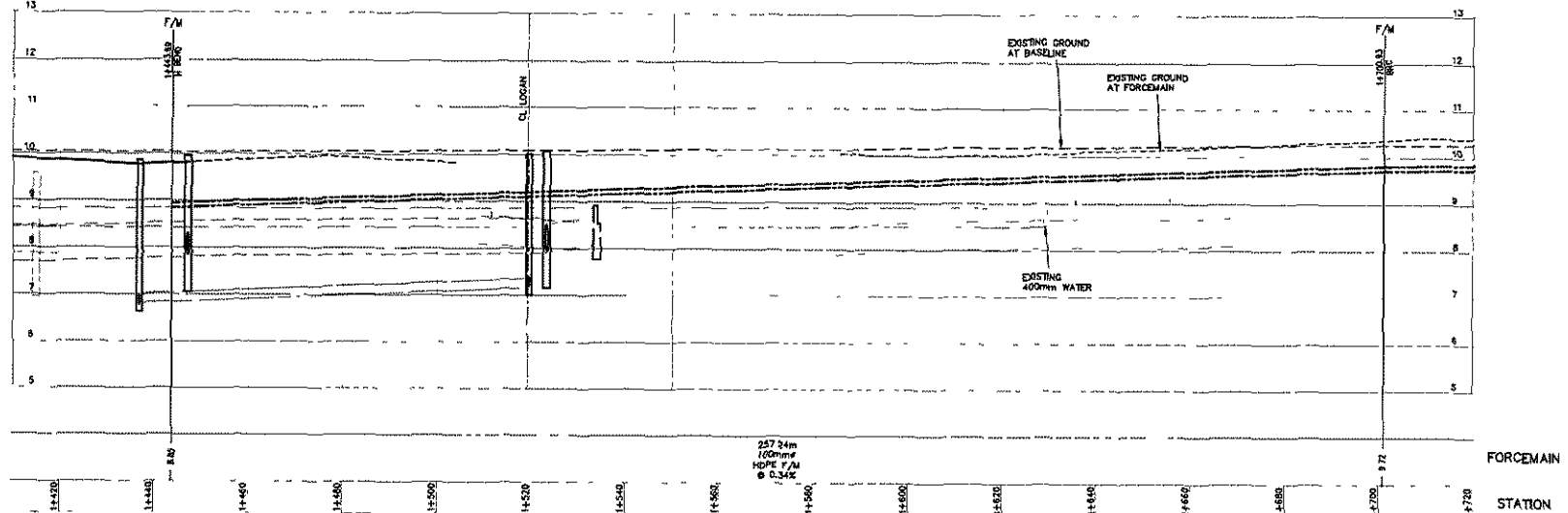
REVISION G



THE SEAL AND SIGNATURE OF THE UNDERSIGNED ON THIS DRAWING CERTIFIES THAT THE DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REFLECTS THE ORIGINAL DESIGN AND THE MATERIAL CHANGES MADE DURING CONSTRUCTION THAT WERE BROUGHT TO THE UNDERSIGNED'S ATTENTION. THESE DRAWINGS ARE INTENDED TO INCORPORATE ADDENDA, CHANGE ORDERS AND OTHER MATERIAL DESIGN CHANGES BUT NOT NECESSARILY ALL SITE INSTRUCTIONS.

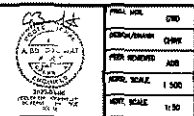
THE UNDERSIGNED DOES NOT WARRANT OR GUARANTEE, NOR ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE AS-CONSTRUCTED INFORMATION SUPPLIED BY OTHERS CONTAINED IN THESE DRAWINGS, BUT DOES, BY SEALING AND SIGNING, CERTIFY THAT THE AS-CONSTRUCTED INFORMATION IS ACCURATE AND COMPLETE, PROVIDES AN AS-CONSTRUCTED SYSTEM WHICH SUBSTANTIALLY COMPLETES IN ALL MATERIAL RESPECTS WITH THE ORIGINAL DESIGN INTENT.

THESE DRAWINGS HAVE BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY UNIVERSAL CONTRACTING



C:\Users\jwagner\OneDrive\Documents\Projects\C20-5728-A-P06.dwg - Plot - Profile.dwg 2023/07/06 10:28:33 AM PLOT

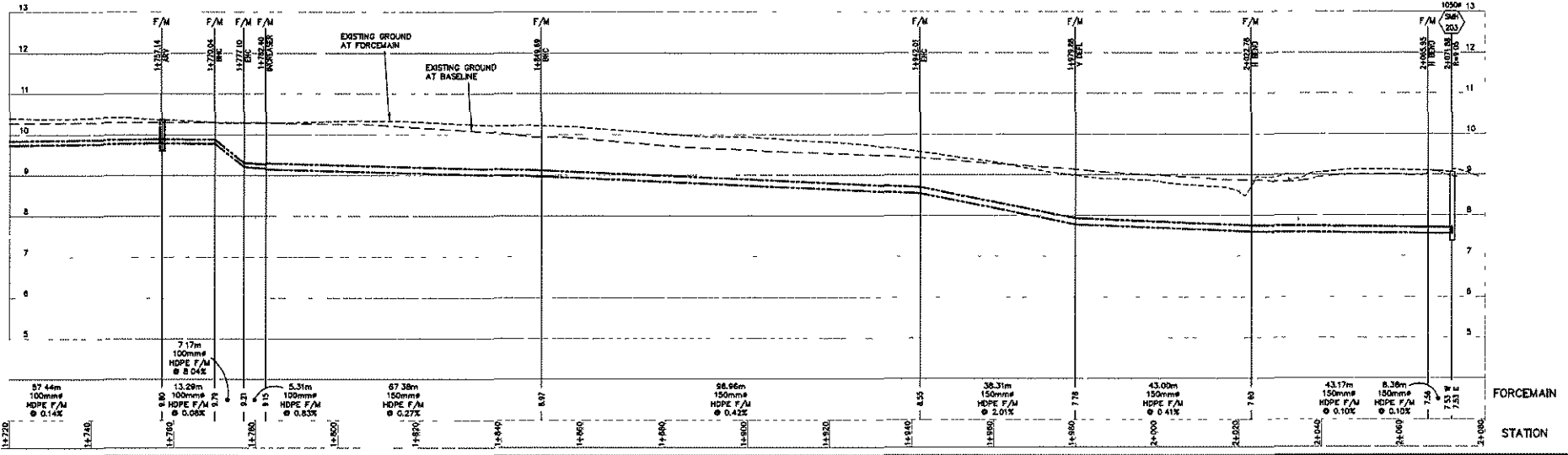
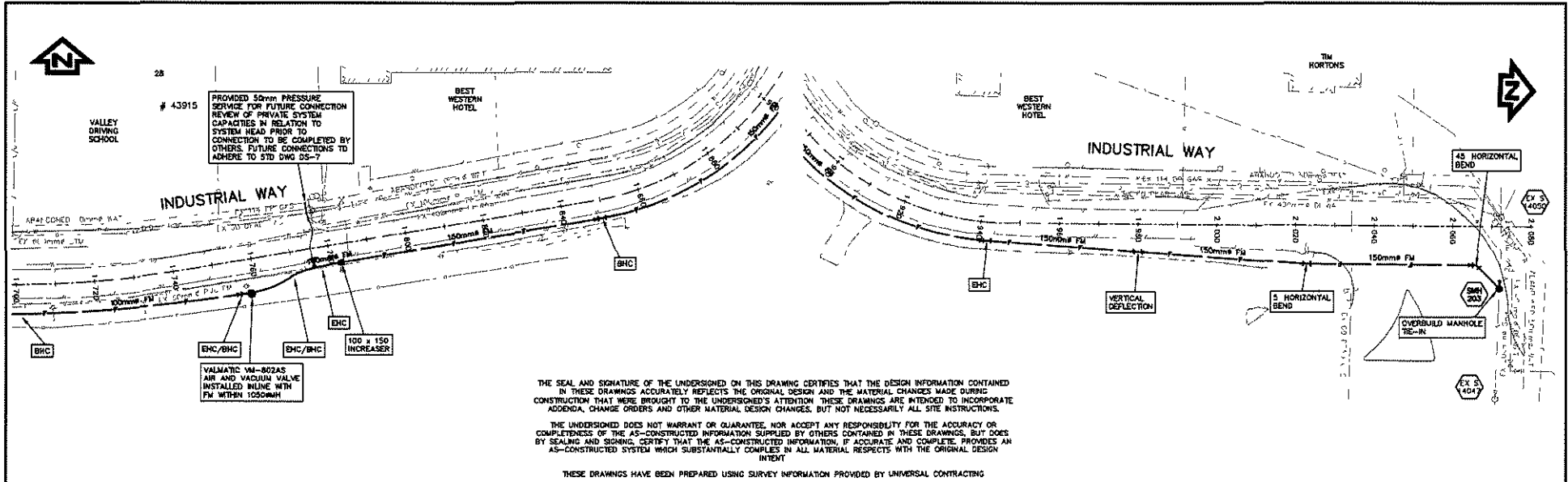
REVISION	NO.	DESCRIPTION	DATE	BY	CHKD.
A	1	ISSUED FOR PERM SUBMISSION	2020-09-18	DNV	H
B	2	REVISED FOR CITY COMMENTS	2020-09-14	DNV	
C	3	REVISED FOR CITY COMMENTS	2020-10-28	DNV	
D	4	REVISED FOR CONTRACT	2020-11-05	DNV	
E	5	PUMP STATION: BUILT FOR CONSTRUCTION	2021-03-04	DNV	
F	6	WATER SERVICE LOCATION: SIDEWALK BOUND FOR CONSTRUCTION	2021-04-28	DNV	
G	7	1/2\"/>			



THE WEDLER GROUP
 • Ashford 1.964.766.000
 • CHEBOYCAUQUET 1.964.766.001
 • Grand Haven 1.964.766.002
 • Spring Lake 1.964.766.003

JOOI COMPANY
 RITEMAY-PICK-A-PART
 INDUSTRIAL WAY, CHELSEA, MI
 INDUSTRIAL WAY - PLAN/PROFILE
 FORCEMAIN WORKS

DRAWING NO. C20-5728/A-P06
 SHEET NO. 1 OF 1
 LOCAL ROADWAY FILE
 DATE: 2023-07-06
 REVISION: H



<table border="1"> <tr><td>REVISION</td><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr> <tr><td>A</td><td>2020-05-18</td><td>ISSUED FOR PRELIMINARY</td><td>DNK</td></tr> <tr><td>B</td><td>2020-05-14</td><td>REVISED FOR CITY COMMENTS</td><td>DNK</td></tr> <tr><td>C</td><td>2020-10-28</td><td>REVISED FOR CITY COMMENTS</td><td>DNK</td></tr> <tr><td>D</td><td>2020-11-05</td><td>REVISED FOR CONTRACT</td><td>DNK</td></tr> <tr><td>E</td><td>2021-03-04</td><td>PUMP STATION BUILT FOR CONSTRUCTION</td><td>DNK</td></tr> <tr><td>F</td><td>2021-04-28</td><td>WATER SERVICE LOCATION INDICATED, BUILT FOR CONSTRUCTION</td><td>DNK</td></tr> <tr><td>G</td><td>2023-05-29</td><td>AS BUILT DRAWING</td><td>DNK</td></tr> <tr><td>H</td><td>2023-05-29</td><td>DESCRIPTION</td><td>DNK</td></tr> </table>	REVISION	DATE	DESCRIPTION	BY	A	2020-05-18	ISSUED FOR PRELIMINARY	DNK	B	2020-05-14	REVISED FOR CITY COMMENTS	DNK	C	2020-10-28	REVISED FOR CITY COMMENTS	DNK	D	2020-11-05	REVISED FOR CONTRACT	DNK	E	2021-03-04	PUMP STATION BUILT FOR CONSTRUCTION	DNK	F	2021-04-28	WATER SERVICE LOCATION INDICATED, BUILT FOR CONSTRUCTION	DNK	G	2023-05-29	AS BUILT DRAWING	DNK	H	2023-05-29	DESCRIPTION	DNK	<table border="1"> <tr><td>PROJ. NO.</td><td>020</td></tr> <tr><td>DESIGNER</td><td>DNK</td></tr> <tr><td>FIELD ENGINEER</td><td>ADJ</td></tr> <tr><td>CHECKED</td><td>ADJ</td></tr> <tr><td>SCALE</td><td>1:500</td></tr> <tr><td>DATE</td><td>2023-05-29</td></tr> </table>	PROJ. NO.	020	DESIGNER	DNK	FIELD ENGINEER	ADJ	CHECKED	ADJ	SCALE	1:500	DATE	2023-05-29	<p>WEDLER ENGINEERING www.wedler.com</p>	<table border="1"> <tr><td>THE WEDLER GROUP</td><td>JOOL COMPANY</td></tr> <tr><td>1800 WEST 10TH AVENUE</td><td>1800 WEST 10TH AVENUE</td></tr> <tr><td>VIC. 10TH AVENUE</td><td>VIC. 10TH AVENUE</td></tr> <tr><td>VANCOUVER, BC</td><td>VANCOUVER, BC</td></tr> <tr><td>TEL: 604-273-1111</td><td>TEL: 604-273-1111</td></tr> <tr><td>FAX: 604-273-1112</td><td>FAX: 604-273-1112</td></tr> </table>	THE WEDLER GROUP	JOOL COMPANY	1800 WEST 10TH AVENUE	1800 WEST 10TH AVENUE	VIC. 10TH AVENUE	VIC. 10TH AVENUE	VANCOUVER, BC	VANCOUVER, BC	TEL: 604-273-1111	TEL: 604-273-1111	FAX: 604-273-1112	FAX: 604-273-1112	<table border="1"> <tr><td>PROJECT NO.</td><td>C20-5728/A-P07</td></tr> <tr><td>CLIENT</td><td>INDUSTRIAL WAY, CHILLIWACK, BC</td></tr> <tr><td>LOCAL GOVERNMENT FILE</td><td></td></tr> <tr><td>DATE</td><td>2023-05-29</td></tr> <tr><td>REVISION</td><td>G</td></tr> </table>	PROJECT NO.	C20-5728/A-P07	CLIENT	INDUSTRIAL WAY, CHILLIWACK, BC	LOCAL GOVERNMENT FILE		DATE	2023-05-29	REVISION	G
REVISION	DATE	DESCRIPTION	BY																																																																							
A	2020-05-18	ISSUED FOR PRELIMINARY	DNK																																																																							
B	2020-05-14	REVISED FOR CITY COMMENTS	DNK																																																																							
C	2020-10-28	REVISED FOR CITY COMMENTS	DNK																																																																							
D	2020-11-05	REVISED FOR CONTRACT	DNK																																																																							
E	2021-03-04	PUMP STATION BUILT FOR CONSTRUCTION	DNK																																																																							
F	2021-04-28	WATER SERVICE LOCATION INDICATED, BUILT FOR CONSTRUCTION	DNK																																																																							
G	2023-05-29	AS BUILT DRAWING	DNK																																																																							
H	2023-05-29	DESCRIPTION	DNK																																																																							
PROJ. NO.	020																																																																									
DESIGNER	DNK																																																																									
FIELD ENGINEER	ADJ																																																																									
CHECKED	ADJ																																																																									
SCALE	1:500																																																																									
DATE	2023-05-29																																																																									
THE WEDLER GROUP	JOOL COMPANY																																																																									
1800 WEST 10TH AVENUE	1800 WEST 10TH AVENUE																																																																									
VIC. 10TH AVENUE	VIC. 10TH AVENUE																																																																									
VANCOUVER, BC	VANCOUVER, BC																																																																									
TEL: 604-273-1111	TEL: 604-273-1111																																																																									
FAX: 604-273-1112	FAX: 604-273-1112																																																																									
PROJECT NO.	C20-5728/A-P07																																																																									
CLIENT	INDUSTRIAL WAY, CHILLIWACK, BC																																																																									
LOCAL GOVERNMENT FILE																																																																										
DATE	2023-05-29																																																																									
REVISION	G																																																																									

Appendix C

FLOOD ASSURANCE STATEMENT

Note: This statement is to be read and completed in conjunction with the current Engineers and Geoscientists BC *Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC* ("the guidelines") and is to be provided for flood assessments for the purposes of the *Land Title Act*, Community Charter, or the *Local Government Act*. Defined terms are capitalized; see the Defined Terms section of the guidelines for definitions.

To: The Approving Authority

Date: May 30, 2024

City of Chilliwack

8550 Young Road, Chilliwack, BC V2P 8A4

Jurisdiction and address

With reference to (CHECK ONE):

- Land Title Act* (Section 86) – Subdivision Approval
- Local Government Act* (Part 14, Division 7) – Development Permit
- Community Charter (Section 56) – Building Permit
- Local Government Act* (Section 524) – Flood Plain Bylaw Variance
- Local Government Act* (Section 524) – Flood Plain Bylaw Exemption

For the following property ("the Property"):

LOT 27 DISTRICT LOT 72 GROUP 2 NEW WESTMINSTER DISTRICT PLAN 66063 EXCEPT PLAN EPP121612

Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a Qualified Professional and is a Professional Engineer or Professional Geoscientist who fulfils the education, training, and experience requirements as outlined in the guidelines.

I have signed, sealed, and dated, and thereby certified, the attached Flood Assessment Report on the Property in accordance with the guidelines. That report and this statement must be read in conjunction with each other. In preparing that Flood Assessment Report I have:

[CHECK TO THE LEFT OF APPLICABLE ITEMS]

- 1. Consulted with representatives of the following government organizations:
City of Chilliwack
- 2. Collected and reviewed appropriate background information
- 3. Reviewed the Proposed Development on the Property
- 4. Investigated the presence of Covenants on the Property, and reported any relevant information
- 5. Conducted field work on and, if required, beyond the Property
- 6. Reported on the results of the field work on and, if required, beyond the Property
- 7. Considered any changed conditions on and, if required, beyond the Property
- 8. For a Flood Hazard analysis I have:
 - 8.1 Reviewed and characterized, if appropriate, Flood Hazard that may affect the Property
 - 8.2 Estimated the Flood Hazard on the Property
 - 8.3 Considered (if appropriate) the effects of climate change and land use change
 - 8.4 Relied on a previous Flood Hazard Assessment (FHA) by others
 - 8.5 Identified any potential hazards that are not addressed by the Flood Assessment Report
- 9. For a Flood Risk analysis I have:
 - 9.1 Estimated the Flood Risk on the Property
 - 9.2 Identified existing and anticipated future Elements at Risk on and, if required, beyond the Property
 - 9.3 Estimated the Consequences to those Elements at Risk

PROFESSIONAL PRACTICE GUIDELINES
LEGISLATED FLOOD ASSESSMENTS IN A CHANGING CLIMATE IN BC

FLOOD ASSURANCE STATEMENT

- 10 In order to mitigate the estimated Flood Hazard for the Property, the following approach is taken:
- 10.1 A standard-based approach
 - 10.2 A Risk-based approach
 - 10.3 The approach outlined in the guidelines, Appendix F Flood Assessment Considerations for Development Approvals
 - 10.4 No mitigation is required because the completed flood assessment determined that the site is not subject to a Flood Hazard
- 11 Where the Approving Authority has adopted a specific level of Flood Hazard or Flood Risk tolerance, I have
- 11.1 Made a finding on the level of Flood Hazard or Flood Risk on the Property
 - 11.2 Compared the level of Flood Hazard or Flood Risk tolerance adopted by the Approving Authority with my findings
 - 11.3 Made recommendations to reduce the Flood Hazard or Flood Risk on the Property
- 12 Where the Approving Authority has not adopted a level of Flood Hazard or Flood Risk tolerance, I have
- 12.1 Described the method of Flood Hazard analysis or Flood Risk analysis used
 - 12.2 Referred to an appropriate and identified provincial or national guideline for level of Flood Hazard or Flood Risk
 - 12.3 Made a finding on the level of Flood Hazard or Flood Risk tolerance on the Property
 - 12.4 Compared the guidelines with the findings of my flood assessment
 - 12.5 Made recommendations to reduce the Flood Hazard or Flood Risk
- 13 Considered the potential for transfer of Flood Risk and the potential impacts to adjacent properties
- 14 Reported on the requirements for implementation of the mitigation recommendations, including the need for subsequent professional certifications and future inspections

Based on my comparison between

[CHECK ONE]

- The findings from the flood assessment and the adopted level of Flood Hazard or Flood Risk tolerance (item 11.2 above)
- The findings from the flood assessment and the appropriate and identified provincial or national guideline for level of Flood Hazard or Flood Risk tolerance (item 12.4 above)

I hereby give my assurance that, based on the conditions contained in the attached Flood Assessment Report

[CHECK ONE]

- For subdivision approval, as required by the *Land Title Act* (Section 86), "that the land may be used safely for the use intended"
[CHECK ONE]
 - With one or more recommended registered Covenants
 - Without any registered Covenant
- For a development permit, as required by the *Local Government Act* (Part 14, Division 7), my Flood Assessment Report will "assist the local government in determining what conditions or requirements it will impose under subsection (2) of this section [Section 491 (4)]"
- For a building permit, as required by the *Community Charter* (Section 56), "the land may be used safely for the use intended"
[CHECK ONE]
 - With one or more recommended registered Covenants
 - Without any registered Covenant
- For flood plain bylaw variance, as required by the *Flood Hazard Area Land Use Management Guidelines* and the *Amendment Section 3.5 and 3.6* associated with the *Local Government Act* (Section 524), "the development may occur safely".
- For flood plain bylaw exemption, as required by the *Local Government Act* (Section 524), "the land may be used safely for the use intended"

FLOOD ASSURANCE STATEMENT

I certify that I am a Qualified Professional as defined below.

June 11, 2024

Date

Partner & Project Manager

Prepared by

André Boissonnault, P.Eng.

Name (print)



Signature

Senior Partner & Project Manager

Reviewed by

Kelly Kerr, P.Eng.

Name (print)



Signature

301-44561 Skylark Road

Address

Chilliwack, BC V2P 6J6

604-792-0651

Telephone

aboissonnault@wedler.com

Email



(Affix PROFESSIONAL SEAL here)

If the Qualified Professional is a member of a firm, complete the following:

I am a member of the firm _____

Wedler Engineering LLP

and I sign this letter on behalf of the firm.

(Name of firm)

AGENDA ITEM NO: 7.15

MEETING DATE: June 18, 2024

STAFF REPORT – COVER SHEET

SUBJECT: 10665 Young Road DATE: June 11, 2024
Floodplain Site Specific Exemption

DEPARTMENT: Development & Regulatory Enforcement PREPARED BY: Laura Redpath
Services (DARES)

1. SUMMARY OF ISSUE:

Jake and Dena Burns have requested a site-specific exemption from *Floodplain Regulation Bylaw 2018, No. 4519*, for subject property 10665 Young Road, to permit the building of a single-family dwelling in a flood plain hazard zone, outside the protection of the dike system on the city's northern border with the Fraser River. A report has been prepared by a Qualified Professional, which reviews the flood hazards/risks, outlines mitigation measures, and includes a Flood Assurance Statement that "the land may be used safely for the use intended".


2. RECOMMENDATION:

That Council grant a site-specific exemption under the Floodplain Regulation Bylaw for the proposed single-family dwelling at 10665 Young Road subject to the conditions specified in the Staff Report dated June 11, 2024.


Glen White, Director of DARES

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.


David Blain
Chief Administrative Officer

**STAFF REPORT ON
FLOODPLAIN SITE SPECIFIC EXEMPTION**

PREPARED BY:	<u>Laura Redpath</u>	DATE:	<u>June 11, 2024</u>
POSITION:	<u>Senior Development Specialist</u>	DEPARTMENT:	<u>Development & Regulatory Enforcement Services</u>

1. BACKGROUND:

- 1.1 The *Floodplain Regulation Bylaw 2018, No. 4519* sets minimum Flood Construction Levels (FCLs) for buildings to reduce the risk of flood damage and protect public safety. These construction levels are calculated using the Provincial Guidelines which means the Flood Hazard Area Land Use Management Guidelines, Ministry of Water, Land and Air Protection, dated May 2004 (updated August 17, 2011), in relation to flood control, flood hazard management and development of land that is subject to flooding in the Province of British Columbia, and Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC commissioned by the Ministry of Forests, Lands and Natural Resource Operations, dated June 2012, as amended from time to time. For properties in the Fraser River floodplain protected by the dike system, the FCLs are based on estimated water elevations associated with the 1894 flood of record plus provide an additional 0.6m of freeboard.
- 1.2 The *Floodplain Regulation Bylaw 2018, No. 4519* includes general exemptions for residential uses:
- “The area below the FCL as applied to a residential or Institutional Use may be used for entrance foyer, utility room, workshop or indoor Recreation Uses provided that:*
- (1) the floor level of all of these areas is at least 0.30 m above the crown of the nearest road where water may pond; and,*
 - (2) the owner enters into a Covenant absolving the City of Chilliwack of any liability with respect to the flooding of the property or flood damage to land, structures and contents thereof.”*
- 1.3 The Bylaw allows Council to consider site specific exemptions where a property owner requests a variance to the elevations and/or setbacks stipulated in the Bylaw. Jake and Dena Burns have requested a variance to allow the siting of a single-family dwelling outside the protection of the dike system

2. FACTORS:

- 2.1 To support the site-specific exemption application, a Qualified Professional (QP) (Professional Engineer) from Fraser Valley Engineering Ltd. (FVEL) has prepared a report that lays out why the exemption is being sought, reviews the flood hazards and risks for the property, and outlines mitigation measures to reduce the flood risk. A copy of the report is attached.

3. FRASER VALLEY ENGINEERING LTD RECOMMENDATIONS:

- 3.1 It is the opinion of FVEL to adopt the end-of-century FCL at 14.2m.
- 3.2 The site is at an average elevation of 11.3m, which means that the habitable floor elevation is 2.9m above the existing grade. FVEL proposes that underground basement floors should be ruled out, and that the ground floor be made as garage and spaces for non-perishable items without sensitive electro-mechanical equipment.
- 3.3 In order to raise the building to satisfy the FCL of 14.2m, the ground floor level shall be 1.0m (12.42m) above existing grade (11.42m) while the next upper level, the habitable level, shall be at or above the FCL.
- 3.4 The building shall have cast-in-place concrete walls at least up to the FCL and footings buried into the existing ground at least 0.60m.
- 3.5 Erecting the dwelling atop a raised building pad and securing the footings at least 0.60m below shall be the minimum requirement with the aim to satisfy Section 23(f) of the *Floodplain Regulation Bylaw 2018, No. 4519* which states in part that "...the property can be safely used for the intended use and that protection from a 1:200-year flood, or from the 1894 flood on the Fraser River can be achieved through an engineered design without reliance on a Standard Dike".
- 3.6 The report speaks to the Owner of the property registering a Section 219 covenant under the Land Title Act, absolving the City of Chilliwack of any liability with respect to the flooding of the property, or flood damage to the land, structure, and contents thereof.
- 3.7 The QP has provided a signed Flood Assurance Statement in accordance with Engineers & Geoscientists BC's (EGBC's) Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC, stating that "the land may be used safely for the use intended"
- 3.8 If the site-specific exemption is approved by Council, it will be subject to the following conditions:
 - That the property owner provides a letter to the City acknowledging the flood hazard and risk identified in the QP report, and committing to implement the mitigation measures recommended by the QP;
 - That the property owner enters into a covenant under Section 219 of the Land Title Act, absolving the City of Chilliwack of any liability with respect to the flooding of the property or flood damage to land, structures, and contents thereof. A copy of the QP report would form part of the covenant.

4. RECOMMENDATION AND SUBSTANTIATION:**Recommendation.**

That Council grant a site-specific exemption under the Floodplain Regulation Bylaw for the proposed residential use at 10665 Young Road, subject to the conditions specified in the Staff Report dated June 11, 2024.

Substantiation:

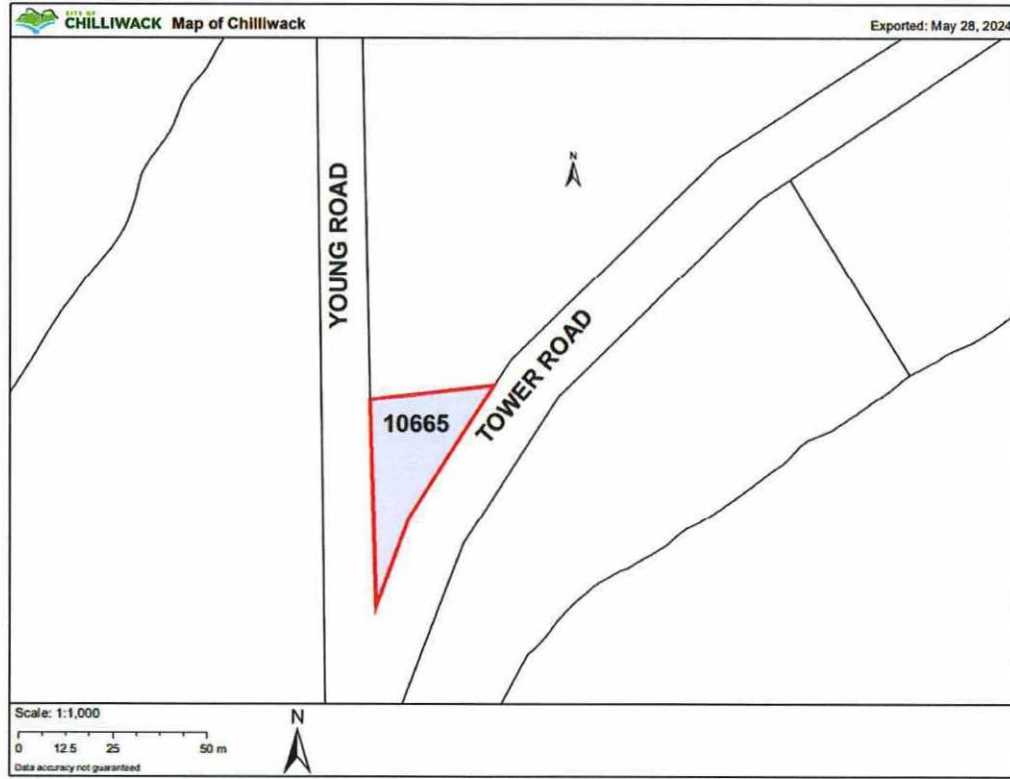
The site-specific exemption would allow for a single-family dwelling to be sited outside the protection of the Dike system, based on the Geotechnical Hazard Assessment Report by FVEL which uses the following methodology:

1. Desktop studies to review past geotechnical reports in the immediate vicinity;
2. Assessment of the site geomorphology as it relates to the perceivable and jurisdiction-identified hazards;
3. Evaluation of the underlying soils to determine the parameters for use in the designed proposed development.

5. ATTACHMENTS:

- Location Map & Orthophoto
- Technical Report “Geotechnical Hazard Assessment Report – Proposed Development 10665 Young Road, Chilliwack, British Columbia” April 19, 2024
- Schedule ‘B’ Quality Assurance Statement

Location Map



Orthophoto





Fraser Valley Engineering Ltd.

101 – 33465 Maclure Road

Abbotsford, B.C. V2S 0C4

Phone: (604) 850-0364

Fax: (604) 557-0390

Email: info@fvel.com

Permit to Practice # 1002225

April 19, 2024

FVEL Project No.: 22-0453

Rev 2

Geotechnical Hazard Assessment Report
Proposed Development
10665 Young Road, Chilliwack, BC

Submitted to:

Can West Claims Inc

209 2180 Gladwin Road

Abbotsford, BC V2S 0H4

Phone: (604) 425-1024

Email: kal@canwestclaims.bc.ca

TABLE OF CONTENTS

1	INTRODUCTION	3
2	PROJECT DESCRIPTION	3
3	BACKGROUND INFORMATION	3
4	METHODOLOGY	4
5	PROPERTY OVERVIEW	4
6	GEOTECHNICAL INVESTIGATION	4
7	LAND TITLE SEARCH	5
8	SITE DESCRIPTION	5
	8.1 SURFICIAL GEOLOGY OF THE AREA	5
	8.2 SUBSURFACE SOIL AND GROUNDWATER CONDITIONS	5
	8.3 SEISMICITY	6
9	GEOHAZARD ASSESSMENT	7
	9.1 GENERAL.....	7
	9.2 INUNDATION AND AVULSION DUE TO FLOODWATERS	7
	9.3 AVULSION, DEBRIS FLOW AND FLOODING.....	12
10	DISCUSSION AND RECOMMENDATION	13
	10.1 PROPOSED DEVELOPMENT DESIGN CONCEPTS.....	13
	10.2 FLOOD CONSTRUCTION LEVEL	14
	10.3 FOUNDATION DESIGN.....	14
	10.4 LATERAL EARTH PRESSURE	14
	10.5 COVENANT	15
11	LIMITATION	15
12	CLOSURE	15

1 INTRODUCTION

Fraser Valley Engineering Ltd (FVEL) has completed this Geotechnical Report for the site at 10665 Young Road in Chilliwack, BC, for CanWest Claims the Client on behalf of the property owners Dena Lister and Jake Burns. The purposes of this assessment report are 1) to characterize the subsurface soil and groundwater conditions, 2) to identify potential geohazards to the property, and 3) to provide recommendations to mitigate the risks arising from the hazards.

According to Chilliwack's online GIS, WebMap, the property is in a flood plain hazard zone, outside the protection of the dike system on the city's northern border with Fraser River.

FVEL understands that a residential building existed on the property which was gutted completely by fire sometime last year. This report is prepared to support the owner's desire to rebuild on his property and to provide technical justifications to make possible the Client intended purpose.

This report has been prepared in accordance with standard geotechnical engineering principles and practices for similar developments in this region as well as in accordance with the following Standards, Codes and Guidelines:

- Professional Practice Guidelines: Legislated Flood Assessments in a Changing Climate in BC (v 2.1, 2018)
- British Columbia Building Code 2018, and
- FVRD Hazard Acceptability Thresholds for Development Approvals (October 2020)

This report does not address any environmental issues related to development of the project site.

This is the first and final revision, after collating comments from the City and project team participants.

2 PROJECT DESCRIPTION

The property is currently empty except for traces of the old asphalt pavement. The previous dwelling which was razed by fire last year had an underground storey - the floor elevation being about 1.8m below what is now the driveway asphalt pavement or the current ground elevation. The eastern property line abuts Tower Road upon which the East Dike aligns along the unprotected area on the City's northwest section close to the Fraser River.

The owner intends to rebuild on this property a single-family dwelling satisfying the current building bylaws and recent recommendations in the light of extreme weather events that are expected to occur more frequently.

3 BACKGROUND INFORMATION

The following documents were reviewed as bases for the recommendations contained in this report:

- The Geological Survey of Canada map 41-1989 titled "Geology Hope British Columbia"
- 2040 Official Community Plan - Chilliwack
- Floodplain Regulation Bylaw No. 4519
- Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC

- *Flood Hazard Area Land Use Management Guidelines* by the Ministry of Water, Land and Air Protection, Province of British Columbia (May 2004)
- *Sedimentation and Flood Hazard in the Gravel Reach of Fraser River* by UBC for the District of Chilliwack (1999)
- *Historical Changes to Minto Channel during the 20th Century* – UBC for the District of Chilliwack (1998)
- *Simulating the Effects of Sea Level Rise and Climate Change on Fraser River Flood Scenarios – Final Report* (May 2014)
- *Fraser River Design Flood Level Update – Hope to Mission (Final Report – BC MFLNRO March 2014)*
- *Fraser River Flood Response Plan – City of Chilliwack* (April 2022)
- *Flood Hazard Assessment to Support the Application for a Site-Specific Exemption at 10895 and 10937 Tower Road, Chilliwack, BC (revised)* by Stirling Geoscience Ltd (April 8, 2020)
- *10895 and 10937 Tower Road Flood Hazard Assessment – Review of Site-Specific Exemption Application – Draft Report* by Northwest Hydraulics Consultants Ltd (June 2, 2020) – Peer Review Report

The last two documents were given more focus as they are the more recent reports dealing with nearby properties having the same siting conditions.

4 METHODOLOGY

The scope of this report includes: 1) desktop studies to review past geotechnical reports of the immediate vicinity, 2) assessment of the site geomorphology as it relates to the perceivable and jurisdiction-identified hazards, and 3) evaluation of the underlying soils to determine the parameters for use in the design proposed development,

5 PROPERTY OVERVIEW

The property is situated on the northern fringe of Chilliwack, in the Minto Landing area which is by the southern bank of Fraser River. It is triangular in shape and comprises an area of 784.6 m² according to Chilliwack WebMap. The longest side of the lot runs adjacent to Tower Road that doubles as a dike that traverses part of Young Road and connects to Ballam Road which flanks the southern bank of Fraser River.

The property's legal information according to WebMap:

- Civic Address – 10665 Young Road, Chilliwack, BC V2P 8C4
- PID – 011-901-616
- Parcel "4" (Reference Plan 15281) Lot "D" District Lot 422 Group 2 New Westminster District Plan 675

The property is zoned as RS-FHA (Flood Hazard Area), as a wide swath of area west of Tower Road. It is classified as Agricultural according to the City Official Community Plan and with an Agricultural Reserve area. It is on the floodplain – Unprotected, i.e., outside the dike protection zone.

6 GEOTECHNICAL INVESTIGATION

A representative of FVEL conducted a geotechnical investigation on March 21, 2023, and assess the site and its immediate vicinity for features of geotechnical significance. The investigation involves excavating three test pits around the area most likely to locate the proposed building, or around the previous house footprint.

The property is flat as is generally the case with Fairfield Island on which the site is located on its northwest shore by the Fraser River. The area west of the East Dike (Tower Road) between Minto Channel and the dike has an elevation range between 12.3m geodetic on the Rempel Bros Concrete (north end of Tower Road), to 10.8m near the intersection of Young and Cartmell Roads. The site itself has an average elevation of 11.3m.

Tower Road, upon which the East Dike, which is a standard dike, aligns on, has a crown elevation of 13.1m at points near the subject site, which means East Dike is elevated 1.8m higher than the existing property grounds.

Two properties north of the study lot are the subject of site-specific exemption (SSE) related to the respective owners' plan to further develop their properties by erecting single-family dwelling on each of the lots. Note that these properties lie west of the East Dike and therefore outside of its protection from floods. The area from Rempel Bros southward to the site is marked by relative flatness and lacking structures that could impede overland flows such as embankments and retaining walls.

7 LAND TITLE SEARCH

A search with the Land Title and Survey Authority did not yield title restrictions or covenants that have geotechnical significance.

8 SITE DESCRIPTION

8.1 SURFICIAL GEOLOGY OF THE AREA

According to the Geological Survey of Canada map 1487A titled "Surficial Geology of Chilliwack" the Fairfield neighborhood lies on top of Fraser River Sediments that consist of "Channel and floodplain sediments overlain in much of the area by overbank sediments:

Fh – channel and overbank deposits, sandy loam, loamy sand and minor silt loam and silt."

This soil type is consistent over the entire Fairfield Island.

8.2 SUBSURFACE SOIL AND GROUNDWATER CONDITIONS

During the site visit on March 21, two (2) test pits were excavated using a client-supplied excavator at locations shown in Appendix A. The investigation revealed a mix of slightly cohesive sand-silt layer below the thin topsoil layer. No seepage was noted within the explored depths which were 1.8m below the surface. Both test pits exhibited similar soil makeup and are consistent with the published surficial geology data described in the previous section. There was no sign of groundwater presence in the test pits but due to the nature of soil, groundwater table could be expected at depths coinciding with the river's normal water surface, estimated to be around 4m below existing grade.

Table 1: Test Pits Stratigraphy

Depth (m)	Description
0 to 1.2	Surface layer – gravelly sand, some silt
1.2 to 1.8	Silty sand with clay, slightly cohesive, stiff

Geotechnically the composition of the substrate plus the absence of groundwater could be considered competent foundation material. Caution is however noted that groundwater is usually seasonal and may be present at the foundation level during springtime, where snowmelt produces groundwater flows and come up as springs as some reviewed reports have noted in a few properties in the vicinity.

8.3 SEISMICITY

The Site Classification for the property is estimated to be 'E' – *Soft Soil*, according to the 2018 B.C. Building Code. As interpolated from the 2015 National Building Code Seismic Hazard Calculation for the coordinates 49.196° N, 121.952° W, the Peak Ground Acceleration (PGA) of a seismic event occurring with a 2% in 50-year probability of exceedance can be taken as 0.230g (g is the acceleration due to gravity). A detailed summary of the spectral acceleration response values is provided in Appendix B of this report. Site coefficients Fa and Fv could be taken from the 2018 BC Building Code Division B Part 4.

FVEL believes that soil beneath the site on account of the expected low groundwater table and soil composition of silty sand-gravel is not prone to liquefaction or other forms of ground softening under the design earthquake with the return period of 1:2,475 years as recommended by BCBC 2018. Figure 1 shows an excerpt of Geological Hazard Map (Map 5) taken from Chilliwack 2040 Official Community Plan shows the site as not within the zone of high potential for liquefaction, as indicated below. The area with red stripes represents the area believed to be prone to liquefaction due to the high degree of soil saturation near the surface (low-lying) and the soil composition of fine-grained alluvium. The site is within the green zone of no apparent hazard or low earthquake-related hazard.

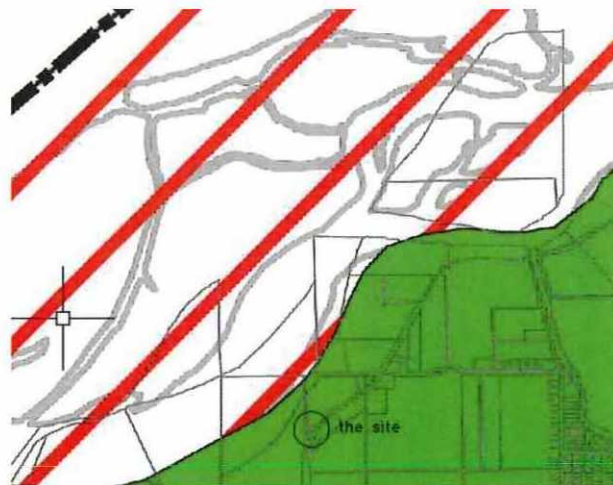


Figure 1 – Excerpt from OCP Map 5 showing Geological Hazard Areas

9 GEOHAZARD ASSESSMENT

9.1 GENERAL

In evaluating a site for susceptibility to risk from geotechnical hazards, most jurisdictions in the province rely on the document *Hazard Acceptability Threshold for Development Approvals by Local Governments*(1993) by Dr. Peter W. Cave. The paper lists several geotechnical hazards that the approving authority or the Qualified Professional must account for and rate each one according to the probability of exceedance of occurring and affecting a site. In it, Cave (1993) listed several types of geotechnical hazard a site may be exposed to: (1) Inundation by Flood Waters, (2) Mountain Stream Erosion and Avulsion, (3) Debris Flows and Debris Torrents, (4) Debris Floods, (5) Landslides, Small-scale, Localized, (6) Snow Avalanche, (7) Rock Fall, (8) Landslides, Massive and Catastrophic. Not included in the list but nevertheless included as a hazard if (9) Liquefaction.

The site's geomorphology, being at low elevation and adjacent to Fraser River, should qualify for only flood-related hazards such as Inundation, Avulsion, and Debris Flows/Floods. The rest of the listed hazards are not applicable as they relate to slopes, which the site is not on or proximate to any elevated land feature.

9.2 INUNDATION AND AVULSION DUE TO FLOODWATERS

FVEL studied aerial historical photographs from 1949 to the present and noted fluctuating changes to the morphology of Minto Channel as shown in Figure 2 below:

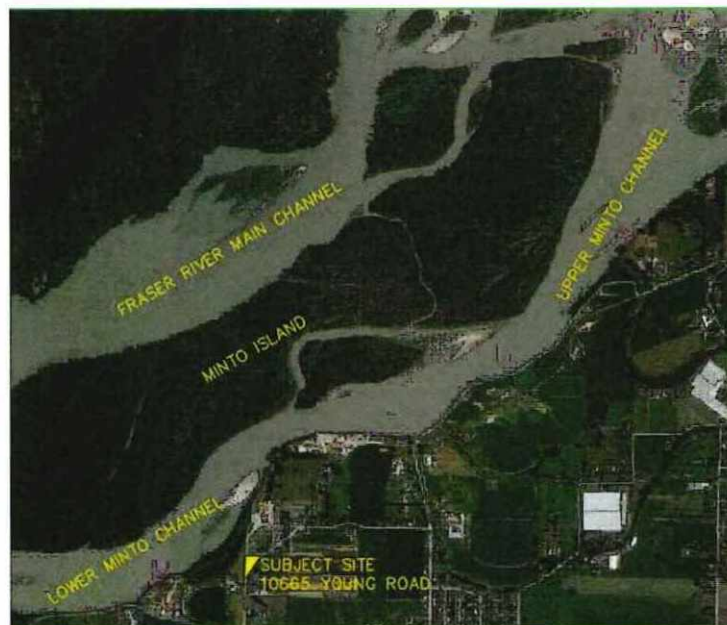


Figure 2: Minto Island and Channel

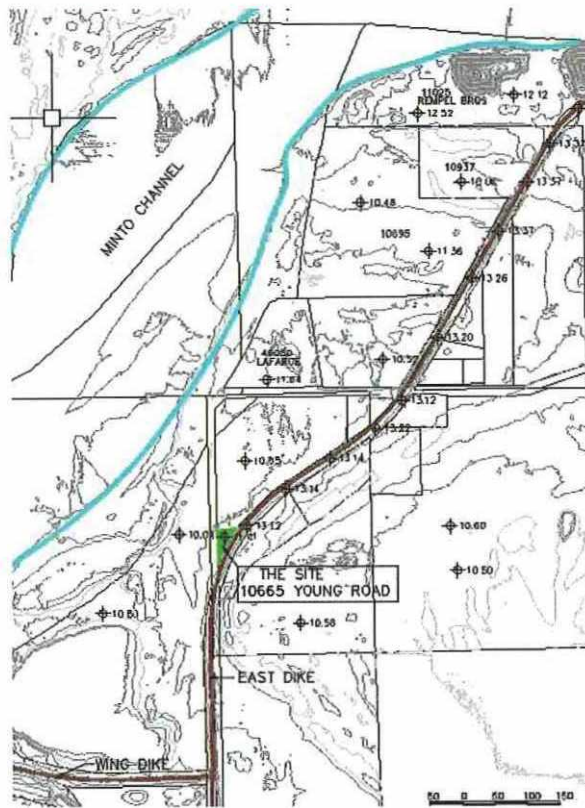


Figure 3 Vicinity Topography

Figure 3 shows the topography of the site's vicinity indicating a few spot elevations along the properties west of the East Dike from 11025 Tower Road, the site of the Rempel Bros concrete plant, the two adjacent properties 10937 and 10805 Tower Road, which were subject of site-specific exemption studies by Stirling Geoscience and peer-reviewed by Northwest Hydraulics and southward to the subject site. Contours and spot elevations were taken from Digital Elevation Model provided by LidarBC.

Due to the site's proximity to the Fraser River, flooding hazard becomes the paramount concern. FVEL studied a series of historical aerial photographs from 1949 to 2016 and the present (from Google Earth and orthophotos provided by Chilliwack's WebMap GIS suite). Notable were several morphologic changes to the Minto Channel and the sandbar formations between Minto Island and Minto Landing. The series of photographs in Figure 4 underscores the precarity of the areas outside the protection of the East Dike from flood hazards. The triangular area is the subject lot.



(a)



(b)



(c)



(d)

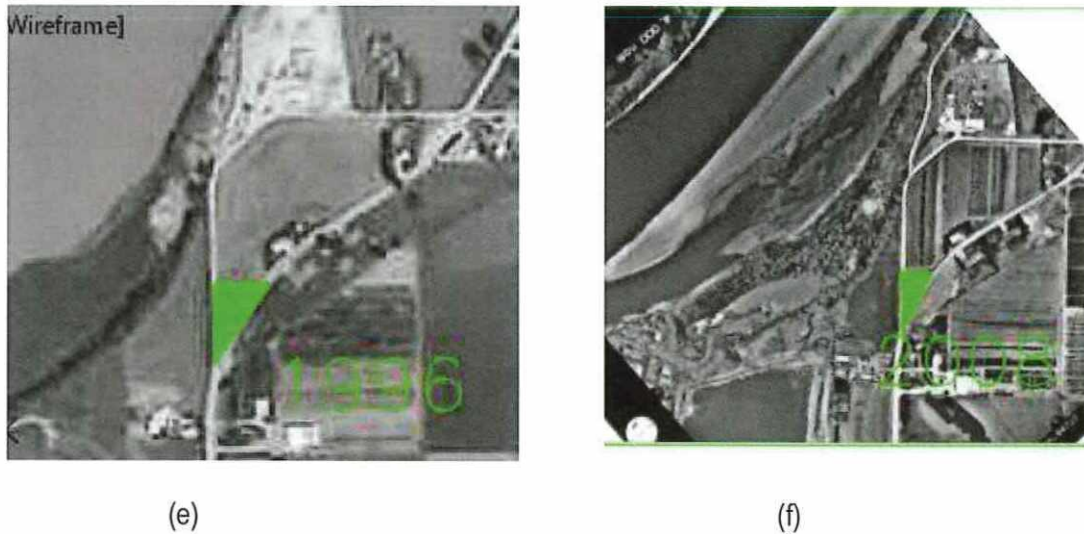


Figure 4 (a) to (f) shows changes to the Minto Channel as well as the erosion and deposition along the banks of Minto Landing through the decades.

Notable among the photos is Figure 4 (d) from 1974 where the sandbars were conspicuously absent. This must have been following a major flooding event that occurred on June 17, 1972, and June 21, 1974, where peak flows were recorded at 14,400 m³/s and 13,100 m³/s, respectively at the Mission gauge.

Major flooding events along the Fraser River have occurred and did not only result in altered riverbank forms but caused widespread destruction. The 1894 flood is considered the worst flood in recorded history. It was estimated to have unleashed a flow of 17,000 m³/s. The next biggest event occurred in 1948, where the flow was estimated to be 15,600 m³/s (The Weather Network). The resulting event was described as:

“The flood of 1948, which affected many parts of BC, began in the Fraser Valley on May 24. The first dike broke in Agassiz... Dikes broke in different locations, inundating multiple communities, including residential areas of Chilliwack, Nicomen Island, Barnston Island, Langley, Surrey, Maple Ridge, Pitt Meadows, Coquitlam Port Moody and Burnaby. Flood waters severed the two trans-continental railway lines, inundated the Trans-Canada Highway”. – description taken from The Weather Network.

The severity of the 1894 flood, which by comparison to the 1948 flood, produced worse destruction, is considered by experts to be equivalent to a 1:500-year flood. Flood models and determination of flood construction baselines are usually based on this singular flood event. A case in point is the Flood Construction Level (FCL) contour lines from Map 7 (Floodplain) for the same OCP describes the FCL lines based on the expected level of flooding using the 1894 flood level as baseline. It should be noted that determination of the safe flood proofing levels for a particular development shall be undertaken by a Qualified Professional (QP). See portion of map below in Figure 5.

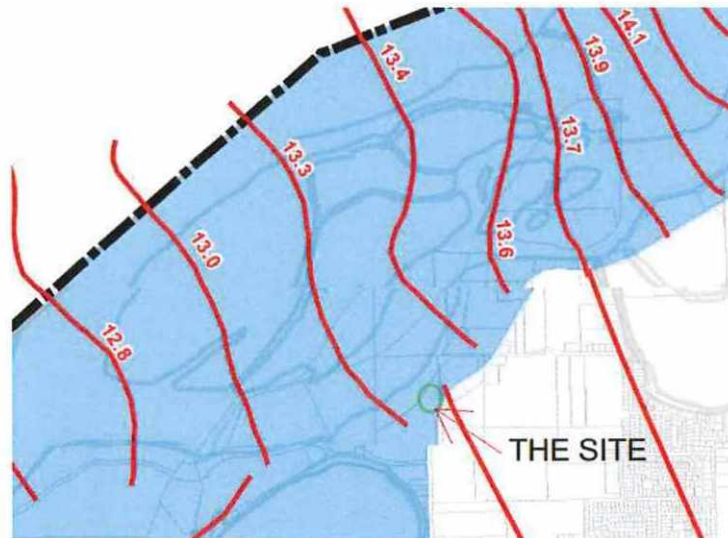


Figure 5 – FCL defined for the site. Green circle is the subject property.

According to Figure 5, the site (in green circle) should have an FCL of around 13.3m.

A water level gauge, in service from 1933 to 1950, located at Lat49°11'56"N, Long 121°57'05"W, plotted to be located near what is now Lafarge site, was able to capture the water level during the 1948 flooding event, the second worst flooding in recorded history. Historical data shows that on May 31, 1948, the gauge registered 6.974m, using an assumed datum. To convert to GSC 1928 Datum, 4.502m should be added, making the actual flood depth to be 11.476m. At this elevation, the site should have been flooded by about 15cm deep.

An information worth noting was given to us by an old resident of the area, during the site visit, who related a story about his father during the 1948 flood. He claimed that at the height of the flood, horses from nearby areas were sheltered at the site, which was the highest point in the vicinity. This information gives credence to the flooding scenario as derived from the gauge data.

RECENT STUDIES

Two reports, prepared in relation to the site-specific exemption for properties at 10895 and 10937 Tower Road, were provided by the City as reference in the preparation of this report.

Stirling Geoscience Ltd in its report *Flood Hazard Assessment to Support the Application for a Site-Specific Exemption at 10895 and 10937 Tower Road, Chilliwack, BC* dated April 8, 2020, came up with its geotechnical assessment and with recommendation to allow development in the two properties. Northwest Hydraulics Consultants (NHC), which was tapped by the City to prepare a peer-review of Stirling's report per its report 10895 and 10937 Tower Road Flood Hazard Assessment: Review of Site-specific Exemption Draft Report dated June 2, 2020.

In summary, the Sterling report presented the following assessments:

- Erosion of banks in the event that the Minto channel would become the main river channel.

Bank armor has been in place since the 1970s and has been stable since. It is very unlikely that a single event would shear off a large chunk of the bank and expose the properties to threatening risks. More probable is that there is still plenty of lead time for monitoring and remedial action even in the wake of an extreme event were to occur.

- The report recommended an FCL of 13.6m or 0.40m higher than an adjacent point of Tower Road.
- Structural treatment to designing the proposed dwelling to abide by this FCL recommendation was put forward, including raising the building pad to the FCL elevation and two other options.
- Provision of flood and scour protection within each property and other site works addressing to mitigate the flooding possibilities.

NHC review report could be summarized thus:

- Flood models simulating an event with the same magnitude as the 1894 flood would have the area west of the dike (including the subject site being inundated).
- Debris flood could ensue because of higher flow velocities uprooting vegetation and debris along its path.
- Morphological changes to the riverbanks and Minto channels over the decades were discussed. Future geomorphologies were predicted in the face of Climate Change.
- Flood construction level for upstream Property line of 10937 Tower Road, based on 2D Models is at 14.2m (end-of-century conditions)

FVEL, using MFLNRO's report titled *Simulating the Effects of Sea Level Rise and Climate Change on Fraser River Flood Scenarios – Final Report* (May 2014), references chainage 114731, from Fraser Mike 11 Model Cross Sections – Part 6/8 (Figure 18), as the section nearest the subject site. Cross-referencing to Table 15 with the chainage 114731, we find that with Freshet Scenario, moderate (with Climate Change and Sea Level Rise of 1.0m), the Water Level (maximum) was predicted to be at 13.23m. This level is still lower than NHC's end-of-century 2D-modelled elevation of 14.2m.

NHC modelled scenarios show that for a flow of 17,000 m³/s, similar to the 1894 design flood, the area west of Tower Road will be inundated to varying depths and exposed to flow velocities estimated to be around 4 m/s and about 1 m/s around the subject property. At such scenario, Minto Landing banks would erode, and woody debris flow would occur.

9.3 AVULSION, DEBRIS FLOW AND FLOODING

The last section described the possibility of vegetation and woody debris being carried away by a flood scenario similar to that of the 1894 flood. As bank erosion would also be likely, there is a small probability avulsion would occur. Historical photos dating back decades indicate sand bars forming and dissolving around Minto Island as a result of lesser flooding events. However, it is very unlikely that erosion and avulsion effects would extend far inland into the subject property as to create permanent scarring of the terrain – all caused by a single extreme event.

10 DISCUSSION AND RECOMMENDATION

10.1 PROPOSED DEVELOPMENT DESIGN CONCEPTS

Among the studies and recommendations for the Flood Construction Level applicable, it is the opinion of FVEL to adopt NHC end-of-century FCL at 14.2m.

Since the site, being at an average of 11.3m, means that the habitable floor elevation is upwards 2.9m from the existing grade. FVEL proposes that underground basement floors should be ruled out, and that the ground floor be made as garage and spaces for non-perishable items without sensitive electro-mechanical equipment. This would allow for access (driveway) ramp to have acceptable grade (at 6%) toward the building. See Figure 6 below.

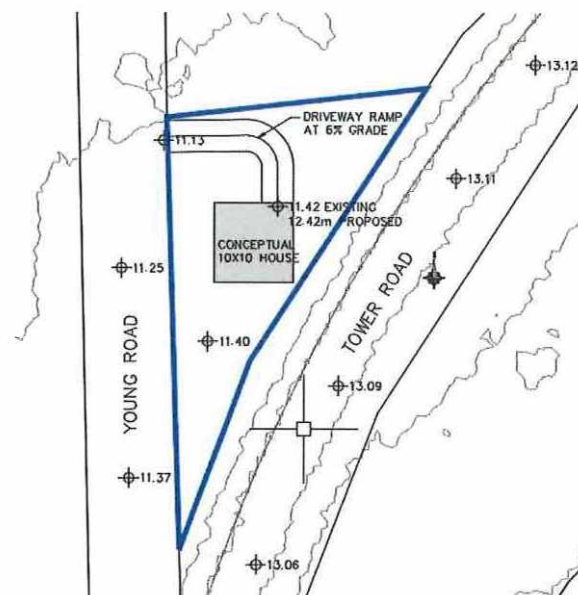


Figure 6 – Conceptual Site Plan

Figure 6 above shows a conceptual site layout for a 10m x 10m house. As envisioned, in order to raise the building to satisfy the FCL of 14.2m, the ground floor level shall be 1.0m above existing grade (11.42m) while the next upper level, the habitable level, shall be at or above the FCL. (Note spot elevations indicated, based on derived data from LidarBC). The requirement to have the ground floor at 1.0m above existing grade is optional - the building design may opt for a lower ground floor elevation in order to achieve acceptable site gradients. It is still possible to design for a three-level, given a 10m maximum building height restriction for this site zoned as RS-FHA. The building shall have cast-in-place concrete walls at least up to the FCL and footings buried into the existing ground at least 0.60m.

The access ramp sides slopes shall be armored with at least 15cm-sized blast rock for scour protection. The 1.0m thick building pad shall be built-up using structural fill materials. All other site components like rock pit and septic shall be designed normally. Structural foundation and building frame shall consider hydrodynamic forces and buoyant forces from flood waters.

10.2 FLOOD CONSTRUCTION LEVEL

In light of the foregoing discussions, FVEL recommends the adoption of NHC's end-of-century Flood Construction Level of 14.2m. Erosion and collapse of banks along Minto Channel nearest the property is possible with a flood event similar to the 1894 flood. Erecting the dwelling atop a raised building pad and securing the footings at least 0.60m below shall be the minimum requirement with the aim to satisfy Section 23(f) of the Floodplain Regulation Bylaw 2018, No. 4519 which states in part that "...the property can be safely used for the intended use and that protection from a 1:200-year flood, or from the 1894 flood on the Fraser River can be achieved through an engineered design without reliance on a Standard Dike".

FVEL believes that with a sound building design, the site can safely be used for its intended purpose.

10.3 FOUNDATION DESIGN

The dense sand and gravel substrate material is competent to support the footing and floor loads associated with a structure on shallow foundations. Further verification of bearing capacity by the Geotechnical Engineer is required when excavation has started, and subgrade has been exposed. The Ultimate, Factored Ultimate Limit State (ULS) design and Serviceability Limit State (SLS) design bearing capacity values are shown in *Table 1*. FVEL determined the ULS design bearing capacity by applying a geotechnical resistance factor of 0.5 to the unfactored ultimate bearing capacity, as recommended in the *Canadian Foundation Engineering Manual 4th Edition* (Canadian Geotechnical Society, 2006).

Table 1: Bearing Capacity Design Values

Limit Type	Allowable Bearing Capacity	
	kPa	psf
Ultimate Bearing Capacity (Factored)	200	4177
Serviceability Limit State (SLS)	100	2088

Footings should be designed for equal contact pressure of nearly equal sizes to minimize potential total settlement. Predicted total and differential settlement is estimated to be less than 25 mm total while differential settlement is estimated to be less than 19 mm. Adjacent footings placed at different elevations should be constructed no closer than or be stepped at no more than a line projected at 2H:1V (Horizontal:Vertical) from the lower footing. Footings should be placed at least 450 mm below the finished ground surface for frost protection.

10.4 LATERAL EARTH PRESSURE

Lateral earth pressures for building foundation walls and earth retaining walls are dependent on several factors, including backfill material, surcharge loads, backfill slope, drainage, the rigidity of the wall, and the method of construction, including sequence and degree of compaction.

The following earth pressure coefficients may be used for designing walls bearing against earth (typical backfill material having a unit weight of 18.5 kN/m³):

$$K_0=0.47, \quad K_a = 0.31, \quad K_p = 3.25, \quad K_{ae} = 0.213$$

The above noted values are for a level ground behind the wall, no groundwater, and no surcharge pressure within a 45° projection from the bottom of the wall. If a surcharge pressure is located within a 45° projection from the bottom of the wall, the surcharge pressure should be incorporated in the calculation of earth pressures.

The recommended earth pressures account for the use of small compaction equipment only behind the wall. Large vibratory roller compactors should not be used adjacent to the wall to compact fill.

10.5 COVENANT

FVEL, after having recommended measures to mitigate against potential for flooding, proposes that a waiver be registered in the form of "save harmless" covenant.

11 LIMITATION

This Geotechnical Hazard Assessment Report intended as a Site-specific Exemption Report is based on the field geotechnical reconnaissance and investigations, review of background information available at the time of our study, and our knowledge of the proposed project site. We have prepared this report in substantial accordance with generally accepted geotechnical engineering practice standards. No warranty is expressed or implied. This report may be used only by the Client and the City of Chilliwack only for the purposes stated, within a reasonable time from its issuance.

12 CLOSURE

We trust that this report provides you with the information required for the succeeding steps in the permitting process. FVEL expects further coordinative discussions with the parties concerned in order for the objectives to be realized.

Yours truly,

Fraser Valley Engineering Ltd.

Prepared by:

Reviewed by:



DIGITALLY SIGNED 2024-04-20

Enrico de Castro, P.Eng.
Geotechnical Engineer

Hamid T. Bana, M.Eng, P.Eng
Partner – Geotechnical Engineer

Appendix A – Seismic Hazard Calculation

2015 National Building Code Seismic Hazard Calculation

INFORMATION: Eastern Canada English (613) 995-5548 français (613) 995-0600 Facsimile (613) 992-8836
Western Canada English (250) 363-6500 Facsimile (250) 363-6565

Site: 49.196N 121.952W

User File Reference: 10665 Young Road, Chilliwack, BC

2023-04-14 02:03 UT

Requested by: Fraser Valley Engineering Ltd

Probability of exceedance per annum	0.000404	0.001	0.0021	0.01
Probability of exceedance in 50 years	2 %	5 %	10 %	40 %
Sa (0.05)	0.273	0.185	0.132	0.058
Sa (0.1)	0.410	0.278	0.199	0.088
Sa (0.2)	0.513	0.356	0.259	0.117
Sa (0.3)	0.493	0.348	0.256	0.117
Sa (0.5)	0.429	0.301	0.218	0.097
Sa (1.0)	0.267	0.182	0.127	0.053
Sa (2.0)	0.170	0.111	0.076	0.030
Sa (5.0)	0.061	0.035	0.021	0.007
Sa (10.0)	0.021	0.012	0.008	0.003
PGA (g)	0.230	0.158	0.113	0.049
PGV (m/s)	0.335	0.223	0.152	0.059

Notes: Spectral ($S_a(T)$, where T is the period in seconds) and peak ground acceleration (PGA) values are given in units of g (9.81 m/s^2). Peak ground velocity is given in m/s . Values are for "firm ground" (NBCC2015 Site Class C, average shear wave velocity 450 m/s). NBCC2015 and CSAS6-14 values are highlighted in yellow. Three additional periods are provided - their use is discussed in the NBCC2015 Commentary. Only 2 significant figures are to be used. **These values have been interpolated from a 10-km-spaced grid of points. Depending on the gradient of the nearby points, values at this location calculated directly from the hazard program may vary. More than 95 percent of interpolated values are within 2 percent of the directly calculated values.**

References

National Building Code of Canada 2015 NRCC no. 56190; Appendix C: Table C-3, Seismic Design Data for Selected Locations in Canada

Structural Commentaries (User's Guide - NBC 2015: Part 4 of Division B)
Commentary J: Design for Seismic Effects

Geological Survey of Canada Open File 7893 Fifth Generation Seismic Hazard Model for Canada: Grid values of mean hazard to be used with the 2015 National Building Code of Canada

See the websites www.EarthquakesCanada.ca and www.nationalcodes.ca for more information

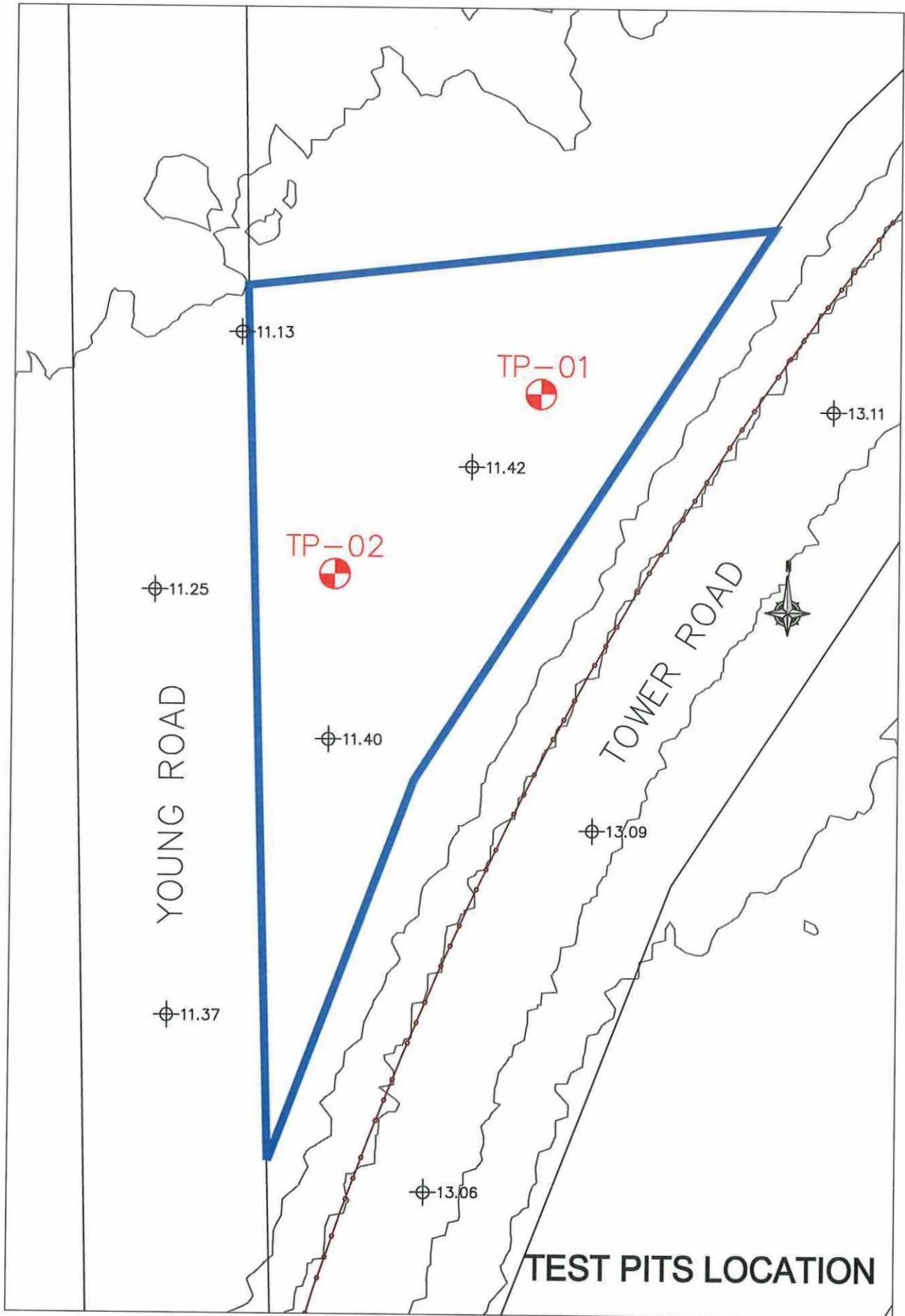


Natural Resources
Canada

Ressources naturelles
Canada

Canada

Appendix B – Test Pits Location



SCHEDULE "B"

DEFINITIONS¹

GUIDELINES FOR SITE SPECIFIC APPLICATION BY A QUALIFIED PROFESSIONAL

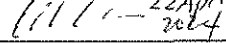
1. Quality Assurance Statement

I hereby certify

I am a Professional Engineer or Professional Geoscientist, with experience in geotechnical engineering, geohazard assessment and river hydrology,

I am licensed in the Province of British Columbia; and,

I am qualified to carry out the following flood hazard assessment and that I have performed an evaluation of the area of the proposed development in accordance with the 'Flood Hazard Area Land Use Management Guidelines' of the Province of British Columbia and the 'Professional Practice Guidelines – Legislated Flood Assessments in a Changing Climate in BC' adopted by EGBC.

Name ENRICO DE CASTRO Signature  22 Apr 2024

2. General Requirements

- (1) Legal Description of the property
- (2) General Location map of the property
- (3) Detailed map of the property showing property boundaries, safe areas for development, watercourses, topography and physical features
- (4) Statement of conformance to "Floodplain Regulation Bylaw 2018, No. 4519", in force from time to time, and Provincial Guidelines
- (5) Review of all relevant Covenants registered on title (copies of Covenants, if relevant, should be attached to the report.)
- (6) Review of all relevant previous reports and flood hazard maps affecting the site and surrounding area.
- (7) Review of current and historical air photos
- (8) Description of site visits and observations.
- (9) Review of historical flood information including stream flow data, climate data and local observations

¹ Definitions from 2012 APLGBC Guidelines, 2004 Provincial Guidelines and City of Chilliwack 'Floodplain Regulation Bylaw 2018 No. 4519'

2. General Requirements (continued)

- (10) Assessment of the nature, extent, magnitude, frequency and potential effect of all flood or Debris Flow hazards that may affect the property.
- (11) Description of the scientific methodology(s) and assumptions used to undertake the assessment in sufficient detail to facilitate a professional review.
- (12) The location of all proposed building sites and specified setback distances from the Natural Boundary of watercourses. (Maps must be delineated with sufficient accuracy and detail to allow the preparation of a legal reference plan for attachment to a Covenant).
- (13) Recommendations to ensure safe use of a site. (These should be clearly stated with sufficient detail and clarity to facilitate inclusion in a Covenant).
- (14) Description of proposed mitigation works and/or actions designed to mitigate the hazard with confirmation that the Provincial Guidelines have been considered.
- (15) Where mitigation works and/or actions area proposed, an assessment of the effects that the proposed works and/or actions may have on other properties including public infrastructure.
- (16) Where mitigative works and/or actions designed to reduce hazards are contemplated, prior to completion the report and expending time and money on the detailed design, the proponent should confirm that the works and/or actions proposed will be accepted by the City of Chilliwack and that they would meet Provincial regulatory requirements and will be approved by the Inspector of Dikes.

SPECIAL CASES

3. Watercourses

- (1) Where Floodplain maps are used to recommend FCLs, document which map was used.
- (2) Where an existing FCL shown on a Floodplain map is deemed inappropriate, or where a new FCL is recommended, provide details of the calculation and confirmation that the Guidelines were considered in the process.
- (3) For property adjacent to or within a meandering and/or braided river Floodplain, use air photos, maps and other information to describe and assess relevant ongoing river processes that may pose a hazard to the property.
- (4) When recommending the use of minimum setback and elevation guidelines for smaller streams, provide a map of the stream watershed area to determine drainage area.

5. Alluvial Fans

- (1) Provide a suitably scaled topographic map depicting watershed area, fan boundaries, existing and abandoned channels, hydraulic structures, existing and proposed mitigation works, potential avulsion and overland flow paths for the 1 in 200 year flood event, features on the fan that would serve to give direction to and/or impede overland and/or channel avulsion flow paths and the property boundaries.
- (2) Provide channel cross-sections, stream profiles, and depths of flow and flow velocities used in the analysis.
- (3) Provide an assessment of the sensitivity of the watershed area, with respect to hydrology and sediment and debris loading.
- (4) Provide an assessment of the long-term channel bed load and debris maintenance requirements in relation to any recommended flood hazard mitigation measures.
- (5) Where existing channel capacity and topographic features on the fan are identified as features contributing to the safe use of the property, provide an assessment of the effects of any future changes to the channel or fan topography.
- (6) Provide plan, cross-sections and design specification for proposed building foundation treatments and to the site specific measures.

6. Area Subject to Debris Flows

- (1) Provide a suitably scaled topographic map and/or air photographic base map depicting watershed area, all existing and potential Debris Flow start, transport and run out zones, hydraulic structures, existing and proposed mitigation works, features on the Debris Flow transport path and/or run out area which could serve to give direction and/or impede Debris Flows, existing depositional features, cohorts, soil test pit locations, carbon dating and dendrochronology sample sites, and property boundaries.
- (2) Provide a statement of return periods considered in the hazard assessment and design of proposed mitigation works.
- (3) Provide a centerline profile from Debris Flow start zones to toe of run out zones.
- (4) Provide plans, cross-sections and design specifications for proposed mitigation works, event volume, depth and velocity of flow and impact forces used in the design of mitigation works.
- (5) Provide an assessment of the sensitivity of watershed area with respect to hydrology and sediment and debris loading.
- (6) Where existing channel capacity and topographic features on the fan are identified as features contributing to the safe use of the property, provide an assessment of the effects of any future changes to the channel or fan topography.