#### CITY OF CHILLIWACK

### Regular Meeting of Council

Wednesday, July 2, 2025, 2:00 pm

8550 Young Road, Chilliwack, BC V2P 8A4

#### 1. Call to Order

The City of Chilliwack acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

#### 2. Delegations/Hearings

#### 3. Adoption of Minutes

#### Recommendation

That the Minutes of the Regular Meeting of Council held June 17, 2025, be adopted as circulated.

#### 4. Business Arising

#### 5. Consent Agenda

#### Recommendation

That the following bylaws be adopted:

- "Zoning Bylaw Amendment Bylaw 2025, No. 5469";
- "Zoning Bylaw Amendment Bylaw 2025, No. 5479";
- "Highway and Traffic Bylaw Amendment Bylaw 2025, No. 5484";
- "Bylaw Notice Enforcement Bylaw Amendment Bylaw 2025, No. 5485"; and,
- "Municipal Ticket Information Bylaw Amendment Bylaw 2025, No. 5486".

#### 6. Quarterly Reports

#### 7. Departmental Reports

#### 7.1 Engineering - BC Transit - Chilliwack Fare Review

#### Recommendation

That Council approve the amended transit fare increase as detailed in Table 1 of the staff report dated June 24, 2025, effective October 1, 2025.

#### 7.2 Engineering - Corporate and Community Climate Action Plans Update

#### Recommendation

That Council receive the update regarding implementation of the "Corporate and Community Climate Action Plans" as contained within the staff report dated June 26, 2025, for information. (Presentation)

#### 7.3 Recreation and Culture - Demolition 7485 Panorama Drive - RFQ Proponent Selection

#### Recommendation

That Council accept the submission for the "Demolition 7485 Panorama Drive" Project from the preferred proponent Matcon Demolition Ltd., in the amount of \$87,696.00; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

#### 7.4 Recreation and Culture - Cultural Tourism Event Funding - Tourism Chilliwack

#### Recommendation

That Council approve the request from Tourism Chilliwack for funding under the Public Art Program, in the amount of \$5,000.00, for culturally significant events over a five-year period starting July 21, 2025; and further, that staff direct the Recipient to complete all reporting requirements as set out in the staff report dated June 25, 2025.

#### 7.5 Recreation and Culture - Chilliwack Pride Festival - 2025

#### Recommendation

That Council approve the request from the Chilliwack Pride Society for funding under the Community Development Initiatives Funding Policy in the amount of \$5,000.00, for the "Chilliwack Pride Festival 2025" based on submitted receipts and reporting requirements set out in said policy.

#### 7.6 Finance - Supply and Delivery of Municipal Castings

#### Recommendation

That Council accept the submission for the "Supply and Delivery of Municipal Castings" from Westview Sales Ltd., in the amount of \$178,028.48 for a one-year term, with the option to extend the contract for up to four additional one-year terms.

#### 7.7 Planning - ALR00437 - 43275 Lumsden Road

#### Recommendation

That application ALR00437 for a 'Non-Adhering Residential Use' within the Agricultural Land Reserve, with respect to property located at 43275 Lumsden Road, be forwarded to the Agricultural Land Commission with support. (Presentation)

#### 7.8 Public Safety and Social Development - Miscellaneous Rates Bylaw Amendment

#### Recommendation

That "Miscellaneous Rates Bylaw Amendment Bylaw 2025, No. 5496" be given first and second reading.

#### Recommendation

That "Miscellaneous Rates Bylaw Amendment Bylaw 2025, No. 5496" be given third reading.

- 8. Mayor and Councillors' Reports
- 9. Motion to Adjourn to a Closed Session Regular Meeting to Reconvene at 4:00 pm
- 10. Meeting Reconvened

The City of Chilliwack acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

- 11. Delegations/Hearings
  - 11.1 Delegations
  - 11.2 Section 57 Hearing / Section 74 Hearing / Unsightly Premises Hearing
  - 11.3 Public Hearing
    - 11.3.1 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487" and "Zoning Bylaw Amendment Bylaw 2025, No. 5488"

(Text Amendments)

11.3.2 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5489"

(Text Amendments)

11.3.3 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490" and "Zoning Bylaw Amendment Bylaw 2025, No. 5491"

(9392 Young Road)

11.3.4 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494" and "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495"

(a portion of 7715 Nixon Road)

11.3.5 Temporary Use Permit TUP00261

(4535 and 4540 Simmons Road)

#### 11.4 Public Information Meeting

#### 11.4.1 Development Variance Permit DVP01493

(44361 and 44387 Simpson Road)

#### 11.4.2 Development Variance Permit DVP01518

(4268 Stewart Road)

#### 11.4.3 Development Variance Permit DVP01522

(10125 McGrath Road)

#### 12. Clerk's Reports

12.1 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487" and "Zoning Bylaw Amendment Bylaw 2025, No. 5488"

#### Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given third reading.

#### Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be adopted.

#### Recommendation

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given third reading.

12.2 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5489"

#### Recommendation

That "Official Community Plan Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be given third reading.

#### Recommendation

That "Official Community Plan Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be adopted.

# 12.3 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490" and "Zoning Bylaw Amendment Bylaw 2025, No. 5491"

#### Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 - Mid-High Rise Apartment" to "Civic/Institutional", be given third reading.

#### Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 - Mid-High Rise Apartment" to "Civic/Institutional", be adopted.

#### Recommendation

"Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone, be given third reading.

#### Recommendation

"Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone, be adopted.

12.4 "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494" and "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495"

#### Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494", which proposes to add a portion of property located at 7715 Nixon Road to Development Cell 6 and, add a notation to the Cell 6 Subdivision Development Concepts map within the Eastern Hillsides Comprehensive Area Plan, be given third reading.

#### Recommendation

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495, which proposes to redesignate a portion of property located at 7715 Nixon Road from "Rural Hillside" to "Residential - Low Density" as per the Eastern Hillsides Comprehensive Area Plan, be given third reading.

### 13. Application Reports

#### 13.1 Temporary Use Permit TUP00261

#### Recommendation

That Council approve the issuance of Temporary Use Permit TUP00261 with respect to properties located at 4535 and 4540 Simmons Road, subject to the recommendations as stipulated within the draft Temporary Use Permit.

#### Development Variance Permit DVP01493 and DP001821

#### Recommendation

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01493 with respect to properties located at 44361 and 44387 Simpson Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

#### Recommendation

That Council approve the issuance of Development Permit DP001821 with respect to properties located at 44361 and 44387 Simpson Road, subject to the conditions as stipulated within the draft Development Permit.

#### 13.3 Development Variance Permit DVP01518

#### Recommendation

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01518 with respect to property located at 4268 Stewart Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

#### 13.4 Development Variance Permit DVP01522

#### Recommendation

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01522 with respect to property located at 10125 McGrath Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

#### 14. Items Deferred

#### 15. Other Business

- 15.1 Decisions Referred from Closed Session
- 15.2 Additional Items

#### 16. Adjournment

		AGENDA ITEM NO:	3.				
MEETING		MEETING DATE:	July 2, 2025				
STAFF REPORT - COVER SHEET							
SUBJECT:	Adoption of Minutes	Date:	June 26, 2025				
DEPARTMENT:	Clerk's	Prepared by:	Jacqueline Morgan				

#### 1. SUMMARY OF ISSUE:

Minutes of the Regular Meeting of Council held June 17, 2025, for adoption.

#### 2. RECOMMENDATION:

That the Minutes of the Regular Meeting of Council held June 17, 2025, be adopted as circulated.

Jacqueline Morgan, CMC
Manager of Legislative Services/

**Corporate Officer** 

#### **Regular Meeting Minutes**

June 17, 2025, 2:00 pm 8550 Young Road Chilliwack, BC V2P 8A4

Present: All members of Council. Councillor Lum attended electronically.

Staff Present: D. Blain, Chief Administrative Officer

- J. Morgan, Manager of Legislative Services/Corporate Officer
- J. Hahn, Deputy Chief Administrative Officer/Director of Human Resources
- G. Savard, Director of Finance
- A. Brown, Fire Chief
- K. Stanton, Director of Public Safety and Social Development
- G. White, Director of Development and Regulatory Enforcement Services
- D. Lindhout, Director of Recreation and Culture
- J. Koczkur, Director of Public Works and Parks
- G. Schipper, Deputy Director of Development and Regulatory Enforcement Services
- K. Jefford, Director of Engineering
- C. Carruthers, Director of Information Technology
- C. Marleau, Manager of Recreation Services and Corporate Wellness
- R. Koole, Manager of Long Range Planning
- E. Leary, Manager of Development Planning
- R. Goertzen, Manager of Building and Inspections
- D. Mossey, Manager of Transportation and Drainage
- C. Nwaoha, Manager of Utilities
- O. St. Jean, Assistant Manager of Land Development
- G. Palaniuk, Manager of IT Business Solutions
- J. Nesbitt, Fleet Operations Manager
- C. Wilkinson, Deputy Corporate Officer/Assistant Manager of Legislative Services
- D. Katru, Freedom of Information and Privacy Coordinator/Recording Secretary

#### Call to Order

The City of Chilliwack acknowledges that we are honoured to live, work and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

Mayor Popove was Chair and called the meeting to order at 2:00 pm.

#### **Delegations/Hearings**

#### **Delegation - Chilliwack Hospice Society**

Sue Knott, Executive Director, Chilliwack Hospice Society, was in attendance and provided Council with a presentation on the programs and services offered by the Chilliwack Hospice Society.

#### **Adoption of Minutes**

Moved / Westeringh

Seconded / Lum

That the Minutes of the Regular Meeting of Council held June 3, 2025 be adopted as circulated.

Carried unanimously

#### **Consent Agenda**

Moved / Westeringh

Seconded / Mercer

That the Minutes of the Chilliwack Parks and Trails Advisory Committee meeting held May 15, 2025, be received for information.

Carried unanimously

#### **Departmental Reports**

#### **Engineering - Highway and Traffic Bylaw Update**

The Manager of Transportation and Drainage provided Council with an overview of the proposed changes to the Highway and Traffic Bylaw.

Moved / Kloot

Seconded / Shields

That "Highway and Traffic Bylaw Amendment Bylaw 2025, No. 5484" be given first and second reading.

Carried unanimously

Moved / Read

Seconded / Westeringh

That "Highway and Traffic Bylaw Amendment Bylaw 2025, No. 5484" be given third reading.

#### Carried unanimously

Moved / Westeringh

Seconded / Read

That "Bylaw Notice Enforcement Bylaw Amendment Bylaw 2025, No 5485" be given first and second reading.

Carried unanimously

Moved / Shields

Seconded / Kloot

That "Bylaw Notice Enforcement Bylaw Amendment Bylaw 2025, No 5485" be given third reading.

Carried unanimously

Moved / Lum

Seconded / Westeringh

That "Municipal Ticket Information Bylaw Amendment Bylaw 2025, No. 5486" be given first and second reading.

Carried unanimously

Moved / Kloot

Seconded / Mercer

That "Municipal Ticket Information Bylaw Amendment Bylaw 2025, No. 5486" be given third reading.

Carried unanimously

Moved / Westeringh

Seconded / Shields

That Council approve Policy Directive No. H-01 - "Bylaw Compliance and Enforcement Policy", as amended.

#### Carried unanimously

#### **Engineering - Policy Directive No. G-37 Watercourse Daylighting**

Moved / Shields

Seconded / Lum

That Council adopt Policy Directive No. G-37 - "Watercourse Daylighting".

Carried unanimously

#### **Engineering - Transit 2025/2026**

Moved / Shields

**Seconded** / Westeringh

That Council approve the 2025/2026 Annual Operating Agreement for a one-year term, from April 1, 2025 to March 31, 2026 between the City of Chilliwack and British Columbia Transit for the provision of conventional and custom transit services; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

Against (1): Shields

Motion carried (6 to 1)

#### **Engineering - BC Transit - Chilliwack Fare Review**

Moved / Lum

Seconded / Read

That Council approve the proposed transit fare increase as detailed in Table 1 effective October 1, 2025, as contained within the staff report dated June 10, 2025.

Moved / Mercer

Seconded / Read

That Council refer the proposed transit fare increase back to staff for further review of senior and youth bus fares and the possibility of separating the two into different categories.

Referral motion carried unanimously

#### **Engineering - 2025 Asphalt Rehabilitation Contract Award**

Moved / Mercer

Seconded / Westeringh

That Council award the tender for the "2025 Asphalt Rehabilitation" to Grandview Blacktop Ltd., in the amount of \$2,245,087.85; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

Carried unanimously

#### **Engineering - Banford Bridge Replacement - Tender Award**

Moved / Kloot

Seconded / Westeringh

That Council award the tender for the "Banford Bridge Replacement" to West Shore Constructors Limited, in the amount of \$1,656,625.00; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

Carried unanimously

#### <u>Fire - Design Build Fire Training Structure</u>

Moved / Read Seconded / Lum

That Council accept the proposal for the "Fire Training Structure Design/Build Project" from Container West, in the amount of \$1,567,427.00; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

Carried unanimously

#### Finance - 2025 Development Cost Charge Amendment Bylaw

Moved / Kloot

**Seconded** / Shields

That "Development Cost Charge Bylaw Amendment Bylaw 2025, No. 5493" be given first and second reading.

Against (2): Read and Westeringh

Motion carried (5 to 2)

Moved / Mercer Seconded / Shields That "Development Cost Charge Bylaw Amendment Bylaw 2025, No. 5493" be given third reading.

Against (2): Read and Westeringh

Motion carried (5 to 2)

#### Finance - Schedule of Council Remuneration and Expenses

Moved / Westeringh

Seconded / Read

That Council receive the 2024 Schedule of Remuneration and Expenses for Elected Officials for information, as contained within the staff report dated June 10, 2025.

Carried unanimously

#### **Finance - Annual Municipal Report**

Moved / Read

Seconded / Mercer

That Council receive the 2024 Annual Municipal Report for information.

Carried unanimously

#### **Legislative Services - Chilliwack Economic Partners Corporation**

Moved / Read

Seconded / Lum

That Council hold an Annual General Meeting of Chilliwack Economic Partners Corporation; approve the resolution appended to the staff report dated June 9, 2025; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

Carried unanimously

#### **Legislative Services - Tourism Chilliwack Inc.**

Moved / Mercer

**Seconded** / Shields

That Council hold an Annual General Meeting of Tourism Chilliwack Inc.; approve the resolution appended to the staff report dated June 9, 2025; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

#### Carried unanimously

#### <u>Planning - Updated Form and Character Design Guidelines (OCP00047 and RZ001805)</u>

Moved / Kloot

Seconded / Westeringh

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

#### Carried unanimously

Moved / Mercer

Seconded / Westeringh

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

Carried unanimously

#### <u>Planning - Proposed Mountain View Heritage Conservation Area (OCP00048)</u>

Moved / Shields

Seconded / Lum

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

#### Carried unanimously

Moved / Shields

Seconded / Mercer

That Council approve Policy Directive No. G-15: "Heritage Designation", as amended.

Carried unanimously

#### Planning - RZ001795 - 9392 Young Road

#### Moved / Read

#### Seconded / Mercer

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 - Mid-High Rise Apartment" to "Civic/Institutional" as per the Downtown Land Use and Development Plan be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

#### Carried unanimously

#### Moved / Kloot

#### Seconded / Westeringh

That "Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

#### Carried unanimously

#### Planning - RZ001723 - 7715 Nixon Road

#### Moved / Kloot

#### Seconded / Read

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494", which proposes to add a portion of property located at 7715 Nixon Road to Development Cell 6 and add a notation to the Cell 6 Subdivision Development Concepts map within the Eastern Hillsides Comprehensive Area Plan, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

#### Carried unanimously

#### Moved / Westeringh

#### **Seconded** / Kloot

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495", which proposes to redesignate a portion of property located at 7715 Nixon Road from "Rural Hillside" to "Residential - Low Density" as per the Eastern Hillsides Comprehensive Area Plan, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

#### Carried unanimously

### **Mayor and Councillors' Reports**

The Mayor and Councillors' reports were received for information.

#### Motion to Adjourn to a Closed Session

Moved / Mercer Seconded / Read

That, in accordance with Section 90(2)(b) of the *Community Charter*, Council hold a Closed Meeting to discuss negotiations between the municipality and a provincial government or the federal government and a third party.

Carried unanimously

#### **Adjournment**

On a motion of Councillor Mercer, and seconded by Councillor Read, the meeting adjourned at 3:09 pm.

Mayor
Corporate Officer

		A ITEM NO:	5.		
	MEETIN	G DATE:	July 2, 2025		
STAFF REPORT - COVER SHEET					
SUBJECT: Consent Ager	nda I	Date:	June 26, 2025		
DEPARTMENT:Clerk	<u></u>	Prepared by:	Jacqueline Morgan		
SUMMARY OF ISSUE:  Consent Agenda items for Council's consideration.					
2. RECOMMENDATION:					

That the following bylaws be adopted:

Jacqueline Morgan, CMC
Manager of Legislative Services/
Corporate Officer

<sup>&</sup>quot;Zoning Bylaw Amendment Bylaw 2025, No. 5469";

<sup>&</sup>quot;Zoning Bylaw Amendment Bylaw 2025, No. 5479";

<sup>&</sup>quot;Highway and Traffic Bylaw Amendment Bylaw 2025, No. 5484";

<sup>&</sup>quot;Bylaw Notice Enforcement Bylaw Amendment Bylaw 2025, No. 5485"; and,

<sup>&</sup>quot;Municipal Ticket Information Bylaw Amendment Bylaw 2025, No. 5486".

#### Bylaw No. 5469

#### A bylaw to amend the "Zoning Bylaw 2020, No. 5000"

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The Council of the Cit	y of Chilliwack in o	pen meeting assembled	i chacts as follows.

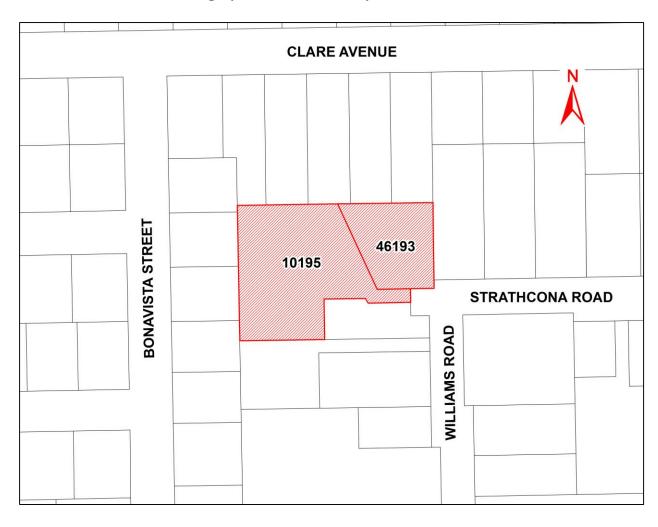
- 1. This bylaw may be cited as "Zoning Bylaw Amendment Bylaw 2025, No. 5469".
- 2. "Zoning Bylaw 2020, No. 5000" is hereby amended by rezoning properties described as:
  - PID: 010-061-185, Lot "B" District Lot 372 Group 2 New Westminster District Plan 15403 (46193 Strathcona Road)
  - 2. 004-967-062, Lot 182 District Lot 372 Group 2 New Westminster District Plan 51925 (10195 Williams Road)

from an R1-A (Urban Residential) Zone to an R3 (Small Lot Residential) Zone.

Received first and second reading on the  $22^{nd}$  day of April, 2025. Received third reading on the  $22^{nd}$  day of April, 2025. Received adoption on the

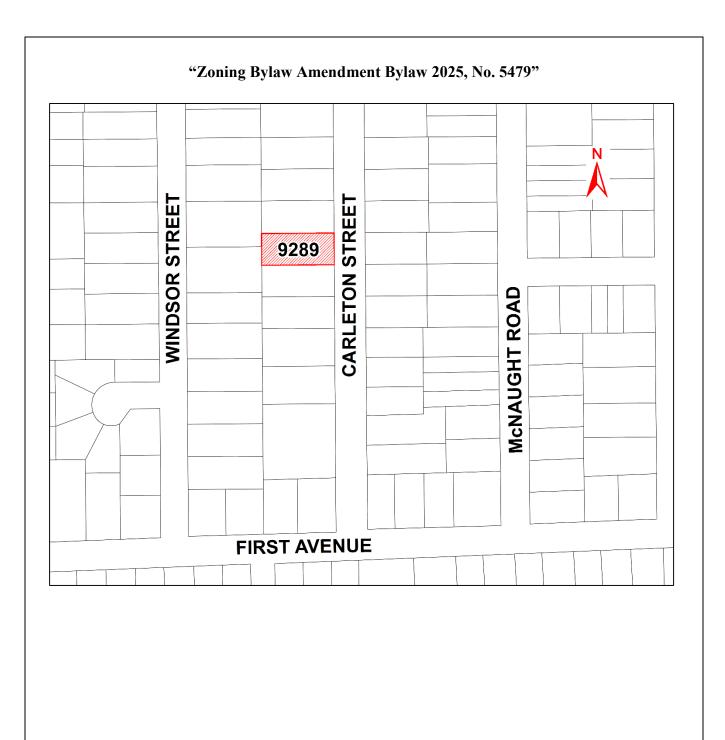
Mayor	
Corporate Officer	





# Bylaw No. 5479

	A D	ylaw to amend the "Zon	ing Bylaw 2020, No. 5000"	
The C	ouncil of the City	of Chilliwack in open me	eeting assembled enacts as follows:	
1.	This bylaw may	be cited as "Zoning Byla	w Amendment Bylaw 2025, No. 5	<b>479</b> ".
2.	PID: 010-138-00	05, Lot 1 District Lot 334	amended by rezoning property desorroup 2 New Westminster District I o an R1-C (Urban Infill) Zone.	
Receiv		nd reading on the 6 <sup>th</sup> day on the 6 <sup>th</sup> day on the 6 <sup>th</sup> day of May, 202		
				Mayor
			Corpora	nte Officer
NOTE	: This byla	aw refers to property locat	ed at 9289 Carleton Street.	



#### Bylaw No. 5484

#### A bylaw to amend "Highway and Traffic Bylaw 2019, No. 4686"

The Council of the City of Chilliwack in open meeting assembled, enacts as follows:

- 1. This bylaw may be cited as "Highway and Traffic Bylaw Amendment Bylaw 2025, No. 5484".
- 2. "Highway and Traffic Bylaw 2019, No. 4686" is hereby amended in Section 3 **INTERPRETATION**, by inserting two new definitions, as follows, in alphabetical order:
  - "Electric Vehicle" is a motor vehicle powered entirely or partially by electricity from a battery that requires external recharging; and,
  - "Recreational Vehicle" (RV) means any Vehicle that is designed, equipped, constructed, or is being used for the purposes of temporary or permanent dwelling;".
- 3. Said Bylaw is hereby further amended by deleting Sections 17 and 18 **CONVEYANCES** in their entirety, and re-numbering the existing Sections accordingly.
- 4. Said Bylaw is hereby further amended in Section 19 **OBSTRUCTIONS**, by deleting the words "and within a 25m radius from the Intersection of the centrelines of the Highway", after the words "a Highway" and before the words "if the".
- 5. Said Bylaw is hereby further amended in Section 20 MAINTAIN BOULEVARD AND SIDEWALK, by inserting the words ", Multi-Use Path," after the words "Boulevard, Sidewalk" and before the words "or public".
- 6. Said Bylaw is hereby further amended in Section 20 **MAINTAIN BOULEVARD AND SIDEWALK**, by deleting Subsection (1) in its entirety, and substituting with a new Subsection (1), as follows:
  - "(1) remove snow and ice from the Sidewalk, public footpath, or Multi-Use Path as soon as practicable following a snowfall, icefall or frost within a reasonable time of its deposit, but in any case no later than noon on the day following its deposit; and,"
- 7. Said Bylaw is hereby further amended in Section 23 **PROHIBITED USES OF HIGHWAY**, Subsection (4), by inserting the words "fence, planter box, wall, water feature, bench," after the words "occupied, any" and before the words "structure, object".
- 8. Said Bylaw is hereby further amended in Section 23 **PROHIBITED USES OF HIGHWAY**, by adding new Subsections (8), (9), (10), (11), (12) and (13), as follows:
  - "(8) install any impervious hard surface on a Highway except as permitted under this Bylaw;
  - (9) plant a bush, shrub, ornamental planting or ground cover in a Highway with a height in excess of 0.5m within 1.5m of a sidewalk, within 1m of a utility box or fire hydrant, or 1m of a curb or road edge where no sidewalk exists;

- (10) plant a bush, shrub, ornamental planting or ground cover in a Highway with a height in excess of 1m;
- (11) plant a tree or hedge in a Highway, except as approved by the Engineer;
- (12) allow vegetation to grow within 0.6m of traffic and information signs or reduce the visibility of the signs below the minimum stopping sight distance from the Highway as identified in Schedule 7 of this Bylaw; and,
- (13) place a berm or fill on a Highway which alters grade to less than 2% away from the roadway or towards a catch basin."
- **9.** Said Bylaw is hereby further amended in Section 83 **ANIMALS**, Subsection (2), by deleting the word "or," after the words "or sidewalk".
- **10.** Said Bylaw is hereby further amended in Section 83 **ANIMALS**, Subsection (3), by adding the word "; or," after the words "all times".
- 11. Said Bylaw is hereby further amended in Section 83 ANIMALS, by adding a new Subsection (4), as follows:
  - "(4) feed or leave food available to Wildlife."
- 12. Said Bylaw is hereby further amended by adding a new Section 95 PEDESTRIAN FACILITIES, as follows:
  - "95. No person may operate any mode of transportation within a Highway unless permitted in the table below:"
- 13. Said Bylaw is hereby further amended in Section 96 PEDESTRIAN FACILITIES, by deleting the table in its entirety, and substituting with a new table, as follows:

NON-MOTORIZED					
Mode	Highway	Sidewalk	Multi-Use	Bicycle	Private
	(roadway)		Pathways	Lanes	Property
Wheelchair	Yes***	Yes	Yes	Yes*	Yes
Pedestrian	Yes***	Yes	Yes	Yes*	Yes
Bicycle	Yes	No**	Yes	Yes	Yes
Skateboard; Longboard;	No	Yes**	Yes*	Yes	Yes
Push Scooter; Rollerblades;					
other Small Wheeled					
Transport					
MOTORIZED					
Motorized	Yes***	Yes	Yes	Yes*	Yes
wheelchair/mobility scooter					
Electric-Motor Assisted	Yes	No	Yes	Yes	Yes
Bicycle (total combined					
rated output of not more					
than 500 watts; max speed					
of 32 km/h)					
Motorized skateboard;	No	No	No	No	Yes
Segway; Hoverboard; self-					
balancing board; other					
motorized small wheeled					
transport					
Electric kick scooter (total	Yes	No****	Yes	Yes	Yes
power of not more than 500					
watts; max speed of					
25km/h)					
Limited Speed Motorcycle	Yes	No	No	No	Yes
(no more than 50cc engine					
displacement or 1.5 kw					
motor rating; max speed of					
70 km/h)					
Motorbike	Yes	No	No	No	Yes
Golf Cart	No	No	No	No	Yes
Off-Road Vehicle (other)	No	No	No	No	Yes

<sup>\*</sup> only where signage or road markings permit or where there are no sidewalks or multiuse pathways

14. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, Subsection (2), by adding the words ", edge of roadway, or edge of marked bike lane".

<sup>\*\*</sup> unless outlined in Highway and Traffic Bylaw and only if travelling at the rate of speed of Pedestrians, and without interfering with or endangering any other person using the Sidewalk or shared pathway

<sup>\*\*\*</sup> on road edge only facing Traffic; not permitted in travel lane

<sup>\*\*\*\*</sup> except where signage or markings permit

- 15. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, Subsection (7), by inserting the words "or recognized as valid by", after the words "issued by" and before the words "the Social".
- 16. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, by deleting Subsection (8) in its entirety, and substituting with a new Subsection (8), as follows:
  - "(8) on a Sidewalk, top of curb, walkway, Multi-Use Pathway, Boulevard, or between a roadway and the sidewalk or Multi-Use Pathway;"
- 17. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, by deleting Subsection (19) in its entirety, and substituting with a new Subsection (19), as follows:
  - "(19) on other than the right side of a two-way Highway, with the right hand wheels parallel to that side and within 30cm of the curb, edge of roadway, or edge of marked bike lane."
- 18. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, Subsection (24), by deleting the words "paved portion of any" after the words "on a" and before the words "Highway for".
- 19. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, by deleting Subsections (27) and (28) in their entirety, and substituting with new Subsections (27) and (28), as follows:
  - "(27) with improper, obscured, or invalid number plates;
  - "(28) within the end bulb of a cul-de-sac, or area designated for turn-around;".
- 20. Said Bylaw is hereby further amended in Section 109 STOPPING, STANDING, AND PARKING, by adding new Subsections (29), (30), (31), (32), and (33), as follows:
  - "(29) with obscured reflective devices;
  - (30) any recreational vehicle (RV) for a continuous period in excess of 24 hours. The RV must then be moved off of any Highway for at least 24 hours before it can be returned to the Highway.;
  - (31) any vehicle with Garbage, Recyclables, Compostable Waste, refuse, or other noxious, offensive, unwholesome or discarded matter collected, accumulated or remaining on or in the vehicle, unless it is securely contained.;
  - (32) in a parking space equipped with an Electric Vehicle charging station unless the vehicle is an Electric Vehicle; and,
  - (33) in a parking space equipped with an Electric Vehicle charging station unless the Vehicle is plugged into the Electric Vehicle charging station and actively charging."
- 21. Said Bylaw is hereby further amended by deleting Section 119 **PAYMENT OF FINE** in its entirety, and substituting with a new Section 119, as follows:
  - "119. Payment of a fine for a bylaw violation notice as set out in Schedule 4 of this Bylaw may be made in person at City Hall, by depositing the payment together

with notice in the mail slot at City Hall, by mail, or via the City's online payment system"

- 22. Said Bylaw is hereby further amended in Section 120 **PAYMENT OF FINE**, by deleting the words "three working" and substituting with the words "ten calendar" after the words "City within" and before the words "days of".
- 23. Said Bylaw is hereby further amended in Section 121 RIGHT TO DISPUTE, by deleting the word "three" and substituting with the words "ten calendar" after the words writing within" and before the words "days from".
- 24. Said Bylaw is hereby further amended by deleting Schedule 4 <u>PENALTIES AND FEES</u> in its entirety, and substituting with a new Schedule 4, as attached.
- 25. Said Bylaw is hereby further amended by deleting Schedule 7 **PROHIBITED AREA FOR RESTRICTED CONVEYANCES** in its entirety, and re-numbering the existing Schedule accordingly.
- **26.** Said Bylaw is hereby further amended throughout the text of the Bylaw where reference is made to section numbers and updated to reflect the new reference numbering.

Received first and second reading on the 17 <sup>th</sup> day of June, Received third reading on the 17 <sup>th</sup> day of June, 2025. Received adoption on the	nne, 2025.
	Mayor
	Corporate Officer

#### Schedule 4

#### PENALTIES AND FEES

#### 1. Penalties for Parking Violations:

(1)	Parking Time Limit Violations	\$ 40.00
(2)	<b>Disabled Parking Stall Violations</b>	\$ 100.00
(3)	Loading Zone	\$ 50.00
(4)	No Parking Zone	\$ 50.00
(5)	All Other Parking Violations	\$ 50.00

NOTE: Penalty for parking violations reduced by 50% if payment is received by the City within ten calendar days.

#### 2. Penalties for Overweight Vehicles:

Every person who drives or operates an overloaded Vehicle is liable to a fine of not less than \$100.00 and, in addition, to a penalty of \$10.00 per 100 kg, or part of it, of the gross weight in excess of that allowed by the regulations or a permit.

- 3. All Other Violations (other than M.T.I.) \$ 100.00
- 4. Impound Fee

\$ 100.00 plus applicable charges as per the ICBC Towing and Storage Rate Payment Schedule, as amended

# Bylaw No. 5485

	A bylaw to amend "Bylaw Notice Enforcement Bylaw 2018, No. 4573"					
The C	Council of the City of Chilliwack in open meeting assembled, enacts as follows:					
1.	This bylaw may be cited as "Bylaw Notice Enforcement Bylaw Amendment Bylaw 2025, No. 5485".					
2.	"Bylaw Notice Enforcement Bylaw 2018, No. 4573" is hereby amended in Schedule "A", by deleting "Highway and Traffic Bylaw 2019, No. 4686" in its entirety, and substituting with a new "Highway and Traffic Bylaw 2019, No. 4686", as attached.					
Rece	ved first and second reading on the 17 <sup>th</sup> day of June, 2025. ved third reading on the 17 <sup>th</sup> day of June, 2025. ved adoption on the					
	Mayor					
	Corporate Officer					

# "Highway and Traffic Bylaw 2019, No. 4686"

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment Penalty (\$)	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Erecting Sign on or over a highway	9	100.00	90.00	110.00	Yes
Hold Parade Without a Permit	12	500.00	490.00	510.00	Yes
Engage in Road or Utility Construction, Maintenance or Repair, Temporary or Permanent on any Highway	14	500.00	490.00	510.00	Yes
Engage in Road or Utility Construction, Maintenance or Repair Without a Permit	15	500.00	490.00	510.00	Yes
Obstruction from a Highway Intersection	17	500.00	490.00	510.00	Yes
Snow Not Removed	18(1)	50.00	40.00	60.00	Yes
Boulevard Not Maintained	18(2)	50.00	40.00	60.00	Yes
Prohibited Use of Highway	19	100.00	90.00	110.00	Yes
Work Prohibited on Highway Without a Permit	20	500.00	490.00	510.00	Yes
Construct or Install Any Access on to any Highway	21(1)	500.00	490.00	510.00	Yes
Repair any Motor Vehicle on any Highway	21(2)	200.00	190.00	210.00	Yes
Engage in any Sport, Amusement, etc. on any Highway	21(3)	100.00	90.00	110.00	Yes

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Build any Structure, Object, etc. which Obstructs Free Use of any Highway	21(4)	500.00	490.00	510.00	Yes
Construct any Highway or any Sidewalk on or Adjacent to any Highway	21(5)	500.00	490.00	510.00	Yes
Place or Throw any Noxious, Offensive or Filthy Water or Substance onto any Highway	21(6)(a)	200.00	190.00	210.00	Yes
Place or Throw any Refuse, Garbage, Debris, Bottle or Container onto any Highway	21(6)(b)	200.00	190.00	210.00	Yes
Place or Throw any Rock, Stone, Earth or Soil onto any Highway	21(6)(c)	200.00	190.00	210.00	Yes
Place or Throw any Unlicensed or Derelict Motor Vehicle onto any Highway	21(6)(d)	200.00	190.00	210.00	Yes
Engage in Panhandling on any Highway	21(7)(a)	25.00	15.00	35.00	Yes
Engage in Panhandling Interfering with Safe Movement of Traffic	21(7)(b)	25.00	15.00	35.00	Yes

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Engage in Panhandling Causing any Obstruction	21(7)(c)	25.00	15.00	35.00	Yes
Engage in Panhandling Risking Harm to Panhandlers Themselves	21(7)(d)	25.00	15.00	35.00	Yes
Installing Impervious Hard Surface on a Highway	21(8)	200.00	190.00	210.00	Yes
Planting a Bush, Shrub, or Ornamental Planting Where Not Permitted	21(9)	100.00	90.00	110.00	Yes
Planting a Bush, Shrub, or Ornamental Planting in Excess of 1m in Height	21(10)	100.00	90.00	110.00	Yes
Planting a Tree or Hedge in a Highway	21(11)	100.00	90.00	110.00	Yes
Allowing Vegetation to Obscure Signage Visibility	21(12)	100.00	90.00	110.00	Yes
Placing a Berm or Fill on a Highway to Alter Grade Less Than 2% Away from Road or Towards a Catch Basin	21(13)	200.00	190.00	210.00	Yes

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment Penalty (\$)	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Materials Depositing of on Highway	22	200.00	190.00	210.00	Yes
Materials Falling from Vehicle onto Highway	23	500.00	490.00	510.00	Yes
Tow Truck Operator Failure to Remove Damaged Vehicle	24	500.00	490.00	510.00	Yes
Noise on Highway, which disturbs	25	100.00	90.00	110.00	Yes
Deface Highway	27	100.00	90.00	110.00	Yes
Disobey a Traffic Control Device	31	100.00	90.00	110.00	Yes
Interference with any Traffic Control Device	32	500.00	490.00	510.00	Yes
Passing on Left Side of Centre	48	100.00	90.00	110.00	Yes
Motorcycle Passing in same Lane	49(1)	100.00	90.00	110.00	Yes
Motorcycle between Lanes of Traffic	49(2)	100.00	90.00	110.00	Yes
Passing on the Left of Vehicle which has Signaled their Intention to Turn Left	51	100.00	90.00	110.00	Yes
No Passing on Right when Movement Unsafe	53(1)	100.00	90.00	110.00	Yes
No Passing on Right by Driving off the Highway	53(2)	100.00	90.00	110.00	Yes

Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
53(4)	100.00	90.00	110.00	Yes
53(5)	100.00	90.00	110.00	Yes
59	100.00	90.00	110.00	Yes
61	100.00	90.00	110.00	Yes
67	100.00	90.00	110.00	Yes
68	350.00	340.00	360.00	Yes
70	100.00	90.00	110.00	Yes
71	100.00	90.00	110.00	Yes
74	100.00	90.00	110.00	Yes
75	500.00	490.00	510.00	Yes
76	500.00	490.00	510.00	Yes
77	200.00	190.00	210.00	Yes
	Section         53(4)         53(5)         59         61         67         68         70         71         74         75         76	Section         Penalty (\$)           53(4)         100.00           53(5)         100.00           59         100.00           61         100.00           67         100.00           68         350.00           70         100.00           71         100.00           74         100.00           75         500.00           76         500.00	Schedule Section         A1 Penalty (\$)         Early Payment Penalty (\$)           53(4)         100.00         90.00           53(5)         100.00         90.00           59         100.00         90.00           61         100.00         90.00           68         350.00         340.00           70         100.00         90.00           71         100.00         90.00           74         100.00         90.00           75         500.00         490.00           76         500.00         490.00	Schedule Section         A1 Penalty (\$)         Early Payment Penalty (\$)         Late Payment Penalty (\$)           53(4)         100.00         90.00         110.00           53(5)         100.00         90.00         110.00           59         100.00         90.00         110.00           61         100.00         90.00         110.00           68         350.00         340.00         360.00           70         100.00         90.00         110.00           71         100.00         90.00         110.00           74         100.00         90.00         510.00           75         500.00         490.00         510.00           76         500.00         490.00         510.00

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Horse or Animal at Large on Highway	81(1)	200.00	190.00	210.00	Yes
Horse or Animal Tied to Object that Could be Dragged onto the Highway	81(2)	200.00	190.00	210.00	Yes
Horse or Animal not Properly Controlled	81(3)	200.00	190.00	210.00	Yes
Feeding Wildlife on a Highway	81(4)	200.00	190.00	210.00	Yes
Cyclist must Dismount when using a Sidewalk	82(2)	100.00	90.00	110.00	Yes
Cyclist must Dismount to cross a Highway	82(3)	100.00	90.00	110.00	Yes
Cyclist must Ride as near to the Right Side of Highway	82(5)	100.00	90.00	110.00	Yes
Perform or Engage in any Acrobatic or other Stunt on Bicycle	82(6)	100.00	90.00	110.00	Yes
Carry more Persons on Bicycle than designed for	82(8)	100.00	90.00	110.00	Yes
Must not Ride Abreast on Highway	82(9)	100.00	90.00	110.00	Yes
Riding with No Hands on Handlebars	82(10)	100.00	90.00	110.00	Yes
Failure to Hand Signal when making a Left Turn	82(11)(a)	100.00	90.00	110.00	Yes

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Failure to Hand Signal when Stopping or Suddenly Decreasing Speed	82(11)(c)	100.00	90.00	110.00	Yes
Operate a Bicycle without Appropriate Equipment	82(12)(a) (b) and (c)	100.00	90.00	110.00	Yes
Operate without Bicycle Brake	82(13)	100.00	90.00	110.00	Yes
Operate Bicycle without due care and attention	82(14)	100.00	90.00	110.00	Yes
Operating without Bicycle Safety Helmet	82(15)	50.00	40.00	60.00	Yes
Vehicles other than Bicycles in Bicycle Lanes	84(1)(2)	100.00	90.00	110.00	Yes
Pedestrian Crossing Highway	85(1)	100.00	90.00	110.00	Yes
Pedestrian Walking on Highway	85(2)	100.00	90.00	110.00	Yes
Pedestrian Soliciting on Highway	85(3)	100.00	90.00	110.00	Yes
Pedestrian using Highway without due care	85(4)	100.00	90.00	110.00	Yes
Driver failing to yield right of way to Pedestrians	87	100.00	90.00	110.00	Yes

<u>Description</u>	Schedule Section	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Pedestrian leaving curb before safe to do so	88	100.00	90.00	110.00	Yes
Passing Vehicles in School Zone	93	100.00	90.00	110.00	Yes
Failure to Adhere to Traffic Control Devices on Multi-Use Pathway	96(1)	100.00	90.00	110.00	Yes
Failure to Yield the Right of Way	96(2)	100.00	90.00	110.00	Yes
Failure to Ride to the Right of Multi-Use Pathway	96(3)	100.00	90.00	110.00	Yes
Failure to Notify other Road Users when overtaking on Multi-Use Pathway	96(4)	100.00	90.00	110.00	Yes
Exceeding Posted Speed Limits	97(1)	100.00	90.00	110.00	Yes
Driving in Excess of 50km per hour Where there is No Posted Speed Limit	97(2)	100.00	90.00	110.00	Yes
Exceeding Speed Limit of 20km/h on a Lane Not Exceeding 8m in Width	97(3)	100.00	90.00	110.00	Yes
Exceeding 40km/h when Passing Emergency or Service Vehicles	97(4)	100.00	90.00	110.00	Yes
Exceeding 30km/h in School Zone	97(6)	100.00	90.00	110.00	Yes

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Exceeding 30km/h in Playground Zone	97(7)	100.00	90.00	110.00	Yes
Interference with Construction Barriers	98	500.00	490.00	510.00	Yes
Following too close to a Fire Apparatus	99	100.00	90.00	110.00	Yes
Drive over an Unprotected Hose of Fire Department	100	100.00	90.00	110.00	Yes
Obstruction of Access to and from any Highway	105	100.00	90.00	110.00	Yes
Parking Over the Markings of a Single Parking Stall	108(1)	100.00	90.00	110.00	Yes
Parking Over the Markings of a Single Parking Stall Marked for Angle Parking	108(2)	100.00	90.00	110.00	Yes
Parking for Longer than 5 Minutes in any Passenger Zone	108(3)	100.00	90.00	110.00	Yes
Parking for Longer than 30 Minutes in a Loading Zone	108(4)	100.00	90.00	110.00	Yes
Parking in a Bus Zone	108(5)	100.00	90.00	110.00	Yes
Parking in a Taxi Zone	108(6)	100.00	90.00	110.00	Yes
Parking in a designated "Disabled Parking Zone" Without a Valid Placard	108(7)	100.00	90.00	110.00	Yes

<u>Description</u>	Schedule Section	A1 Penalty (\$)	A2 Early Payment Penalty (\$)	A3 Late Payment <u>Penalty (\$)</u>	A4 Compliance Agreement <u>Available</u>
Parking on a Sidewalk, Top of Curb, Walkway, Multi-Use Pathway, Boulevard, or between the Road and a Path	108(8)	100.00	90.00	110.00	Yes
Parking in Front of a Private Driveway	108(9)	100.00	90.00	110.00	Yes
Parking Within 5m of a Fire Hydrant	108(10)	100.00	90.00	110.00	Yes
Parking on a Crosswalk or within 6m of the approach of a Crosswalk	108(11)	100.00	90.00	110.00	Yes
Parking within 6m of an Entrance or Exit	108(12)	100.00	90.00	110.00	Yes
Parking Within 15m of a Railway Crossing	108(13)	100.00	90.00	110.00	Yes
Parking on a Highway Displaying the Motor Vehicle for Sale	108(14)(a)	100.00	90.00	110.00	Yes
Parking on a Highway for Advertising or Repairing a Motor Vehicle	108(14)(b)	100.00	90.00	110.00	Yes
Parking on a Highway to Display Signs	108(14)(c)	100.00	90.00	110.00	Yes
Parking which Obstructs Traffic Opposite a Highway Excavation or Obstruction	108(15)	100.00	90.00	110.00	Yes
Parking Parallel to Another Vehicle on the Roadside	108(16)	100.00	90.00	110.00	Yes
Parking on a Bridge or in a Tunnel	108(17)	100.00	90.00	110.00	Yes

	<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Parkir Devic	ng in a Manner That Obstructs Traffic Control es	108(18)	100.00	90.00	110.00	Yes
Parkir	g on the Left Side of a Two-way Highway	108(19)	100.00	90.00	110.00	Yes
Parkir	ng on a Bicycle Path	108(20)	100.00	90.00	110.00	Yes
	ng in any Lane with Less than 3m clearance for ular Traffic	108(21)	100.00	90.00	110.00	Yes
Parkir	ng on any Highway less than 7.3m in Width	108(22)	100.00	90.00	110.00	Yes
Parkir	g with a Gross Vehicle Weight Exceeding 5,500kg	108(23)	100.00	90.00	110.00	Yes
	ng on a Highway for a Continuous Period in Excess ven Days or 72 hours in Schedule 3 Zones	108(24)	100.00	90.00	110.00	Yes
Parkir	g Within 10m of an Intersection	108(25)	100.00	90.00	110.00	Yes
Parkir	g within 5m of a Canada Post Community Mailbox	108(26)	100.00	90.00	110.00	Yes
Parkir	g with Improper or Invalid Number Plates	108(27)	100.00	90.00	110.00	Yes
Parkir	g in a Cul-de-sac Bulb or Turn-Around	108(28)	100.00	90.00	110.00	Yes
Parkir	ng with Obscured Reflective Devices	108(29)	100.00	90.00	110.00	Yes

<u>Description</u>	Schedule <u>Section</u>	A1 Penalty (\$)	A2 Early Payment <u>Penalty (\$)</u>	A3 Late Payment Penalty (\$)	A4 Compliance Agreement <u>Available</u>
Parking an RV in Excess of 24 Hours	108(30)	100.00	90.00	110.00	Yes
Parking a Vehicle with Accumulated Waste in the Vehicle	108(31)	100.00	90.00	110.00	Yes
Parking a Non-EV in an EV Stall	108(32)	100.00	90.00	110.00	Yes
Parking a Vehicle in an EV Stall Without Charging	108(33)	100.00	90.00	110.00	Yes
Parking of Non-Motorized Vehicles	110(1)	100.00	90.00	110.00	Yes
Parking of Vehicles in Excess of 18.3m in Length	110(2)	100.00	90.00	110.00	Yes
Parking any Motor Vehicle or Trailer Exceeding a Gross Vehicle Weight of 5,500kg in a Residential Zone	110(3)	100.00	90.00	110.00	Yes
Failure to Park any Cycle in an Upright Position in a Designated Stand	110(4)	100.00	90.00	110.00	Yes
Removal of any Notice or Ticket	111(1)	100.00	90.00	110.00	Yes
Removal of any Marking Placed on a Vehicle by a Bylaw Enforcement Officer	111(2)	100.00	90.00	110.00	Yes
Exceeding Time-Limit Parking	112	100.00	90.00	110.00	Yes

## City of Chilliwack

## Bylaw No. 5486

	A bylaw to amend "Municipal Ticket Information Bylaw 2018, No. 4574
The C	Council of the City of Chilliwack in open meeting assembled, enacts as follows:
1.	This bylaw may be cited as "Municipal Ticket Information Bylaw Amendment Bylaw 2025, No. 5486".
2.	"Municipal Ticket Information Bylaw 2018, No. 4574" is hereby amended in Schedule "2", by deleting "Highway and Traffic Bylaw 2019, No. 4686", and substituting with a new "Highway and Traffic Bylaw 2019, No. 4686", as attached.
Recei	ved first and second reading on the 17 <sup>th</sup> day of June, 2025. ved third reading on the 17 <sup>th</sup> day of June, 2025. ved adoption on the
	Mayor
	Corporate Officer

## "Highway and Traffic Bylaw 2019, No. 4686"

Column 1	Column 2 Bylaw	Column3
<u>Offence</u>	Section Section	<u>Fine (\$)</u>
Erecting Sign on or over a highway	9	500.00
Hold Parade Without a Permit	12	500.00
Engage in Road or Utility Construction, Maintenance or Repair, Temporary or Permanent on any Highway	14	500.00
Engage in Road or Utility Construction, Maintenance or Repair Without a Permit	15	500.00
Obstruction from a Highway Intersection	17	500.00
Snow Not Removed	18(1)	500.00
Boulevard Not Maintained	18(2)	500.00
Prohibited Use of Highway	19	500.00
Work Prohibited on Highway Without a Permit	20	500.00
Construct or Install Any Access on to any Highway	21(1)	500.00
Repair any Motor Vehicle on any Highway	21(2)	500.00
Engage in any Sport, Amusement, etc. on any Highway	21(3)	500.00
Build any Structure, Object, etc. which Obstructs Free Use of any Highway	21(4)	500.00
Construct any Highway or any Sidewalk on or Adjacent to any Highway	21(5)	500.00
Place or Throw any Noxious, Offensive or Filthy Water or Substance onto any Highway	21(6)(a)	500.00
Place or Throw any Refuse, Garbage, Debris, Bottle or Container onto any Highway	21(6)(b)	500.00
Place or Throw any Rock, Stone, Earth or Soil onto any Highway	21(6)(c)	500.00
Place or Throw any Unlicensed or Derelict Motor Vehicle onto any Highway	23(6)(d)	500.00

Column 1	Column 2 Bylaw	Column3
<u>Offence</u>	<u>Section</u>	<u>Fine (\$)</u>
Engage in Panhandling on any Highway	21(7)(a)	500.00
Engage in Panhandling Interfering with Safe Movement of Traffic	21(7)(b)	500.00
Engage in Panhandling Causing any Obstruction	21(7)(c)	500.00
Engage in Panhandling Risking Harm to Panhandlers Themselves	21(7)(d)	500.00
Installing Impervious Hard Surface on a Highway	21(8)	500.00
Planting a Bush, Shrub, or Ornamental Planting Where Not Permitted	21(9)	500.00
Planting a Bush, Shrub, or Ornamental Planting in Excess of 1m in Height	21(10)	500.00
Planting a Tree or Hedge in a Highway	21(11)	500.00
Allowing Vegetation to Obscure Signage Visibility	21(12)	500.00
Placing a Berm or Fill on a Highway to Alter Grade Less Than 2% Away from Road or Towards a Catch Basin	21(13)	500.00
Materials Depositing of on Highway	22	500.00
Materials Falling from Vehicle onto Highway	23	500.00
Tow Truck Operator Failure to Remove Damaged Vehicle	24	500.00
Noise on Highway, which disturbs	25	500.00
Deface Highway	27	500.00
Disobey a Traffic Control Device	31	500.00
Interference with any Traffic Control Device	32	500.00
Passing on Left Side of Centre	48	500.00
Motorcycle Passing in same Lane	49(1)	500.00
Motorcycle between Lanes of Traffic	49(2)	500.00

Column 1	Column 2 Bylaw	Column3
<u>Offence</u>	Section	<u>Fine (\$)</u>
Passing on the Left of Vehicle which has Signaled their Intention to Turn Left	51	500.00
No Passing on Right when Movement Unsafe	53(1)	500.00
No Passing on Right by Driving off the Highway	53(2)	500.00
No Passing on Right in a School Zone	53(3)	500.00
No Passing on Right when Prohibited by Traffic Control Device	53(4)	500.00
No Passing on Right in a Bicycle Lane	53(5)	500.00
Turning at Intersection or Driveway when unsafe to do so	59	500.00
Entering into a Lane of Traffic in an Unsafe Manner	61	500.00
Driving a Vehicle in Contravention of Traffic Control Device in a Construction or Maintenance Site	67	500.00
School Bus Stopped on a Highway	68	500.00
Passing a Stopped Transit Vehicle	70	500.00
Operating Over Weight Vehicle on a Highway	71	500.00
Use of an Engine Brake on a Highway within City Boundaries	74	500.00
Exceeding Size and Weight Restrictions	75	500.00
Insecure Load	76	500.00
Tires not Complying with MVA Requirements	77	500.00
Operating a Snow Vehicle on a Highway or Sidewalk	80	500.00
Horse or Animal at Large on Highway	81(1)	500.00
Horse or Animal Tied to Object that Could be Dragged onto the Highway	81(2)	500.00
Horse or Animal not Properly Controlled	81(3)	500.00

Column 1	Column 2 Bylaw	Column3
<u>Offence</u>	<u>Section</u>	<u>Fine (\$)</u>
Feeding Wildlife on a Highway	81(4)	500.00
Cyclist must Dismount when using a Sidewalk	82(2)	500.00
Cyclist must Dismount to cross a Highway	82(3)	500.00
Cyclist must Ride as near to the Right Side of Highway	82(5)	500.00
Perform or Engage in any Acrobatic or other Stunt on Bicycle	82(6)	500.00
Carry more Persons on Bicycle than designed for	82(8)	500.00
Must not Ride Abreast on Highway	82(9)	500.00
Riding with No Hands on Handlebars	82(10)	500.00
Hand Signal when making a Left Turn	82(11)(a)	500.00
Failure to Hand Signal when making a Right Turn	82(11)(b)	500.00
Failure to Hand Signal when Stopping or Suddenly Decreasing Speed	82(11)(c)	500.00
Operate a Bicycle without Appropriate Equipment	82(12)(a) (b) and (c)	500.00
Operate without Bicycle Brake	82(13)	500.00
Operate Bicycle without due care and attention	82(14)	500.00
Operating without Bicycle Safety Helmet	82(15)	500.00
Vehicles other than Bicycles in Bicycle Lanes	84(1)(2)	500.00
Pedestrian Crossing Highway	85(1)	500.00
Pedestrian Walking on Highway	85(2)	500.00
Pedestrian Soliciting on Highway	85(3)	500.00
Pedestrian using Highway without due care	85(4)	500.00
Driver failing to yield right of way to Pedestrians	87	500.00

Column 1	Column 2 Bylaw	Column3
<u>Offence</u>	<u>Section</u>	<u>Fine (\$)</u>
Pedestrian leaving curb before safe to do so	88	500.00
Passing Vehicles in School Zone	93	500.00
Failure to Adhere to Traffic Control Devices on Multi-Use Pathway	96(1)	500.00
Failure to Yield the Right of Way	96(2)	500.00
Failure to Ride to the Right of Multi-Use Pathway	96(3)	500.00
Failure to Notify other Road Users when overtaking on Multi- Use Pathway	96(4)	500.00
Exceeding Posted Speed Limits	97(1)	500.00
Driving in Excess of 50km per hour Where there is No Posted Speed Limit	97(2)	500.00
Exceeding Speed Limit of 20km/h on a Lane Not Exceeding 8m in Width	97(3)	500.00
Exceeding 40km/h when Passing Emergency or Service Vehicles	97(4)	500.00
Exceeding 30km/h in School Zone	97(6)	500.00
Exceeding 30km/h in Playground Zone	97(7)	500.00
Interference with Construction Barriers	98	500.00
Following to close to a Fire Apparatus	99	500.00
Drive over an Unprotected Hose of Fire Department	100	500.00
Obstruction of Access to and from any Highway	105	500.00
Parking Over the Markings of a Single Parking Stall	108(1)	500.00
Parking Over the Markings of a Single Parking Stall Marked for Angle Parking	108(2)	500.00
Parking for Longer than 5 Minutes in any Passenger Zone	108(3)	500.00

Column 1	<u>Column 2</u> Bylaw	Column3
<u>Offence</u>	<u>Section</u>	<u>Fine (\$)</u>
Parking for Longer than 30 Minutes in a Loading Zone	108(4)	500.00
Parking in a Bus Zone	108(5)	500.00
Parking in a Taxi Zone	108(6)	500.00
Parking in a designated "Disabled Parking Zone" Without a Valid Placard	108(7)	500.00
Parking on a Sidewalk Top of Curb, Walkway, Multi-Use Pathway, Boulevard, or between the Road and a Path	108(8)	500.00
Parking in Front of a Private Driveway	108(9)	500.00
Parking Within 5m of a Fire Hydrant	108(10)	500.00
Parking on a Crosswalk or within 6m of the approach of a Crosswalk	108(11)	500.00
Parking within 6m of an Entrance or Exit	108(12)	500.00
Parking Within 15m of a Railway Crossing	108(13)	500.00
Parking on a Highway Displaying the Motor Vehicle for Sale	108(14)(a)	500.00
Parking on a Highway for Advertising or Repairing a Motor Vehicle	108(14)(b)	500.00
Parking on a Highway to Display Signs	108(14)(c)	500.00
Parking which Obstructs Traffic Opposite a Highway Excavation or Obstruction	108(15)	500.00
Parking Parallel to Another Vehicle on the Roadside	108(16)	500.00
Parking on a Bridge or in a Tunnel	108(17)	500.00
Parking in a Manner That Obstructs Traffic Control Devices	108(18)	500.00
Parking on the Left Side of a Two-way Highway	108(19)	500.00
Parking on a Bicycle Path	108(20)	500.00

Column 1	Column 2 Bylaw	Column3
<u>Offence</u>	Section Section	<u>Fine (\$)</u>
Parking in any Lane with Less than 3m clearance for Vehicular Traffic	108(21)	500.00
Parking on any Highway less than 7.3m in Width	108(22)	500.00
Parking with a Gross Vehicle Weight Exceeding 5,500kg	108(23)	500.00
Parking on a Highway for a Continuous Period in Excess of Seven Days or 72 hours in Schedule 3 Zones	108(24)	500.00
Parking Within 10m of an Intersection	108(25)	500.00
Parking within 5m of a Canada Post Community Mailbox	108(26)	500.00
Parking with Improper or Invalid Number Plates	108(27)	500.00
Parking in a Cul-de-sac or Turn-Around	108(28)	500.00
Parking with Obscured Reflective Devices	108(29)	500.00
Parking an RV in Excess of 24 Hours	108(30)	500.00
Parking a Vehicle with Accumulated Waste in the Vehicle	108(31)	500.00
Parking a Non-EV in an EV Stall	108(32)	500.00
Parking a Vehicle in an EV Stall Without Charging	108(33)	500.00
Parking of Non-Motorized Vehicles	110(1)	500.00
Parking of Vehicles in Excess of 18.3m in Length	110(2)	500.00
Parking any Motor Vehicle or Trailer Exceeding a Gross Vehicle Weight of 5,500kg in a Residential Zone	110(3)	500.00
Failure to Park any Cycle in an Upright Position in a Designated Stand	110(4)	500.00
Removal of any Notice or Ticket	111(1)	500.00
Removal of any Marking Placed on a Vehicle by a Bylaw Enforcement Officer	111(2)	500.00
Exceeding Time-Limit Parking	112	500.00

		A	AGENDA ITEM NO:	7.1
		r	MEETING DATE:	July 2, 2025
		STAFF REPORT – CO	OVER SHEET	
SUBJ	IECT:	BC Transit – Chilliwack Fare Review	DATE:	June 24, 2025
DEPA	ARTMENT:	Engineering	PREPARED BY:	Doug Mossey
1.	SUMMAR	Y OF ISSUE:		
	At the reg	ular Council meeting on June 17, 2025, to to Council. Staff updated the recommen	ne BC Transit Chilliw dation to reflect fee	rack Fare Review was edback provided by Council.
	A decision	to adopt the recommended fare increas	es is required.	
2.	RECOMM	ENDATION:		
	Recomme this report	ndation that Council approve the amend teffective October 1, 2025.	ed transit fare incre	ase as detailed in Table 1 of
			Kara Jefford, Dire	ector of Engineering
3.	FINANCE (	COMMENTS:		
	transit ser transit sys	received from transit fares are utilized to vice. On average, transit fare revenues of tem. It is important that rates are review ationary cost increases in an attempt to r	fset approximately red and updated at i	30% of the costs of the intervals to help keep up with I user pay portion ratio.
4.		MINISTRATIVE OFFICER'S ENDATION/COMMENTS:		
	Supports re	ecommendation.	David Blain, CAO	len-

#### STAFF REPORT ON BC TRANSIT FARE REVIEW

PREPARED BY:	Doug Mossey	DATE:	June 24, 2025
POSITION:	Manager of Transportation & Drainage	DEPARTMENT:	Engineering
	• ,		

#### 1. FACTORS:

- 1.1 At the regular Council meeting on June 17, 2025, the BC Transit Chilliwack Fare Review was presented to Council. Staff updated the recommendation to reflect feedback provided by Council.
- 1.2 The amended transit fare increase, as detailed in Table 1 below, has been amended to preserve the current fare for seniors with respect to the 30-Day Pass. This ensures that seniors will continue to have an affordable option when taking transit.
- 1.3 Single Ride fares represented 1% of Umo fare revenue in the previous year. As a result of its low usage, it is recommended that concession fares for seniors and students be combined into one Single Ride fare in order to reduce complexity and potential conflicts with drivers.
- 1.4 A combined Single Ride fare will allow for the implementation of fare capping through Umo, which ensures Umo users will never pay more than the equivalent of two single fares per day rather than requiring them to pre-purchase a DayPASS. The system automatically tracks payments and provides unlimited travel once the fare cap is reached. This fare capping cannot be implemented without combining Single Ride fares into one fare.
- 1.5 Similar to the above, it is recommended that concession fares for seniors and students be combined into one DayPASS fare in order to reduce complexity and potential conflicts with drivers. To improve access and convenience, passengers will be able to purchase a DayPASS directly on board by paying twice the single fare upfront. This eliminates the need for transfers and make it easier for cash users. This includes the introduction of automatic DayPASS capping for Umo users (and eventually debit/credit tap users), so that once two fares are paid in a single day, the system automatically upgrades to a DayPASS. This creates a more seamless and rider-friendly experience. Similar to fare capping, this system cannot be implemented without combining DayPASS fares into one fare.
- 1.6 The amended Chilliwack fare increases are illustrated in Table 1 below. The senior concession fare for the 30-day pass will remain at \$35 per month to maintain affordability for those over age 65.
- 1.7 The Student concession 30-day pass will continue to be discounted, however will increase over the 3-year period. The Student rate for the 30-day pass and the Semester Pass is

available to youth ages 13 to 18. Students 12 and under remain free to ride on transit. Students of University of Fraser Valley get U-Pass with their student fees each term at a rate of approximately \$40 per semester for local transit.

Table 1

Fare Produ	Fare Products		25/26	26/27	27/28	
Single	Adult	\$2.00	¢2.25	ć2.50	4	
Ride	Student/ Senior	\$1.75	\$2.25	\$2.50	\$2.75	
DavDACC*	Adult	\$5.00	\$4.50	¢F 00	\$5.50	
DayPASS*	Student/ Senior	\$4.00	\$4.50	\$5.00		
10 Pides	Adult	\$18.00				
10-Rides	Student/ Senior	\$15.75	Discontinued			
	Adult	\$44	\$47	\$53	\$59	
30-Day Pass	Student	\$35	\$40	\$45	\$49	
	Senior	\$35	\$35	\$35	\$35	
Semester Pass	Student	\$112	\$128	\$144	\$155	

<sup>\*</sup>DayPASS-on-Board and Fare Capping to generate automatic DayPASS.

#### 2. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

Recommendation that Council approve the amended transit fare increase as detailed in Table 1 of this report effective October 1, 2025.

#### Substantiation:

The fare adjustments simplify fare structures, ensure affordability and promote ridership while aligning fares across the region by 2027.

		A	GENDA ITEM NO:	7.2
		M	EETING DATE:	July 2, 2025
		STAFF REPORT – CO	VER SHEET	
SUE	BJECT:	Corporate and Community Climate Action Plans Update	DATE:	June 23, 2025
DEF	PARTMENT:	Engineering	PREPARED BY:	T. Friesen
1.	SUMMAR	OF ISSUE:		
	targets and Climate Ac manageme and 100% l emissions l 2010 levels	rate and Community Climate Action Plans d outline actions that enable Chilliwack to tion Plan aims to reduce emissions from ent, while protecting and enhancing natural by 2050, relative to 2007 levels. The Corp by 50% from the City's fleet, facilities, and s.	achieve the reduct buildings, transport ral areas, in order to orate Climate Action d operations by 203	tions. The Community tation, and waste o cut emissions 40% by 2030 on Plan focuses on decreasing 30, and 100% by 2050, from
2.	RECOMME	·		·
	That Counc	cil receive the update regarding implemention Plans for information.	ntation of the Corp	orate and Community or of Engineering
3.	FINANCE C	OMMENTS:		
	_	r climate actions is allocated within the Fi e Local Government Climate Action Progi G		t programs.
4.	CHIEF ADM	IINISTRATIVE OFFICER'S RECOMMENDA	TION/COMMENTS:	:
	Supports re	ecommendation.	avid Blain, CAO	Pleni

## STAFF REPORT ON CORPORATE AND COMMUNITY CLIMATE ACTION PLANS UPDATE

PREPARED BY: _	Thomas Fabian	_ DATE:	June 23, 2025	
POSITION:	Environmental Services Specialist	DEPARTMENT:	Engineering	

#### 1. **DEFINITION OF ISSUE:**

The Corporate and Community Climate Action Plans provide greenhouse gas emissions reduction targets and outline actions that enable Chilliwack to achieve the reductions. The Community Climate Action Plan aims to reduce emissions from buildings, transportation, and waste management, while protecting and enhancing natural areas, in order to cut emissions 40% by 2030 and 100% by 2050, relative to 2007 levels. The Corporate Climate Action Plan focuses on decreasing emissions by 50% from the City's fleet, facilities, and operations by 2030, and 100% by 2050, from 2010 levels.

A decision to receive an update on implementation of the Climate Action Plans is required.

#### 2. BACKGROUND:

- 2.1 On August 16, 2022, Council adopted the Corporate and Community Climate Action Plans, developed with consultant support through extensive engagement with staff, and the public.
- 2.2 The Community Climate Action Plan contains initiatives that guide the City's efforts to reduce greenhouse gas (GHG) emissions in Chilliwack. The Community Climate Action Plan aims to reduce Chilliwack's emissions 40% from 2007 levels by 2030, and 100% by 2050. This aligns with the greenhouse gas reduction targets established by the provincial government. The proposed actions to reach this target focus on reducing emissions from transportation, buildings, and waste management, while protecting and enhancing our natural areas to sequester what emissions remain.
- 2.3 Similarly, the Corporate Climate Action Plan directs the City's internal emissions reduction efforts through the 2020s and beyond. It targets a 50% reduction in emissions from fleet vehicles, contracted services, day-to-day operations, and facilities, relative to 2010 levels, by 2030, and 100% by 2050.
- 2.4 The Community Climate Action Plan contains a range of actions that work alongside provincial and federal emissions reduction initiatives to help the community reach net zero emissions in 2050. A summary of the community actions is provided in Table 1.

Table 1: Summary of actions in the Community Climate Action Plan.

Scope	Summary of actions in the Community Cli  Action	Timeframe	Status
	Accelerate expanded transit services	Long (2023-2030)	In progress
	Implement the Draft Active	Long (2023-2030)	In progress
	Transportation Plan and Cycle Vision		, _
	Plan		
	Explore alternative transportation	Medium (2026-2028)	In progress
	programs		
Transportation	Promote BC Hydro's EV Charger Rebate	Short (2023-2026)	Planned for 2025
<b>\</b>	Program for apartment buildings		
	Review standards for EV charging	Short (2023-2026)	In progress
	requirements in residential		
	developments		
	Expand EV charging requirements to	Medium (2026-2028)	Future
	new commercial developments		
	Offer municipal top-up rebate for green	Short (2023-2026)	Complete
	home upgrades		
`	Track and then offer Property Assessed	Short (2023-2026)	Future
	Clean Energy (PACE) retrofit finance		
Duildings	program  Duild some situate the building industry.	Short (2023-2026)	In nyagyaga
Buildings	Build capacity in the building industry for energy efficiency	311011 (2023-2020)	In progress
	Offer training with BC Energy Step Code	Medium (2024-2027)	In progress
	partners	Wediam (2024-2027)	in progress
	Support provincial requirements for low	Short (2023-2026)	Future
1	carbon building materials	5.1016 (2023 2020)	, atare
	Restore five natural areas	Short (2023-2026)	Future
	Showcase opportunities to reclaim and	Short (2023-2026)	Future
Natural Areas	restore natural areas to landowners	, ,	
	Enhance Chilliwack's tree canopy	Short (2023-2026)	In progress
	Invest in public education programs to	Ongoing	In progress
	divert organic waste		, 0
Marko	Establish a bylaw to increase diversion	Medium (2024-2027)	Future
Waste	of waste by the construction sector		
	Improve efficiency of the landfill gas	Ongoing	in progress
	capture system		
	Partner with the FVRD, province, health,	Ongoing	In progress
Air Quality and	and transportation authorities to		
Agriculture	address issues related to air quality		
Agriculture	Identify opportunities for sustainable	Short (2023-2026)	Future
	farming practices		

2.5 The Corporate Climate Action Plan contains initiatives related to City assets and operations, and enables the City to demonstrate leadership in reducing emissions. A summary of the corporate actions is provided in Table 2.

Table 2: Summary of actions in the Corporate Climate Action Plan.

Scope	Action	Timeframe	Status
	Investigate opportunities to use higher renewable content/low greenhouse gas fuels in fleet vehicles	Short (2023)	In progress
	Incorporate low carbon requirements into next procurement process for waste collection	Medium (2024-2027)	In progress
	Replace all light-duty fleet vehicles with electric at time of renewal	Long (2023-2032)	In progress
Fleet	Develop an "electric first" policy to evaluate and prioritize electric vehicles for all new fleet purchases	Short (2023-2026)	In progress
	Evaluate and install EV charging infrastructure to support fleet transition plans	Long (2023-2032)	In progress
	Evaluate feasibility of using e-bikes to replace some staff vehicle trips, and engage with staff to pilot a program	Short (2023-2026)	In progress
	Establish a corporate energy manager position	Short (2023)	Complete
	Conduct facility energy assessments and integrate into capital planning process	Short (2023-2026)	In progress
Facilities	Develop a new zero-carbon policy for all new City facilities in 2025 and beyond	Short (2023-2026)	To be reviewed in 2025
	Advance assessment for a district energy system in the Chilliwack Landing area	Medium (2024-2027)	Future
	Pursue the conversion of biogas at the wastewater treatment plant to be suitable for the FortisBC grid	Long (2028-2032)	In progress
Resource Recovery	Carry out wastewater treatment plant infrastructure upgrades to improve biogas capture	Medium (2026-2028)	In progress
	Develop a zero-waste procurement policy for City facilities and City events	Short (2023-2026)	Future

2.6 The provincial government launched the annual Local Government Climate Action Program (LGCAP) in 2022 to replace the previous Climate Action Revenue Incentive Program. Through the LGCAP program, the City received \$312,000 in 2022, an additional \$312,000 in 2023, and a three-year lump-sum allocation of \$914,000 in 2024 to support initiatives from 2024 through 2026. This funding provides a critical foundation for implementing the City's Climate Action Plans and advancing key climate initiatives. In addition to LGCAP, the City also accesses further financial support through various provincial, federal, BC Hydro, and Fortis grant programs dedicated to climate action and sustainability projects.

2.7 To date, the City has made significant progress in advancing key initiatives within both the Corporate and Community Climate Action Plans. Notable accomplishments include:

#### **Community Actions**

- Active Transportation Infrastructure:
  - o Implementation of the Active Transportation Plan and Cycle Vision Plan reduce GHG emissions and enhance connectivity through cycling/pedestrian projects such as upgrades to Chilliwack River Road (2022-23, in partnership with Ch'íyáqtel), Tyson Road (2024-25), Keith Wilson Road (2024-25), Knight Road (2024-25), Bailey Road (2024-25, in partnership with Ch'íyáqtel), Luckakuck Way (2024-25), Mary Street (2024-25), and Yale Road (2024-2025)—all designed to create safe, accessible routes for pedestrians, cyclists, and mobility device users.
- Electric Vehicle (EV) Charging Stations:
  - o From 2022-24, installed 26 publicly available EV charging stations with grant funding.
- Fraser Valley Zero Emissions Mobility Strategy:
  - o In partnership with the City of Abbotsford and Fraser Valley Regional District, the grant-funded Strategy will establish actionable targets and a roadmap for advancing light-duty and micromobility Zero Emission Vehicles, and long-term planning for medium and heavy-duty vehicle electrification. The Request for Proposals was released in June 2025 to select a consultant for this project.
- Municipal Top-Ups for Energy Rebates
  - o From 2023-25, Chilliwack took part in the CleanBC Homes and Home Renovation Rebate Program by offering grant-funded municipal top-ups to further incentivize upgrades to space and water heating systems. A total of 131 Chilliwack residents participated in the program to improve their home energy efficiency and reduce GHGs. In spring 2025, the provincial government ended the program but made improvements to the CleanBC Better Homes Energy Savings Program (formerly the Income Qualified Program), which offers rebates based on income and household occupancy.
- Step Code Education/Capacity Building Initiatives:
  - In partnership with the Cities of Abbotsford and Mission and grant funding support, six workshops have been held in 2024 and 2025 to increase building industry knowledge and support builders in meeting the BC Step Code requirements and energy efficiency standards, with another upcoming Step Code Airtightness Workshop series planned for fall 2025.
- Tree Canopy Assessment:
  - Work has commenced on assessing the existing tree canopy and reviewing potential opportunities to increase Chilliwack's tree canopy while accommodating provinciallymandated housing growth.

- Landfill Gas to Renewable Natural Gas (RNG) Conversion Pilot:
  - The fully grant-funded pilot project to evaluate new technology to convert landfill gas to RNG at the Bailey Landfill is in the preparation stage and scheduled to start in February 2026.
  - This initiative could put the landfill gas, which is currently flared, to beneficial use and create a new revenue stream via RNG injection into the FortisBC grid.

#### **Corporate Actions**

- Fleet EV Purchases:
  - Five EVs have been added to the municipal fleet in 2023-25.
- Fleet Electrification Study:
  - A Green Municipal Fund grant application has been submitted for a Fleet Electrification.
     Study to evaluate the current municipal fleet and identify pathways for electrification, including charging infrastructure requirements and cost forecasting.
- City Staff E-bike Pilot Program:
  - A staff e-bike pilot program was launched in 2024, aimed at replacing select staff vehicle trips with electric bicycle travel. This initiative aims to promote active transportation and reduce greenhouse gas emissions by cutting down the number of short-distance vehicle trips taken by staff.
- Chilliwack Coliseum Heat Recovery:
  - o In 2023, retrofits were completed to recover waste heat from the Chilliwack Coliseum to heat the pool at the Chilliwack Landing Leisure Centre.
- Energy Manager:
  - A corporate Energy Manager position was established in 2024 with grant funding to conduct facility energy studies and strategically move initiatives forward.
- GHG Master Planning Study for City Facilities:
  - A comprehensive GHG reduction strategy, fully grant-funded, is nearing completion for nine of the City's largest GHG-emitting facilities. This study provides the basis for additional grant applications for facility upgrades.
- Sardis Sports Complex GHG Reduction Study:
  - A grant-funded technical study was completed in 2024 to evaluate natural gas reduction and heat recovery options for the Sardis Sports Complex. Additional funding has been secured to carry out the recommended dehumidifier control optimization, ice plant heat recovery recommissioning, and air preheating.
- Cheam Centre Retrofit:
  - A Green and Inclusive Community Buildings (GICB) grant application was submitted in 2024 for deep energy retrofits to the Cheam Centre (funding announcements pending).
     The planned project includes upgrades to the space and water heating systems,

upgrades to the building control system, and a new heat recovery dehumidification system to heat the pool.

- Wastewater Treatment Plant (WWTP) Renewable Natural Gas Project:
  - o Biogas produced at the WWTP is being used to heat on-site digesters.
  - Preparations for upgrades to the WWTP are underway to increase digester capacity and facilitate adding fats, oils and grease to increase production of biogas for sale to Fortis BC as a Renewable Natural Gas.

#### 3. **RECOMMENDATION & SUBSTANTIATION:**

#### Recommendation:

That Council receive the update regarding implementation of the Corporate and Community Climate Action Plans for information.

		AG	enda item no: _	7.3
		ME	ETING DATE:	July 2, 2025
		STAFF REPORT – COV	ER SHEET	
SUI	BJECT:	Demolition 7485 Panorama Drive – RFQ Proponent Selection	DATE:	June 25, 2025
DE	PARTMENT:	Recreation & Culture	PREPARED BY: _	Dustin Enns
1.	SUMMAF	RY OF ISSUE:		
		of Chilliwack issued a Request for Quotation Dition of a residential dwelling at 7485 Pand		emolition contractors for
	Clearview	were received by the stipulated closing d Demolition Ltd., Matcon Demolition Ltd., Pemolition works at 7485 Panorama Drive.		- ·
	A decision	n to accept a Proposal for the demolition of	7485 Panorama Dr	ve is required.
2.	RECOMM	IENDATION:		
	proponen	ncil accept the submission for the "Demoliti It Matcon Demolition Ltd., in the amount of Proficer be authorized to sign any necessar	\$87,696.00; and fu	•
			MIME	M
			Darrell Lindhout, Dii Culture	rector of Recreation &
3.	FINANCE	COMMENTS:		
	Funding fo	or this project has been allocated within the	e approved 2025 Fir	Savol
4.		MINISTRATIVE OFFICER'S ENDATION/COMMENTS:	,	
	Supports	recommendation.	1/2 *	B

## STAFF REPORT ON Demolition 7485 Panorama Drive

PREPARED BY: _	Dustin Enns	DATE:	June 25, 2025
POSITION:	Manager of Civic Facilities	DEPARTMENT:	Recreation & Culture

#### 1. **DEFINITION OF ISSUE:**

The City of Chilliwack issued a Request for Quotations to the pre-qualified demolition contractors for the demolition of a residential dwelling at 7485 Panorama Drive.

Proposals were received by the stipulated closing date of June 11, 2025 from four (4) contractors: Clearview Demolition Ltd., Matcon Demolition Ltd., Phoenix Enterprises Ltd., and T&T Demolition Ltd. for the demolition of a residential dwelling at 7485 Panorama Drive.

A decision to accept a Proposal for the demolition of 7485 Panorama Drive is required.

#### 2. BACKGROUND:

- 2.1 The City of Chilliwack purchased the property at 7485 Panorama Drive in 2010 and is located in the eastern hillsides "no build" area.
- 2.2 Recent inspections by the City's property manager identified signs of superficial and structural cracking within the building envelope.
- 2.3 The City of Chilliwack engaged the services of a structural engineer to assess the structural integrity of the house. Based on their findings, it was recommended that the building be vacated and demolished.
- 2.4 The project includes complete abatement of hazardous materials and demolition of the structure. The RFQ contained a pre-project hazardous building materials survey.
- 2.5 The RFQ was open for three weeks and included a site meeting that addressed any project concerns.

#### 3. ANALYSIS

3.1 Quotations were received from four (4) pre-qualified demolition companies. All proposals met the requirements of the RFQ.

#### 3.2 The table below summarizes the submitted quotations.

Proponent Name	Quotation	Ranking
Matcon Demolition Ltd.	\$87,696.00	1
Clearview Demolition Ltd.	\$113,923.95	2
T&T Demolition Ltd.	\$138,505.50	3
Phoenix Enterprises Ltd.	\$177,975.00	4

#### 4. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

That Council accept the submission for the "Demolition 7485 Panorama Drive" from the preferred proponent Matcon Demolition Ltd., in the amount of \$87,696.00; and further, that the Mayor and Corporate Officer be authorized to sign any necessary documentation.

#### Substantiation:

Matcon Demolition Ltd. provided the lowest compliant bid while meeting all project requirements.

The proposal submission from Matcon Demolition Ltd. was within the City's stipulated budget for the Project.

The lead proponent, Matcon Demolition Ltd. has completed similar demolition projects for numerous municipalities throughout the province.

		AGENDA ITEM NO:		7.4	
		N	IEETING DATE:	July 2, 2025	
		STAFF REPORT	- COVER SHEET		
JBJI	ECT:	Cultural Tourism Event Funding – Tourism Chilliwack	DATE:	June 25, 2025	
EPA	RTMENT:	Recreation and Culture	PREPARED BY:	Carol Marleau	
1.	At the Reg agreement community Initiative F	Y OF ISSUE: ular Meeting of Council held on August 2, 2 t with Tourism Chilliwack for the provision of y. The agreement provided funding at a leve unding Policy Directive No. C-13. of this funding program has now concluded, unding commitment at the same level of \$5	of funding to support of the support of \$5,000 per year the same and Tourism Chilliwac	ultural tourism events held within t prough the Community Developme	
	Although T Program, s is based or initiative a	d in the attached request, this funding would connection and enhancing local economic fourism Chilliwack is again requesting supportant recommends that the funding be allocated the ongoing nature of the program, which program provided to the Fraser Valley Reguncil approve the following recommendation itted.	ort through cultured through the Committed through the Public is similar in structure ional Library for summ	ral celebration and inclusion.  unity Development Initiative Fundir Art Program This recommendation and purpose to the Music and More er reading programs and events.	ng on e
2.	significant reporting r	ENDATION: Indation that Council approve funding to Totol events for a five-year period starting in 202 requirements as set out in the staff report.  OMMENTS: funding for public art/cultural initiatives ha	Darrell Lindhout, Director of Recreations been allocated within	on and Culture  the Recreation and Culture budge	t.
	RECOMME	INISTRATIVE OFFICER'S NDATION/COMMENTS: ecommendation	Glen Savard, Directo	Hance	

David Blain, CAO

SUBJECT:

DEPARTMENT:

3.

4.

# CH'ILLIWACK

June 23, 2025

Tourism Chilliwack 44150 Luckakuck Way Chilliwack, BC V2R 4A7 June 23, 2025

Carol Marleau
Manager of Recreation Services and Corporate Wellness
City of Chilliwack
8550 Young Road
Chilliwack, BC V2P 8A4

Dear Carol,

#### Re: Request for Funding Support for Cultural Tourism under the Community Development Initiatives Program

On behalf of Tourism Chilliwack, I am writing to respectfully request funding support in the amount of \$5,000 through the Community Development Initiatives (CDI) Funding Policy to assist in the hosting of a culturally significant tourism event in our community. This event aligns with the City's goals of fostering meaningful community connection and enhancing local economic vibrancy through cultural celebration and inclusion.

Tourism Chilliwack is proud to lead efforts in weaving authentic cultural experiences into the visitor economy. Through partnerships with Indigenous communities, local artists, and heritage organizations, the upcoming events will celebrate Chilliwack's diverse cultural landscape. Our vision is to create a space where residents and visitors alike can come together to engage in experiences that are as educational as they are enriching.

Support from the CDI fund would directly assist with critical programming costs including event logistics, marketing, and venue setup. These investments will not only help ensure that the event is inclusive and respectful, but also that it reaches a wide audience—amplifying the City of Chilliwack's reputation as a vibrant and culturally welcoming destination.

The economic and social benefits of this initiative will extend beyond the event itself. By drawing both local and out-of-town visitors, we anticipate positive impacts for Chilliwack's small businesses, accommodations sector, and arts community. Additionally, this type of

# CH'ILLIWACK

cultural tourism programming supports ongoing reconciliation and community-building goals, creating lasting legacies through shared understanding and participation.

In order to build stability and continuity into the planning and delivery of these culturally significant events, we are seeking a **five-year commitment under the CDI funding program**, with annual support of \$5,000. A multi-year investment would allow us to deepen partnerships, grow programming, and elevate the long-term impact of cultural tourism in Chilliwack.

We believe this request is consistent with the City's past support of initiatives that build community pride and showcase our unique identity, as reflected in your 2022 approval of CDI funding for large-scale events of cultural significance.

Thank you for considering this request. Please do not he sitate to reach out if you require any further information. We would be pleased to attach this letter to the staff report and welcome the opportunity to speak further about how we can collaborate to deliver a successful and impactful event.

Warm regards,

Mexicy

Allison Colthorp

**Executive Director** 

Tourism Chilliwack

colthorp@tourismchilliwack.com

		MI	EETING DATE:	July 2, 2025
		STAFF REPORT -	COVER SHEET	
SUBJ	ECT:	Chilliwack Pride Festival -2025	_ DATE:	June 25, 2025
DEPA	RTMENT:	Recreation and Culture	_ PREPARED BY:	Carol Marleau
1.	SUMMARY	OF ISSUE:		
	funding in 13. The red	rack Pride Society will be hosting the annual the amount of \$5,000 through the Commun quested funding would help offset key opera crol, amenity rentals, and other related logis	ity Development In Itional costs associa	itiative Funding Policy Directive No C-
Last year, the festival welcomed over 25,000 attendees. This year's event promises to be equally vibran featuring a full day of food, family-friendly activities, artisan vendors, live entertainment, and collaborate with more than 60 local community organizations and small businesses.				•
	community	rack Pride Festival directly supports Council's partnerships, promoting economic develop the attached request document.	•	
		uncil approve the recommendation, the func a Policy Directive No. C-13, including submiss		•
2.	NO C-13, C	NDATION:  Ing for the Chilliwack Pride Festival be approved the Chilliwack Pride Festival be approved the Community Development Initiative Funding the said policy.	based on submitted	receipts and reporting requirements
3.	Funding for	<b>OMMENTS:</b> r these events can be accommodated throug ds Community Development Initiatives.	Darrell Lindhout, Director of Recreated The funding allocated Glen Savard, Dire	d within the approved 2025 Financial
4.		IINISTRATIVE OFFICER'S NDATION/COMMENTS:		

AGENDA ITEM NO: 7.5

David Blain, CAO

Supports recommendation.

#### **Hayley Tarrant**

Director of Community Outreach Chilliwack Pride Society community@chilliwackpride.com 604-991-2480 chilliwackpride.com

Chilliwack Pride Festival 2025

Date: June 10, 2025

#### City of Chilliwack

Attn: CDI Committee 8550 Young Road Chilliwack, BC V2P 8A4





#### Dear Committee,

On behalf of the Chilliwack Pride Society, I am writing to respectfully submit our application for the City of Chilliwack's CDI Funding. We are seeking your support for the **Chilliwack Pride Festival 2025**, a vibrant and inclusive community celebration scheduled for July 13, 2025, in the heart of downtown Chilliwack, Central Community Park.

The Chilliwack Pride Festival is more than a celebration, it is a platform for community connection, diversity, and belonging. Last year, our annual event welcomed over 25,000 attendees from across the Fraser Valley and beyond, showcasing the rich cultural diversity and resilience of 2SLGBTQIA+ communities. It features local artisans, live entertainment, educational resources, family-friendly activities, and partnerships with over 60 community organizations and small businesses.

#### Our Goals:

- Foster inclusivity and civic pride by creating a safe, joyful space for individuals of all backgrounds to connect.
- Strengthen community partnerships through collaboration with local nonprofits, service providers, and Indigenous groups.
- Promote economic development by drawing tourism and foot traffic to the downtown core.
- Offer accessible public programming that reflects the City's commitment to diversity and community well-being.

To ensure the event remains free and accessible to all, we rely on sponsorships, grants, and community donations. Funding from the CDI would be instrumental in supporting costs related to site logistics, accessibility services (such as ASL interpretation and mobility accommodations), insurance, audio equipment, security and more.

**Funding Request:** We are requesting \$5,000 to help cover core operational and accessibility-related costs. A full budget breakdown is included with this letter.

We believe this festival aligns closely with the City of Chilliwack's strategic goals for community engagement, social inclusion, and economic vibrancy. Your investment in this event is an investment in building a welcoming and resilient city for everyone.

Thank you for considering our application. We would be honored to partner with the City in making Chilliwack Pride Festival 2025 the most inclusive and impactful yet. Please do not hesitate to contact us should you require any additional information.

Warm regards,

#### **Hayley Tarrant**

Director of Community Outreach Chilliwack Pride Society community@chilliwackpride.com 604-991-2480 chilliwackpride.com



#### Chilliwack Pride Society 2025 Festival Budget As At June 23 2025

In House Funds in Bank	33,638 07		
Income			
Sponsorships	20,800 00		
Food Truck Fees	2,750 00		
Market Vendor Fees	5,250 00		
Grants	0 00		
Total Income			28,800 00
Fixed Expenses			
Chilliwack Healthier Communities Fee	250 00		
Insurance	4,750 00		
School Rentals	324 08		
Security & First Aid	3,705 58		
Traffic Control	2,462 46		
Tent/Chair/Table rentals	2,763 01		
Total Fixed Expenses		14,255 13	
Main Stage Expenses			
Queer As Funk	4,200 00		
Performers	2,150 00		
Honorariums	350 00		
Sound Tech	630 00		
Sound Equipment	953 24		
Performers Hot Meals	360 00		
Total Main Stage Expenses		8,643 24	
Budget Allocations			
Acoustic Stage	500 00		
Accessability	2,500 00		
Kids Zone	1,500 00		
Merch	1,400 00		
Marketing	4,100 00		
Volunteers	1,700.00		
Youth After Party	600 00	:	
Total Allocations		12,300 00	
Total Expenses			35,198 37
			(6,398 37)

	, out to the title to the	7.0
	MEETING DATE:	July 2, 2025
STAFF REPORT – COV	ER SHEET	

AGENDA ITEM NO:

76

SUBJECT:	Municipal Castings	DATE:	June 23 <sup>rd</sup> , 2025
DEPARTMENT:	Finance	PREPARED BY:	Torı Wiebe

#### 1. SUMMARY OF ISSUE:

The Operations Department has an ongoing need for municipal castings to support a variety of utility maintenance and construction projects. Castings are kept in inventory until they are assigned to specific jobs by staff.

These castings encompass items such as grates, manhole covers, risers, frames, valve boxes, and water meter service box lids.

In response to this requirement, the City issued a Request for Quotation (RFQ) for the Supply and Delivery of Municipal Castings, receiving three submissions. The last RFQ issued for Municipal Castings was in May 2020.

A decision is required to approve the award of a one-year contract to Westview Sales Ltd. for the Supply and Delivery of Municipal Castings, with the option to extend the contract for up to four (4) additional one-year terms.

Summary of the three submissions received:

Supplier	Total Quotation Price incl. GST		
Westview Sales Ltd.	\$178,028.48		
Emco Corporation – Waterworks	\$184,450.29		
Andrew Sheret Ltd.	\$191,901.95		

The submissions and prices above are for the entirety of the City's casting usage. Approximate quantities:

Туре	Approximate Yearly Usage	
Grates	48	
Covers	85	
Riser Rings	20	
Frames	93	
Valve Boxes	260	
Water Meter Service Box Lids	1030	

#### 2. RECOMMENDATION:

That Council approve the award to Westview Sales Ltd. for a one-year term in the amount of \$178,028.48 for the supply and delivery of municipal castings, with the option to extend the contract for up to four (4) additional one-year terms.

Glen Savard, Director of Finance

#### 3. FINANCE COMMENTS:

Funding has been allocated within the City's approved 2025 Financial Plan.

Glen Savard, Director of Finance

# 4. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain CAO

			AGENDA ITEM NO:	7.7
			MEETING DATE:	July 2, 2025
		STAFF REPOR	T – COVER SHEET	
SUBJE	ст:	Sean Patrick Agricultural Land Reserve 43275 Lumsden Road	DATE:	June 19, 2025
DEPAR	RTMENT:	Planning Department ALR00437	PREPARED BY:	Navdeep Sidhu / mb
1.	SUMMAI	RY OF ISSUE:		
The applicant is seeking approval for a 'Non-Adhering Residential Use' within the Agricultural Land Reserve (ALR) to allow for the occupancy of an existing residence during the construction of a new single detached dwelling within the subject property.				

### 2. RECOMMENDATION:

Recommendation that application ALR00437 for a 'Non-Adhering Residential Use' within the Agricultural Land Reserve (ALR), with respect to property located at 43275 Lumsden Road, be forwarded to the Agricultural Land Commission "with support".

Gillian Villeneuve Director of Planning

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

#### STAFF REPORT ON AGRICULTURAL LAND RESERVE APPLICATION ALRO0437

PREPARED BY:	Navdeep Sidhu	DATE:	June 19, 2025
POSITION:	Planner I	DEPARTMENT:	Planning Department

#### 1. PROPOSAL:

The proposal is to allow for the occupancy of an existing dwelling within the subject property during the construction of a new single detached dwelling. Upon completion of construction, the existing house will be demolished. As shown within the proposed Site Plan, the property is approximately 3.2ha (7.91 acres) in area with the new residence proposed to be sited along the Lumsden Road frontage.

The proposed location complies with the siting and size requirements for a Farm Home Plate (FHP), as set out in the Zoning Bylaw and the applicant has confirmed that the existing residence will be demolished following completion of the new dwelling. All proposed and existing residential development, including the new dwelling and the two existing rural ancillary structures on the property, are located within the permitted maximum FHP area of 4,000m<sup>2</sup>. In addition, the proposed new residence will have a gross floor area of less than 500m<sup>2</sup>, consistent with the Agricultural Land Commission (ALC) regulations for residential use.

The final site layout must comply with City Bylaws and include completion of a Building Permit (BP), Demolition Permit, and Temporary Use Permit (TUP) application, as detailed below.

#### Temporary Permission for Second Dwelling in the Agricultural Land Reserve

In the event that the ALC approves the 'Non-Adhering Residential Use' application, a Temporary Use Permit (TUP) is required prior to the issuance of a Building Permit. The Temporary Permission for Second Dwelling in the Agricultural Land Reserve Bylaw requires a TUP and the following:

- completion of a Building Permit (BP), TUP, and Demolition Permit application in instances
  where the property owner/applicant wishes to reside within an existing residence during
  the construction of a new residence on a property.
- as a condition of issuance for the BP, the existing residence must be demolished within 60 days of occupancy being granted by the Building Inspector for the new residence.
- a TUP and Demolition Permit for the existing residence is to be issued in conjunction with the BP for the new residence.
- should the owner/applicant choose not to demolish the original home, the \$10,000 security deposit is forfeit and may result in the City fulfilling the requirement at the owners' expense.

For information, a copy of the 'Non-Adhering Residential Use' application is attached as Schedule "A".

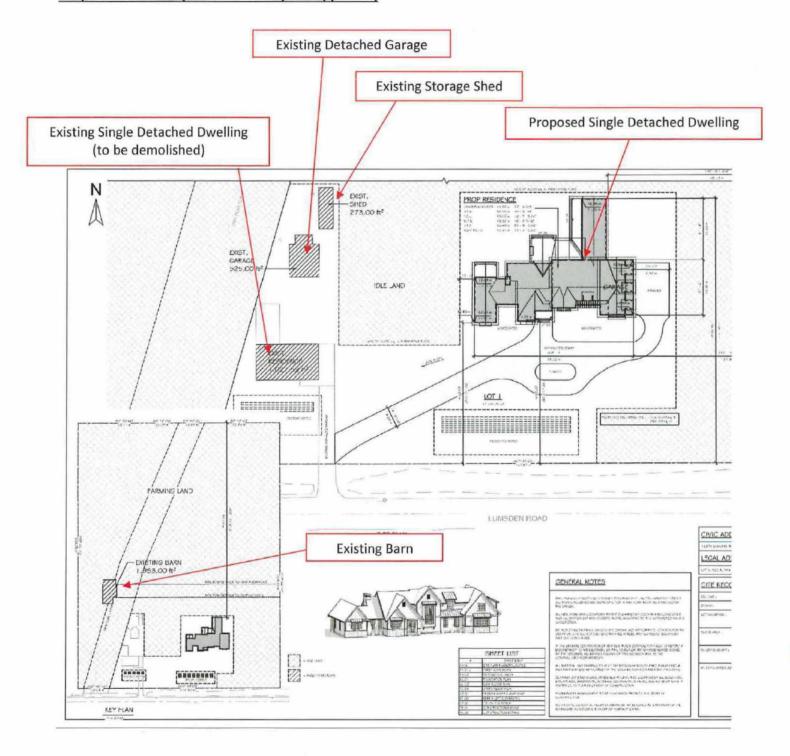
#### **Location Map**



#### Ortho Photo

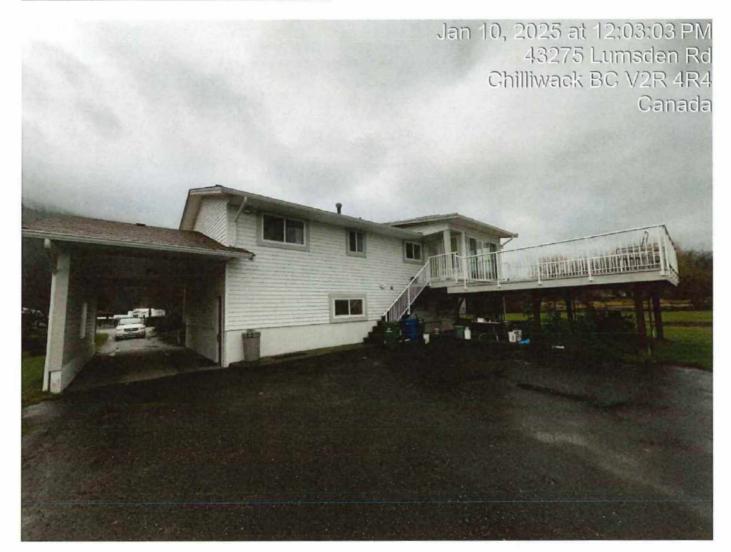


#### Proposed Site Plan (as submitted by the applicant)



#### Site Photo

Existing Single Detached Dwelling (to be retained)



# Schedule "A" ALC Non-Adhering Residential Use application



### **Provincial Agricultural Land Commission - Applicant Submission**

Application ID: 102747

Application Type: Non-Adhering Residential Use within the ALR

Status: Submitted to L/FNG

Name: Patrick et al.

Local/First Nation Government: City of Chilliwack

#### 1. Parcel(s) Under Application

#### Parcel #1

Parcel Type Fee Simple

Lot 1 Section 3 Township 23 New Westminster District Plan 85667

Approx. Map Area 3 2 ha

PID 016-264-177

Purchase Date Oct 23, 2024

Farm Classification Yes

Civic Address 43275 Lumsden Road, Chilliwack B.C V2R 4R4

Certificate Of Title Lumsden Title.pdf

Land Owner(s)	Organization	Phone	Email	Corporate Summary
Sarah Patrick	Not Applicable			Not Applicable
Sean Patrick	Not Applicable			Not Applicable

#### 2. Other Owned Parcels

Do any of the land owners added previously own or lease other parcels that might inform this application process?

No

#### 3. Primary Contact

Land Owner Type

First Name Sean

**Last Name** Patrick

Organization (If Applicable) No Data

Phone

Email

#### 4. Government

Local or First Nation Government: City of Chilliwack

#### 5. Land Use

#### Land Use of Parcel(s) under Application

Describe all agriculture that currently takes place on the

Grazing cattle previously this year. Currently no grazing cattle.

Describe all agricultural improvements made to the Barn with stalls, fencing, cross fencing, drainage, clearing.

parcel(s).

parcel(s).

Describe all other uses that currently take place on the

parcel(s).

Residential

#### **Land Use of Adjacent Parcels**

	Main Land Use Type	Specific Activity
North	Agricultural / Farm	Hobby Farm
East	Agrıcultural / Farm	Hobby Farm
South	Agricultural / Farm	Horses, cattle
West	Unused	Vacant

#### 6. Proposal

Selected Subtype: Additional Residence for Farm Use

What is the purpose of the proposal?

Were asking if the current home can be lived in while building a new home. Once the new home is finished we'd demolish or decommisshon the current home.

What is the total floor area (m<sup>2</sup>) of 185 the proposed additional residence?

Describe the necessity for an additional residence for farm use and how it will support agriculture in the short or long term.

Not looking for additional residence for farm use. Just looking to leave it as is until new home is built.

Describe the rationale for the proposed location of the additional residence.

Provide the total area (m2) and a description of infrastructure necessary to support the additional residence.

Describe the total floor area (m2), type, number, and occupancy of all residential structures currently located on the property.

Approximately 185m2 residential house in the current property.

Proposal Map / Site Plan Lumsden Site Plan.pdf

Do you need to import any fill to No construct or conduct the proposed non-adhering residential use?

## 7. Optional Documents

Type Description File Name

AGENDA ITEM NO:	7.8
MEETING DATE:	July 3, 2025

#### STAFF REPORT - COVER SHEET

SUBJECT:	Miscellaneous Rates Bylaw Amendment	DATE:	June 23, 2025
DEPARTMENT:	Public Safety and Social Development	PREPARED BY:	Karen Stanton

#### 1. SUMMARY OF ISSUE:

A bylaw amendment has been prepared and is attached for Council's consideration. The amendment proposes increases to two existing fees and introduces two new fees for services provided at the RCMP Chilliwack Detachment:

Service	Chilliwack's current fee	Proposed Fee	Rationale
Photographs	\$1.50 each + \$5.00 shipping	\$50.00	Photos burned to disk; each file takes on average 1 hour (due to file size)
Court Orders	\$35.00 + \$0.50/page + other charges as applicable	\$45.00/hr	Disclosure of police files for civil and court cases. Staff time varies depending on number of files
Electronic Vetting on Audio/Video	n/a	\$55.00/hr	Previously, a transcribed document would suffice for court orders; however, requests for video and audio files are increasing. Vetting is time-consuming; costs not currently recovered
Photocopies	n/a	\$0.25/page	Aligns with other schedules within bylaw

The proposed fees reflect the true cost of the city to provide these services and are similar to those charged by other municipalities.

#### 2. RECOMMENDATION:

That "Miscellaneous Rates Bylaw Amendment Bylaw 2025, No. 5496" be given first and second reading.

That "Miscellaneous Rates Bylaw Amendment Bylaw 2025, No. 5496" be given third reading.

Karen Stanton, Director

**Public Safety and Social Development** 

#### **SCHEDULE "E"**

#### R.C.M.P. SERVICES – CHILLIWACK DETACHMENT

Motor Vehicle Traffic Accident Police Investigation Report (MV6020)	\$ 50.00
Police Reports (includes Break and Enter, and reports to outside agents)	\$ 50.00
Measurements at Accident Scene	\$ 25.00
Analyst Report	\$500.00
Mechanical Check on Vehicle Involved in Accident	\$ 50.00
Field Drawing at Accident Scene	\$ 30.00
Photographs	\$ 1.50 Each + \$5.00 50.00
	(Shipping Included)
Planned Drawing	\$ 35.00
Fingerprinting	\$ 55.00*
Police Information Check	\$ 55.00*
Police Information Check (Crime Free Multi-Housing)	\$ 0.00 **
Police Certificate for Visa Application	\$ 30.00
Criminal Injury Cost	\$ 35.00
Court Orders	\$ 35.00 45.00/hour + \$0.50 per

page (plus any additional charges as listed when applicable)

Electronic Vetting (Audio/Video)	\$55.00/hour
Photocopies	\$0.25/page
R.C.M.P. Security Clearance (enhanced)	\$ 300.00 *
City Identification Badge (photo)	\$ 25.00

- \* Bona fide volunteers as determined by the Officer in Charge, R.C.M.P. or designate, shall be exempt from fees charged under this bylaw for a "Police Information Check", "R.C.M.P. Security Clearance (enhanced)" and "Fingerprinting" where the service is directly related to an approved volunteer service.
- \*\* Persons applying for occupancy in properties registered in the Crime Free Multi-Housing Program shall be exempt from fees charged under this bylaw for a "Police Information Check" with a letter of authorization from the Crime Free Multi-Housing Program.

## City of Chilliwack

#### Bylaw No. 5496

	A bylaw to amend "Miscellaneous Rates Bylaw 2001, No. 2750"			
The C	ouncil of the City of Chilliwack in open meeting assembled, enacts as follows:			
1.	This bylaw may be cited as "Miscellaneous Rates Bylaw Amendment Bylaw 2025, No. 5496".			
2.	"Miscellaneous Rates Bylaw 2001, No. 2750" is hereby amended by deleting SCHEDULE "E" R.C.M.P. SERVICES – CHILLIWACK DETACHMENT in its entirety, and substituting with a new SCHEDULE "E" R.C.M.P. SERVICES – CHILLIWACK DETACHMENT, as attached.			
Recei	yed first and second reading on the yed third reading on the yed adoption on the			
	Mayor			
	Corporate Officer			

#### **SCHEDULE "E"**

#### R.C.M.P. SERVICES - CHILLIWACK DETACHMENT

Motor Vehicle Traffic Accident Police Investigation Report (MV6020)	\$ 50.00
Police Reports (includes Break and Enter,	
and reports to outside agents)	\$ 50.00
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Analyst Report	\$500.00
Mechanical Check on Vehicle Involved in Accident	\$ 50.00
Field Drawing at Accident Scene	\$ 30.00
Photographs	\$ 50.00 (Shipping Included)
Planned Drawing	\$ 35.00
Fingerprinting	\$ 55.00*
Police Information Check	\$ 55.00*
Police Information Check (Crime Free Multi-Housing)	\$ 0.00**
Police Certificate for Visa Application	\$ 30.00
Criminal Injury Cost	\$ 35.00
Court Orders	\$ 45.00/hour
Electronic Vetting (Audio/Video)	\$ 55.00/hour
Photocopies	\$ 0.25/page
R.C.M.P. Security Clearance (enhanced)	\$300.00*
City Identification Badge (photo)	\$ 25.00

- \* Bona fide volunteers as determined by the Officer in Charge, R.C.M.P. or designate, shall be exempt from fees charged under this bylaw for a "Police Information Check", "R.C.M.P. Security Clearance (enhanced)" and "Fingerprinting" where the service is directly related to an approved volunteer service.
- \*\* Persons applying for occupancy in properties registered in the Crime Free Multi-Housing Program shall be exempt from fees charged under this bylaw for a "Police Information Check" with a letter of authorization from the Crime Free Multi-Housing Program.

		AGENDA HEM NO:	7.13	_
		MEETING DATE.	June 17, 2025	_
	STAFF REPORT -	- COVER SHEET		
SUBJECT:	Updated Form and Character Design Guidelines (OCP00047 / RZ001805)	DATE:	June 10, 2025	
DEPARTMENT:	Planning	PREPARED BY:	Madelaine Peters / rk	_

#### 1. SUMMARY OF ISSUE:

In Spring 2024, Planning staff began a process to review and update the form and character design guidelines in the Official Community Plan (OCP) to improve their clarity and create a more predictable review process. This project was led by Urban Systems Ltd. in partnership with BÜRO47 architecture Inc, and involved site tours, analysis, and robust engagement with impacted Advisory Committees, key stakeholders, and the development community. As a result of this work, an OCP amendment has been prepared to update the design guidelines for mixed-use, residential, commercial, and industrial development, supported with a reformatting of the design guidelines for downtown. A concurrent text amendment to the Zoning Bylaw is also proposed to ensure zoning aligns with the updated form and character design guidelines. A transition period is also proposed to ensure in-stream form and character development permit applications will not be impacted by these changes.

#### 2. RECOMMENDATION:

That "Official Community Plan Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (OCP00047)

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (RZ001805)

Gillian Villeneuve
Director of Planning

# 3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

**Chief Administrative Officer** 

# STAFF REPORT ON UPDATED FORM AND CHARACTER DESIGN GUIDELINES (OCP00047 / RZ001805)

PREPARED BY:	Madelaine Peters	DATE:	June 10, 2025		
POSITION:	Senior Planner	DEPARTMENT:	Planning		

#### BACKGROUND

Planning staff identified the importance of reviewing and updating the City's form and character design guidelines and circulated a Request for Quotations in Spring 2024 to retain a consultant to undertake this work. Urban Systems Ltd. and BÜRO47architecture Inc were retained to undertake this work and consisted of a team of planners, urban designers, architects, landscape architect/CPTED specialists, illustrators and graphic designers. The project involved site tours, interviews, case study analysis, and committee and stakeholder workshops and interviews. This work is occurring before the Chilliwack 2050 OCP update in order to begin using the updated design guidelines before the end of 2025.

#### 2. DEVELOPMENT PERMITS

Local governments have the authority to designate development permit areas (DPA) in an Official Community Plan (OCP) to help achieve goals of the community. These areas identify locations that need special treatment for certain purposes including: the protection of development from hazards; establishing objectives for form and character in specified circumstances; or revitalization of a commercial use area.

Chilliwack has 10 DPAs and the focus of this project is to update the DPAs that regulate "form and character". These guidelines generally refer to the outward facing elements of a building such as landscaping, siting, circulation, building shape and exterior design. They are currently implemented through a mix of text based (DPA 5 - Urban Corridor, DPA 7 - Industrial) and graphic based formats (DPA 4 - Downtown, DPA 6 - Multi Unit/Mixed, DPA 10 - Coach House/Garden Suite).



#### 3. PROJECT APPROACH

Beginning the project in June 2024, the consultant's scope of work included several stages planned over the course of 12 months, broken down into phases:

 Phase 1: Project Initiation & Analysis (Spring - Fall 2024) Phase 2: Draft Design Guidelines (Fall 2024 - Winter 2025) WE ARE HERE Phase 3: Refine & Finalize (Winter - Spring 2025) Phase 4: Council Adoption (Spring - Summer 2025) PHASE 1 PHASE 4 PHASE 3 PHASE 2 · Refine & Finalize · Council Reading & Project Initiation · Draft Design the Guidelines Adoption of Plan Guidelines and Analysis ENGAGEMENT **ENGAGEMENT ENGAGEMENT** 

#### 3.1 Engagement

The engagement was designed to provide opportunities for industry stakeholders to be involved in the project, identify challenges, priorities, and potential solutions that could be addressed in the updated guidelines. To date, key engagement activities have included:

0	Site Tour:	Jul 2024
•	Industry Stakeholder Interviews:	Aug 2024
	Case Study Review and Interviews:	Sep 2024
•	3 Workshops (Staff, Committees, Council):	Oct 2024
0	Stakeholder World Café Event:	Mar 2025

#### 3.2 Summary of Feedback

Over the past 12 months, input has been provided from staff across various departments, members of the Design Review and Affordable Housing and Development Advisory Committees, Council, and industry stakeholders. Below is a summary of the input received during this engagement, categorized into common themes and ideas that has helped shape the updated guidelines:

#### Improve usability:

- · Streamline and reduce
- · Clear and concise
- Avoid repetition

#### Address local factors:

- Floodplain and water table
- CPTED principles
- Guideline gaps

#### Focus on main design goals:

- Street interface
- Site layout
- Priority locations

#### Use appropriate tool:

- Update zoning
- Keep guidelines as guidelines
- Align with OCP update

#### 4. UPDATED FORM AND CHARACTER DESIGN GUIDELINES

#### 4.1 Document Language, Visuals, and Structure

Each design guideline document is written in a consistent language and organized with a common structure to improve design guideline interpretation and usability.

#### • Language:

- Design guideline topics are structured to clearly communicate the design goals of the city, with intent statements identified at the beginning of each topic.
- Each design guideline is written as a clear and directive statement. Some are further reinforced with additional design instructions ("must", "should", "may").

#### • Visuals:

 Graphic illustrations are incorporated throughout each document and are meant to be simple and easy to read, ensuring they communicate guidelines well.

#### Structure:

- An administration page describes the area, justification, objectives, requirements, and any applicable exemptions (required by the LGA).
- Design guidelines are grouped into 4 themes by topic: site planning, building design, landscape, and lighting.

#### 4.2 Key Updates

Below is a summary of key updates to zoning, policies, and procedures to improve development permit review efficiency and help support the implementation of updated design guidelines.

- Amend Zoning Bylaw to support design guideline goals, responding to frequent variances, and supporting street activation.
- Incorporate common design review conditions into design guidelines or regulation.
- Incorporate CPTED (Crime Prevention Through Environmental Design) principles into design guidelines, with supplemental CPTED reports provided only as necessary on a caseby-case basis.
- Exempt murals from development permits and refer them through the Public Art Policy process.
- Exempt industrial development in Cattermole and locations along the Fraser River from requiring a development permit application.

#### 4.3 Committee Support

Staff presented the final draft of the updated form and character design guidelines and related changes to zoning, policies, and procedures, to the Affordable Housing and Development Advisory Committee (AHDC) on May 22<sup>nd</sup> and the Design Review Advisory Committee (DRAC) on June 10<sup>th</sup>. The following resolutions were made by each committee:

#### AHDC:

"That the Committee supports in principle the final form and character design guidelines as presented."

#### DRAC:

"That the Committee supports in principle the final form and character design guidelines as presented; and that the Committee recommends a using a 6 month transition period to phase in the new guidelines for in-stream development permit applications."

#### 5. NEXT STEPS

#### 5.1 Implementation and Monitoring

A transition period is proposed by staff to ensure in-stream form and character development permit applications are gradually brought into alignment with the new regulations. In order to support a smooth transition for in-stream development permit applications, staff recommend using a flexible approach when applying the new guidelines to these applications for the next 6 months. New development permit applications, including any resubmissions following a cancellation, withdrawal, or expiration, will be reviewed under the new regulations.

In addition, after approximately 1 year of implementation, staff propose to review the new regulations to address any unanticipated "housekeeping" matters. This would also include exploring other improvements to further enhance application review efficiency, such as potentially delegating development permit approval to staff.

#### 6. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

That "Official Community Plan Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (OCP00047)

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (RZ001805)

#### Substantiation:

This work delivers new form and character design guidelines for mixed-use, residential, commercial, and industrial development. Based on best practice and feedback received through stakeholder interviews and engagement, the updated form and character design guidelines have been prepared to improve guideline clarity, development permit review efficiency, and create a predictable review and approval process, while continuing to foster high quality design. Various zoning, policies, and procedures have also been updated to help support the implementation of the updated design guidelines.

#### 7. SOURCES OF INFORMATION:

- Design Review Advisory Committee (DRAC) Minutes June 10, 2025
- Affordable Housing & Development Advisory Committee (AHDC) Minutes May 22, 2025
- Development Application Review Team Minutes (DART) May 1, 2025
- Policy Directive K-15 (Chilliwack Public Art)



#### City of Chilliwack Notice of Public Hearing Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at chilliwack.com/live

# Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487 (OCP00047) Zoning Bylaw Amendment Bylaw 2025, No. 5488 (RZ001805)

**Applicant:** City of Chilliwack

**Purpose:** An Official Community Plan amendment has been prepared to update the form

and character design guidelines for mixed-use, residential, commercial, and industrial development, supported with a reformatting of the design guidelines

for downtown.

A concurrent text amendment to the Zoning Bylaw is proposed to ensure zoning

aligns with the updated form and character design guidelines.

#### How to share your feedback:



Attend the Public Hearing in person (8550 Young Road)



Mail or email our Legislative Services Department:

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: clerks@chilliwack.com

- Submissions will be accepted until 4:00 PM on June 30, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the
  official record.

Contact our Planning Department between Wednesday, June 18, 2025 and Wednesday, July 2, 2025 for a copy of the proposed bylaws at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.

Jacqueline Morgan, CMC Corporate Officer

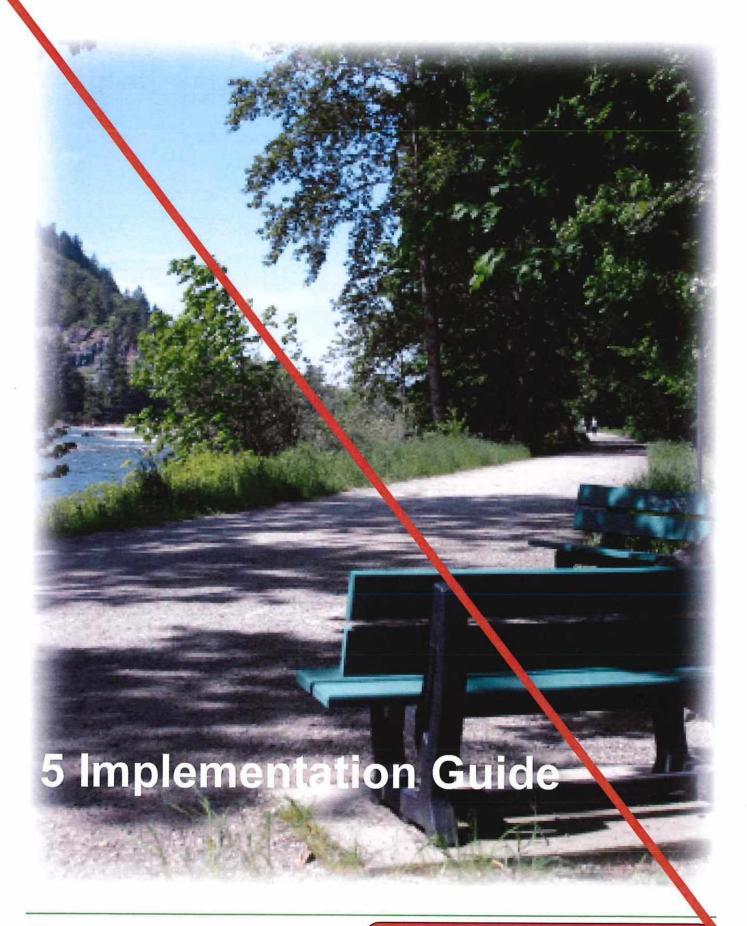
densification process, particularly in mixed use development and innovative site planning and building designs.

- Encourage high quality multi-family residential design through:
  - Development Permit Areas for form and character enhancement in the Downtown and other select areas
  - Multiple Family Infill Development Design Guidelines (Schedule C)
  - e.b. The design review process
- Implement, monitor, and update the City's Affordable Housing Strategy to:
  - Ensure housing policies are inclusive and address barriers to affordability;
  - Address housing needs for special need groups, including those with mental health issues, at-risk youth, and families and singles at risk of homelessness;
  - c. Pursue social housing development opportunities with available senior government programs for low-income households, especially families with children living below the poverty line, seniors requiring various levels of care, people with physical or mental disabilities, and street entrenched individuals:
  - Support community partnerships with public and private sectors and non-profit groups in future social housing endeavors; and
  - e. Encourage private sector initiatives in affordable market housing and special needs/ low income housing through an expedited rezoning/ approval process and flexible parking provisions; and consider innovative proposals that reduce building cost and housing prices/rents.
- Preserve existing residential stock and discourage their conversion to condominium units when the rental vacancy rate is less than 2%.

- Maintain the Building Maintenance and Occupancy Standards Bylaw to ensure all rental units are in safe and livable conditions, and not negatively affecting tenants' health or the appearance of the neighbourhood concerned.
- 6. Address seniors housing needs, including:
  - A comprehensive assessment of the diverse housing and care needs of the 65 and over population with regard to their living requirements, lifestyles and health status, and the ongoing aging trends;
  - Guiding principles for future seniors accommodation developments to ensure a network of support from relatives and service providers;
  - c. Consideration of working with community groups towards a long term strategy to help establish a continuous, consistent and adequate supply of seniors housing/care facilities;
  - d. Universal adaptable housing design (per BC building code) and other practices to enable independent living seniors to age in place, reduce injuries from falling, and facilitate speedy emergency response;
  - e. An evaluation of senior friendliness of neighbourhoods that have a large senior population, and recommendations to improve neighbourhood design, road/sidewalk/ crossing/traffic safety, signage and mobility.

#### **NEIGHBOURHOOD PLANNING**

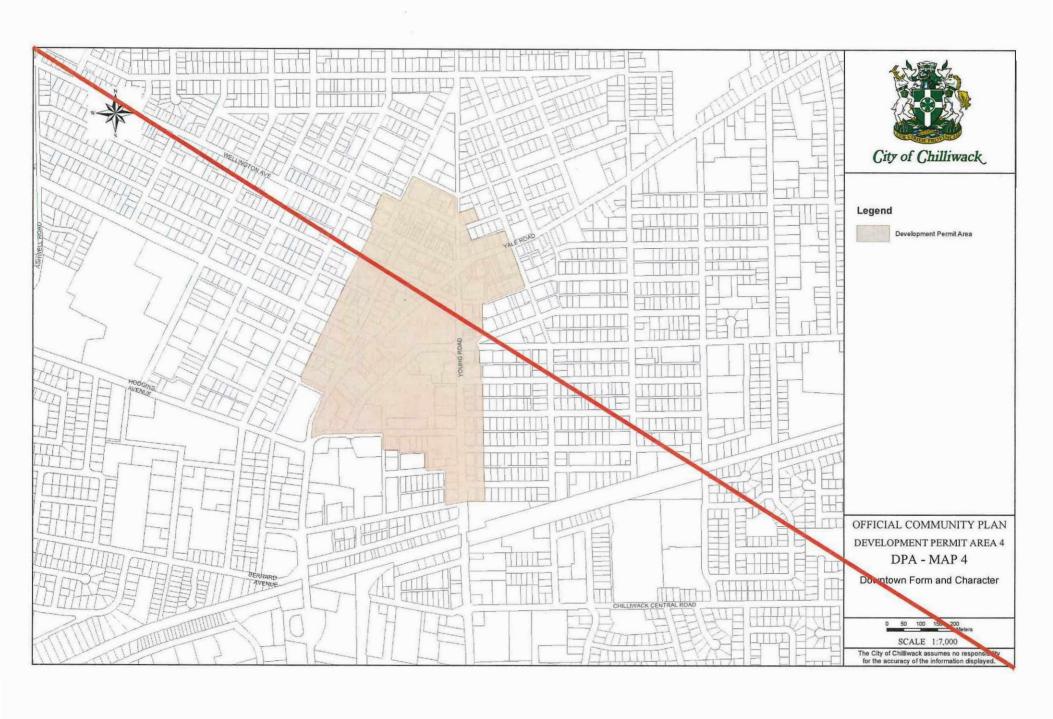
Neighbourhoods form part of our intimate living environment and shape our daily life. An urban neighbourhood is usually close to a commercial, employment or civic centre, and encourages local shopping and greater involvement in the local economy and neighbourhood activities. It offers more people-gathering places, diverse developments and a vibrant street life. It encourages walking and promotes healthy community development. On the other hand, a suburban neighbourhood offers quiet and spacious living but requires much traveling from

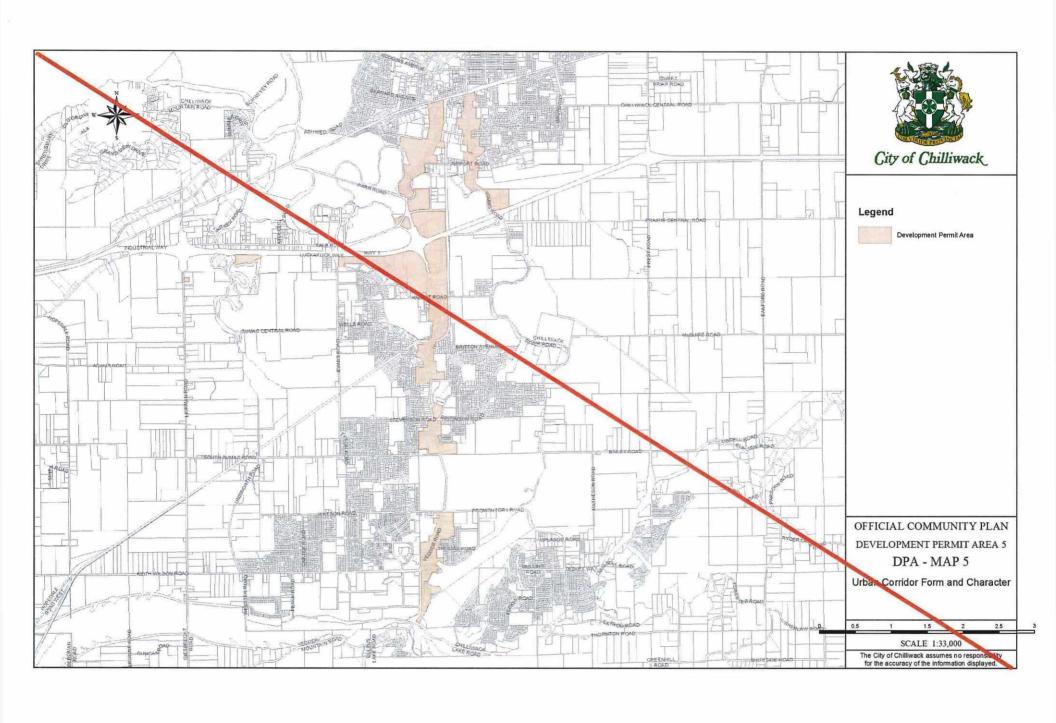


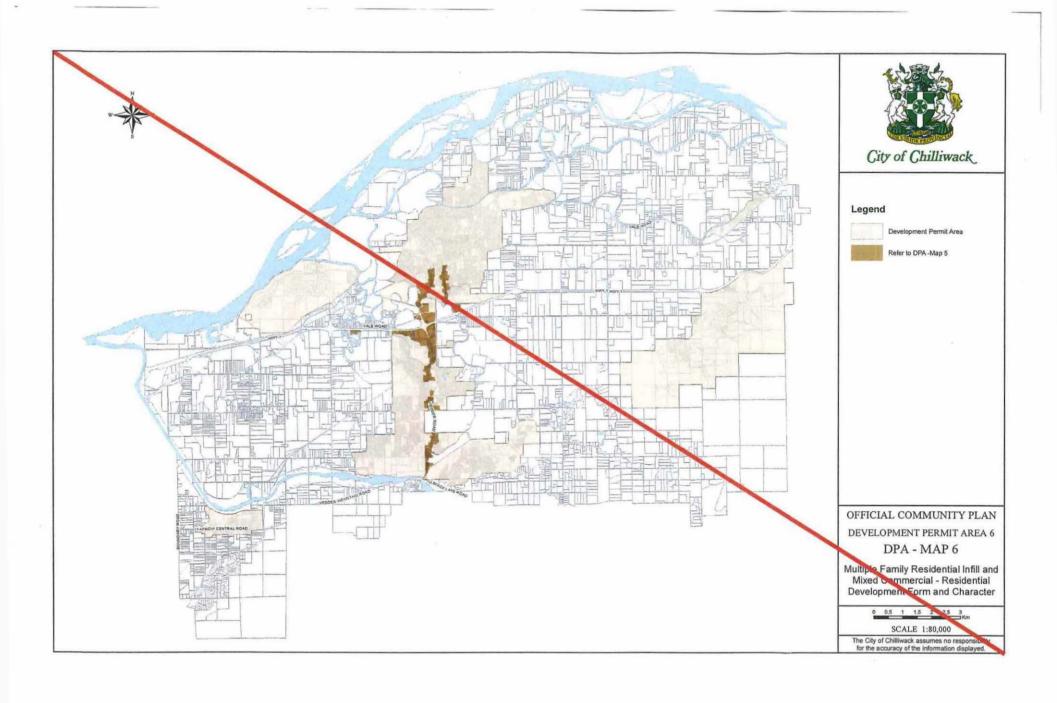
# development permit area

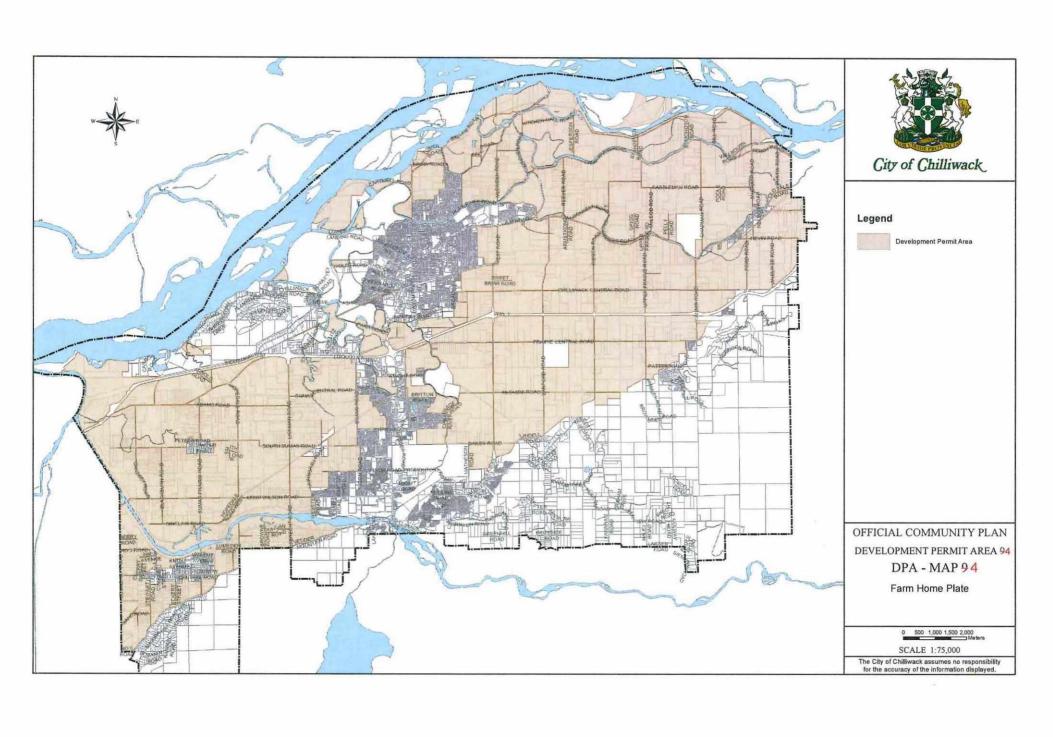
DPA Map 1A	Sardis Vedder Aquifer
DPA Map 1B	Vedder River Fan
DPA Map 1C	Municipal Watershed: Volkert Creek, Yarrow, Majuba Hill
DPA Map 1D	Municipal Watersheds: Elk Creek and Dunville Creek
DPA Map 2A	Promontory, Ryder Lake and Eastern Hillsides
DPA Map 2B	Little Mountain
DPA Map 2C	Chilliwack Mountain
DPA Map 2D	Majuba Hill and Vedder Mountain
DPA Map 4	Downtown Form and Character (Heritage Core and Contemporary Core)
DPA Map 5	Urban Corridor Form and Character
DPA Map 6	Multiple Family Residential Infill and Mixed Commercial
	Residential Development Form and Character
DPA Map 9 4	Farm Home Plate

\*\*\*Development Permit Area 3, 7, 8 and 10 cover the City of Chilliwack in its entirety.









# scheoples

Schedule A - Regional Context Statement

Schedule B - Downtown Design Guidelines Form and Character Design Guidelines

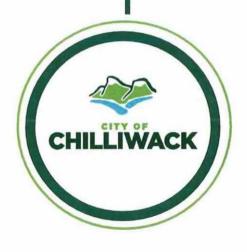
Schedule C Design Guidelines, Multi Family In ill Development

Schedule DC- Neighbourhood Plans

- 1. Downtown Land Use and Development Plan
- 2. Eastern Hillsides Comprehensive Area Plan
- 3. Agricultural Area Plan
- 4. Alder Neighbourhood Plan
- 5. Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- 6. Sardis Neighbourhood Plan
- 7. South Vedder Neighhourhood Plan
- 8. Yarrow Neighbourhood Plan

Schedule ED - Growth Projection Tables

(All Schedules are located at the end of the report.)



# DOWNTOWN DESIGN GUIDELINES

MARCH 2016

# DESIGN GUIDELINES



Commercial, Intensive/Multi-Family Residential, and Mixed Commercial - Residential Development













City of Chilliwack



(4) In each ZONE, the section titled 'LOT DIMENSIONS (MINIMUM)' sets out the specific use or situation to which the minimum LOT dimension applies on the left, and the minimum LOT dimension that applies to that use or situation to the right for the subject ZONE.

- (5) In each ZONE, the section titled 'DENSITY (MAXIMUM)' sets out the maximum DENSITY for the subject ZONE.
- (6) In each ZONE, the section titled 'LOT COVERAGE (MAXIMUM)' sets out the maximum LOT COVERAGE for the subject ZONE.
- (7) In each ZONE, the section titled 'FLOOR AREA RATIO (MAXIMUM)' sets out the maximum FLOOR AREA RATIO for the subject ZONE.
- (8) In each ZONE, the section titled 'SETBACKS (MINIMUM)' sets out the specific situation to which the minimum SETBACK applies in the column on the left, and the minimum SETBACK that applies in that situation in the columns to the right for the subject ZONE. In the heading for each column, the abbreviation FLL refers to FRONT LOT LINE, RLL refers to REAR LOT LINE, ISLL refers to INTERIOR SIDE LOT LINE, and ESLL refers to EXTERIOR SIDE LOT LINE.
- (9) In each ZONE, the section titled 'SITING' sets out specific siting requirements for the subject ZONE.
- (10) In each ZONE, the section titled 'BUILDING HEIGHT (MAXIMUM)' sets out the specific situation to which the maximum BUILDING HEIGHT applies on the left, and the maximum BUILDING HEIGHT that applies in that situation to the right for the subject ZONE.
- (11) In each ZONE, the section titled 'SPECIAL REGULATIONS' sets out the special regulations that apply within the subject ZONE.
- (12) Site specific permitted uses specified in this BYLAW are permitted only on the land whose legal description, as of the date of coming into force of this BYLAW, is that specified for the permitted use.

#### 4.06 ACCESSORY AND ANCILLARY USES

#### (1) ACCESSORY DWELLING UNIT

- (a) An ADU is permitted where the LOT is in a ZONE permitting an ACCESSORY DWELLING UNIT.
- (b) Only 1 ADU may be located on a LOT.
- (c) The ADU shall be one of the following types, as regulated herein and within the permitted uses and special regulations section of each ZONE:
  - (i) SINGLE DETACHED DWELLING
  - (ii) MANUFACTURED HOME
  - (iii) SECONDARY SUITE
  - (iv) COACH HOUSE
  - (v) GARDEN SUITE
  - (vi) PARK MODEL TRAILER
  - (vii) TEMPORARY FARM WORKER HOUSING
  - (viii) TOWNHOUSE ACCESSORY DWELLING UNIT
- (d) On properties within the Agricultural Land Reserve, ADUs are permitted in accordance with the Agricultural Land Commission Act and Regulations. On properties subject to the Agricultural Land Commission Act and ALR Regulations, an ADU is limited to a SECONDARY SUITE within the principal residence.
- (e) Despite 4.06(1)(a) and (b) should approval be granted by the ALC, additional ADUs may be permitted on a LOT in the approved built form prescribed as listed in section 4.06(1)(c).

(f) Where an interior staircase is provided for a COACH HOUSE, the staircase shall be located within an entrance foyer with a maximum area of 2m² in size designed for exterior access only (with no access into the ground floor uses).

(f)(g) GARDEN SUITES shall be limited to a maximum GROSS FLOOR AREA of 100m<sup>2</sup>.

(g)(h) The minimum LOT AREA required for a detached ADU shall be in accordance with the level of servicing of the LOT as follows:

- (i) Where the LOT is served by a septic tank, disposal field and private well, the minimum LOT AREA shall be 4000m<sup>2</sup>.
- (ii) Where the LOT is served by a septic tank, disposal field and COMMUNITY WATER SYSTEM, the minimum LOT AREA shall be 2000m<sup>2</sup>.
- (III) Where the LOT is served by a COMMUNITY SANITARY SEWER SYSTEM and COMMUNITY WATER SYSTEM, the minimum LOT AREA shall be the minimum set out for the ZONE in which the ADU is located.

#### (2) ACCESSORY HOME INDUSTRIAL

- (a) The use shall be ANCILLARY to a SINGLE DETACHED DWELLING and shall be contained within a BUILDING or STRUCTURE.
- (b) The use shall be conducted by no more than 2 employees.
- (c) The use and all associated equipment shall not occupy more than a total GROSS FLOOR AREA of 100m².
- (d) The use shall in no way indicate its presence from the exterior of any BUILDING or STRUCTURE on the LOT except for 1 SIGN in accordance with the regulations for COTTAGE INDUSTRY within the CITY "Sign Bylaw", as amended or replaced from time to time.
- (e) Adequate OFF-STREET PARKING shall be provided for the use such that no MOTOR VEHICLES shall be parked on-street.
- (f) The use shall be limited to the following activities:
  - (i) WAREHOUSING
  - (ii) manufacture of electrical and household appliances, furniture, sporting goods and clothing
  - (iii) sheet metal fabrication
  - (iv) maintenance, repair and sale of small machinery and engines
  - (v) sale and service of electrical equipment, MOTOR VEHICLE PARTS and industrial supplies
  - (vi) MOTOR VEHICLE repair
  - (vii) welding and machine shop.

#### (3) ACCESSORY HOME OCCUPATION

- (a) AHO may be permitted in accordance with the regulations, as detailed below:
  - (i) common to all DWELLING UNIT types:
    - (A) the use shall be ANCILLARY to a RESIDENTIAL USE and, except where it involves horticulture, it shall be contained within a BUILDING or STRUCTURE
    - (B) the use and all associated equipment shall not occupy more than a total GROSS FLOOR AREA of 30m<sup>2</sup>
    - (C) the use shall in no way indicate its presence from the exterior of any BUILDING or STRUCTURE on the LOT except for 1 SIGN in accordance with the CITY "Sign Bylaw", as amended or replaced from time to time

#### 4.07 REGULATIONS APPLICABLE TO ALL ZONES

#### (1) AGRICULTURAL LAND RESERVE

(a) Despite any other provisions of this BYLAW, all lands within the ALR are subject to the provisions of the Agricultural Land Commission Act, ALR Regulations thereto and Orders of the Commission (thereby not permitting the SUBDIVISION of land and the development of new Non-Farm uses unless approved by the ALC).

#### (2) CONSOLIDATION OF LOTS

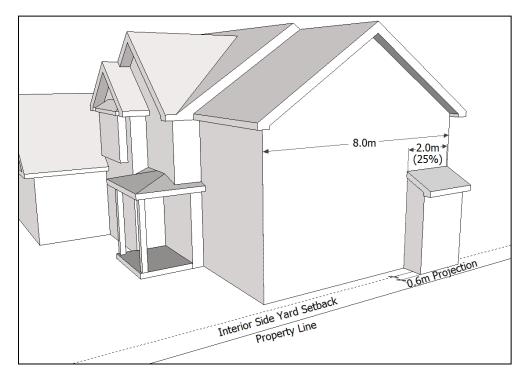
(a) Despite the minimum LOT AREA within any ZONE, 2 or more LOTS may be consolidated into 1 larger LOT.

#### (3) HEIGHT EXCEPTIONS AND SUPPLEMENTARY HEIGHT REGULATIONS

- (a) Except where limited in 3(b) below, the following STRUCTURES are exempt from the maximum BUILDING HEIGHTS permitted in the ZONE:
  - (i) industrial cranes
  - (ii) storage silos and grain elevators, amateur or private non-commercial radio and television antennas
  - (iii) church spires, belfries and domes
  - (iv) monuments
  - (v) chimneys
  - (vi) power poles, lighting poles and flag poles
  - (vii) fire-hose drying towers
  - (viii) windmills
  - (ix) balloon type SIGNS
  - (x) telecommunication antenna STRUCTURES
  - (xi) Rooftop access structures such as stairwells and elevator shafts, provided the placement of such infrastructure is central to the roof of the building
  - (x)(xii) Rooftop railings, arbours, trellises, or similar freestanding landscape features related to outdoor COMMON AMENITY AREAS.
- (b) Within the flight path of the Chilliwack Municipal Airport, the maximum HEIGHT of BUILDINGS and STRUCTURES permitted elsewhere in the BYLAW shall be subject to Transport Canada Regulations.

#### (4) SITING EXCEPTIONS

- (a) Eaves, gutters, cornices, bays with or without windows, BALCONIES, porches, ramps, canopies, staircases, chimneys and mechanical heating, cooling and ventilation equipment, and BUILDING features functionally similar to them, may project into required SETBACK to a maximum as specified in 4(b) below, when measured horizontally.
- (b) Projections measured horizontally shall not exceed:
  - (i) 0.6m into an INTERIOR SIDE YARD LOT LINE SETBACK
  - (ii) 1.5m into a FRONT <u>YARD-LOT LINE</u> or EXTERIOR SIDE <u>YARD-LOT LINE</u> SETBACK
  - (iii) 2m into a REAR YARD-LOT LINE SETBACK.
- (c) Except for eaves, gutters and cornices, in no case shall the total linear dimension of projections into a SIDE <u>YARD-LOT LINE</u> SETBACK area exceed 25% of the linear dimensions of the wall from which the projection occurs, as shown in the following diagram:



- (d) In-ground swimming pools, permanent swimming pools not exceeding 1.5m above GRADE, decks not exceeding 0.5m above GRADE, walkways not exceeding 0.5m above GRADE and underground STRUCTURES not exceeding 0.5m above GRADE, may be sited as an ANCILLARY STRUCTURE within the ZONE. In-ground swimming pools, permanent swimming pools exceeding 1.5m, decks exceeding 0.6m above GRADE and walkways exceeding 0.6m above GRADE may be sited as an ANCILLARY STRUCTURE within the Zone.
- (e) Where permitted by the BUILDING CODE, a fire escape may extend into a required rear or exterior side yard only; and to a maximum distance of 1.5m.
- (f) On THROUGH LOTS where both FRONT and REAR LOT LINES ADJOIN a HIGHWAY, the REAR SETBACK for BUILDINGS and STRUCTURES shall be determined as the greater of the FRONT SETBACK and REAR SETBACK as required for that BUILDING or STRUCTURE. This requirement does not apply to ANCILLARY STRUCTURES not exceeding 2.5m in HEIGHT or to LOTS which, owning to topographic or legal access constraints, cannot obtain access from the second HIGHWAY.
- (g) Where the surface of a porch, BALCONY or deck projection does not exceed 3m above GRADE, the minimum REAR SETBACK distance may be reduced by not more than 2.5m, provided that the reduction shall apply only to the projecting feature and not to any roof or sunlight control projection; and providing the projecting feature conforms to the requirements of the BUILDING Code and does not interfere with any underground services.

#### (6) AMENITY AREA STANDARDS

(a) These standards are for the development and maintenance of amenity areas required in connection with residential development of 3 or more DWELLING UNITS per LOT or BUILDING site. All such amenity areas shall conform to the following standards.

#### (b) General Requirements:

- (i) amenity areas shall be located on the same LOT as the DWELLING UNITS served
- (ii) OFF-STREET PARKING or OFF-STREET LOADING areas, driveways and service areas shall not be counted as amenity areas
- (iii) all LANDSCAPING and recreational FACILITIES shall be maintained in perpetuity
- (iv) slope of an amenity area shall not exceed 3% but multi-level areas may be interconnected by means of stairs and ramps
- (v) guard railings or other protective devices shall be erected for above-ground locations
- (v)(vi) excluding bareland strata developments, a minimum 1.5m wide

  SIDEWALK, HARD SURFACE is required to provide access from the public HIGHWAY or public sidewalk to each DWELLING UNIT or BUILDING, and is clearly separated from any roadways, driveways, parking lots, MANEUVERING AISLES, and PARKING SPACES, by curbing.

#### (c) COMMON AMENITY AREAS

- (i) shall be provided for all RESIDENTIAL USE with 10 DWELLING UNITS or more, including small LOT strata and developments with multiple DWELLING UNITS on a single LOT, in accordance with the following:
  - (A) the minimum required area shall be 150m² plus an additional 5m² per DWELLING UNIT
  - (B) the minimum dimension of not less than 6m and a minimum contiguous area no less than 200m<sup>2</sup>
  - (C) have a grade of 3% or less.
- (ii) Shall be unenclosed areas free, common and readily accessible to all tenants residents and may include any of the following:
  - (A) any combination of lawn, LANDSCAPING, flagstone, concrete, asphalt or other serviceable dust free surfacing
  - (B) recreational FACILITIES such as outdoor swimming pools, tennis courts, horseshoe pitches, etc.
  - (C) the entire roof area of an APARTMENT BUILDING or STRUCTURE for OFF-STREET PARKING provided that:
    - (I) the area shall be accessible through the internal circulation system of the STRUCTURE for multi-unit use
    - (II) areas occupied by vents or other mechanical and operational equipment shall be surrounded by LANDSCAPING and screened from view
    - (III) no area so used shall be located within 5m of any window serving a DWELLING UNIT (IV)(III) areas so used shall have a minimum dimension of 3m.

#### (d) Outdoor COMMON AMENITY AREAS

- (i) Shall be unenclosed areas free, common and readily accessible to all tenants residents and may include any of the following:
  - (A) any combination of lawn, LANDSCAPING, flagstone, concrete, asphalt or other serviceable dust free surfacing

(B) recreational FACILITIES such as outdoor swimming pools, tennis courts, horseshoe pitches, etc.

- (C) the entire roof area of an APARTMENT BUILDING or STRUCTURE for OFF-STREET PARKING provided that:
  - (I) the area shall be accessible through the internal circulation system of the STRUCTURE for multi-unit use
  - (II) areas occupied by vents or other mechanical and operational equipment shall be surrounded by LANDSCAPING and screened from view

<del>(III) </del>	o area so used shall be located within 5m of any window serving a DWELLING UNI	Ŧ
<del>(IV)</del> (III	areas so used shall have a minimum dimension of 3m.	

- (e) Indoor COMMON AMENITY AREAS
  - (i) shall be enclosed areas of a STRUCTURE for multi-unit RESIDENTIAL USE or ANCILLARY STRUCTURE, free, common and readily accessible to all residents by way of the internal circulation system of the STRUCTURE or enclosed walkways. Indoor COMMON AMENITY AREAS may include any of the following:
    - (A) covered swimming pool
    - (B) gymnasiums including racquetball and other courts
    - (C) games rooms
    - (D) saunas and exercise rooms.
- (f) PRIVATE AMENITY AREAS shall be unenclosed areas located adjacent to the individual DWELLING UNIT served:
  - (i) where located on ground level, a PRIVATE AMENITY AREA not less than 15m<sup>2</sup> in area shall be provided for and contiguous to each GROUND ORIENTED DWELLING UNIT
  - (ii) where located above ground a PRIVATE AMENITY AREA of not less than 5m<sup>2</sup> in area and having minimum dimensions of not less than 1.5m shall be provided for and contiguous to each DWELLING UNIT
  - (iii) when located on ground level, in association with <u>aan ACCESSORY DWELLING UNIT</u>,

    TOWNHOUSE or APARTMENT RESIDENTIAL USE, such area shall be of such size and shape
    that a rectangle included within it shall have a minimum dimension of 3m
  - (iv) when located above ground or as a BALCONY or deck, such area shall be of such size and shape that a rectangle included within it shall have a minimum dimension of 1.5m
  - (v) each such area shall be accessible to only 1 DWELLING UNIT and shall be for the exclusive use of the occupants thereof
- (g) Storage Lockers, where required in association with an APARTMENT RESIDENTIAL USE, shall be located in central areas inside the BUILDING conveniently located and directly accessible or accessible by elevator from either the ground floor or parking level entrance, and shall have the following minimum dimensions:

(i) HEIGHT 1.2m
 (ii) Length 2m
 (iii) Width 1m

#### (7) SMALL-SCALE, MULTI-UNIT HOUSING

(a) 3 or 4 DWELLING UNITS are considered intensive residential and are permitted on LOTS that meet the following criteria:

(i) Within an AL, AR, AS, RR, R1-A, R1-B, R1-C, R3, M1-A ZONE, or in the SINGLE DETACHED DWELLING and DUPLEX areas of the following COMPREHENSIVE DEVELOPMENT ZONES:

- (A) CD-9, CD-11, CD-14, CD-16, CD-19, or CD-21;
- (ii) Within the urban growth boundary;
- (iii) Connected to COMMUNITY WATER SYSTEM and COMMUNITY SANITARY SEWER SYSTEM;
- (iv) Less than 4,050m<sup>2</sup> in area;
- (v) Not protected by a Heritage Designation Bylaw as of December 7, 2023;
- (vi) Not within a designated transit-oriented area; and,
- (vii) Where an extension has not been granted by the Ministry.
- (b) The maximum number of DWELLING UNITS on a LOT is:
  - (i) 3 units on LOTS less than or equal to 280m<sup>2</sup> in area; or,
  - (ii) 4 units on LOTS greater than 280m<sup>2</sup> in area.
- (c) DWELLING UNITS are permitted in any combination of the following forms:
  - (i) ACCESSORY DWELLING UNIT in the form of SECONDARY SUITES, COACH HOUSES, or GARDEN SUITES;
  - (ii) SINGLE DETACHED DWELLING, which may contain one SECONDARY SUITE;
  - (iii) DUPLEX, which may contain one SECONDARY SUITE per DUPLEX unit;
  - (iv) TOWNHOUSE, which may contain one SECONDARY SUITE per TOWNHOUSE unit; and,
  - (v) APARTMENT, including SMALL UNIT APARTMENT.
- (d) In each LOT'S ZONE, the sections titled 'LOT COVERAGE (MAXIMUM)', 'FLOOR AREA RATIO (MAXIMUM)', 'SETBACKS (MINIMUM)', 'SITING', and 'BUILDING HEIGHT (MAXIMUM)' sets out the regulations.
  - (i) Where a LOT is in the AL, AR, AS, or RR ZONE, it shall meet the sections listed in (d) above in the R1-A ZONE.
  - (ii) Where a LOT'S ZONE does not contain regulations for a detached ACCESSORY DWELLING UNIT, it shall meet the sections listed in (d) above in the R1-A ZONE.
- (e) GENERAL REQUIREMENTS:
  - (i) Where a LOT has LANE access, all vehicle access, including parking, must be from the LANE.
  - (ii) Where a LOT does not have LANE access, the maximum number of driveways permitted is one, except on a LOT with one DUPLEX or two or more SINGLE DETACHED DWELLINGS that is greater than 20m in width.
  - (iii) A driveway may have a maximum width of 6m total paved area extending from the FRONT LOT LINE or EXTERIOR SIDE LOT LINE to the GARAGE on the LOT, except that on LOTS less than 12m in width the driveway is limited to a maximum width of 4m at the FRONT LOT LINE or EXTERIOR SIDE LOT LINE, but may taper up to a maximum width of 6m.
  - (iv) Notwithstanding other regulations of this BYLAW:
    - (A) The FLOOR AREA RATIO must not exceed 0.75.
    - (A)(B) More than one ACCESSORY DWELLING UNIT may be located on a LOT.
    - (B)(C)One OFF-STREET PARKING SPACE is required for each ACCESSORY DWELLING UNIT, regardless the number of bedrooms.
    - (C)(D)An OFF-STREET LOADING SPACE is not required.

SECTION 4 GENERAL PROVISIONS

- (D)(E) Except for enclosed tandem parking configurations, all required OFF-STREET PARKING SPACES may be located in a GARAGE, provided the GARAGE width is no less than 6.2m.
- (E)(F) One unenclosed OFF-STREET PARKING SPACE per LOT is required for visitor parking where two DUPLEXES are on a LOT.
- (G) A PRIVATE AMENITY AREA must be provided for an ACCESSORY DWELLING UNIT.
- (H) All PRIVATE AMENITY AREAS must be provided on the ground level.

#### 4.09 FENCING, LANDSCAPING, SCREENING

#### (1) FENCES

- (a) LIVESTOCK Fences:
  - (i) fences shall not be constructed of barbed wire nor electrified, unless located in a ZONE permitting the raising of LIVESTOCK
  - (ii) electrified fences may not be located along LOT LINES adjacent to a Residential ZONE or a ZONE readily permitting public access
- (b) SECURITY FENCES are permitted in all ZONES but, barbed wire or other potentially injurious elements shall be at least 2m above ground.
- (c) A SECURITY FENCE shall be provided around all uses which could constitute a hazard.

#### (2) LANDSCAPING

- (a) PERIMETER SCREENING AND LANDSCAPING OF VEHICULAR USE AREAS
  - (i) the following LANDSCAPING requirements shall apply to any outdoor area for vehicular use that includes the following:
    - (A) Any parking LOT containing 10 or more PARKING SPACES
    - (B) VEHICLE STORAGE COMPOUNDS
    - (C) OFF-STREET LOADING areas
    - (D) MOTOR VEHICLE sales LOTs.
  - (ii) where an outdoor vehicular use area adjoins a public HIGHWAY, a LANDSCAPING strip shall be provided on the property between the vehicular use area and the public HIGHWAY. Any of the following options or a combination of them, may be employed:
    - (A) a 2m or wider landscape strip planted with a minimum of 1 tree and 5 shrubs per 10m of HIGHWAY FRONTAGE, excluding points of access or egress
    - (B) a 2m or wider landscape strip planted with a minimum of 1 tree per 3m of HIGHWAY FRONTAGE, excluding driveways and walkway openings
    - (C) despite (2)(a)(ii)(A) and (B), the LANDSCAPING strip may be reduced to 1.5m in width if the vehicular area has a minimum grade drop of 0.9m from the public HIGHWAY and is planted in accordance with the above
    - (D) a 7.5m or wider strip of existing woodlands
    - (E) no more than 15% of the LANDSCAPING can be covered with impervious surface.
- (b) LANDSCAPING FOR MULTI-UNIT AND INTENSIVE RESIDENTIAL DEVELOPMENT
  - (i) minimum LANDSCAPING requirements for front SETBACK area shall be:
    - (A) 40% of the front SETBACK area shall have no impervious surfaces or vehicular use

SECTION 4 GENERAL PROVISIONS

(iv) masonry or concrete walls exceeding 1.2m in HEIGHT may require a BUILDING PERMIT

- (v) view obstructing fences shall consist of structurally suitable new construction materials and may require a BUILDING PERMIT if they exceed 2m in HEIGHT.
- (i) Where an INDUSTRIAL ZONE ADJOINS the Trans-Canada Highway No. 1, a SCREENING of 2.5m in HEIGHT shall be required along those portions of the common property line where BUILDINGS are not constructed to the LOT LINE.
- (j) In commercial, industrial, and multi-unit and intensive residential, and mixed-use ZONES, all mechanical, electrical, communication, air conditioning or other equipment shall be screened from view from the street by a HEIGHT equal to the item being screened.

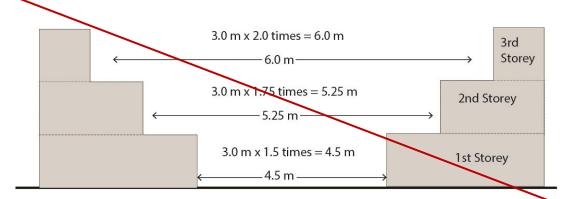
#### (4) SCREENING, FENCING AND LANDSCAPING MAINTENANCE

- (a) REGISTERED OWNERS, or their agents, shall be responsible for the maintenance of fences and walls required in this BYLAW to ensure the following:
  - (i) fences and walls must serve the purpose for which they were constructed and must present a neat and orderly appearance
  - (ii) Site maintenance shall include:
    - (A) structural repairs or replacement
    - (B) painting
    - (C) clearing of litter or debris.
- (b) Property owners, or their agents, shall be responsible for the maintenance of vegetation SCREENING and LANDSCAPING in a healthy, growing condition to present a neat and orderly appearance.
  - (i) Site maintenance shall include:
    - (A) watering
    - (B) weeding
    - (C) pruning
    - (D) pest control
    - (E) replacement of dead or diseased plant materials
    - (F) clearing of litter or debris.
- (c) CITY is authorized to inspect and enforce all fencing, SCREENING and LANDSCAPING plans accepted by the Planning and Strategic Initiatives Department or any changes to the approved plans.

#### (8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a "strata" development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

```
(ii) 1st STOREY = SETBACK multiplied by 1.5
(iii) 2nd STOREY = SETBACK multiplied by 1.75
(iii) 3rd STOREY = SETBACK multiplied by 2
```



Example of two buildings oriented side by side, so ISLL would apply.

(a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located faceto-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	10m
(b) URBAN ANCILLARY USES	4m

#### (10) SPECIAL REGULATIONS

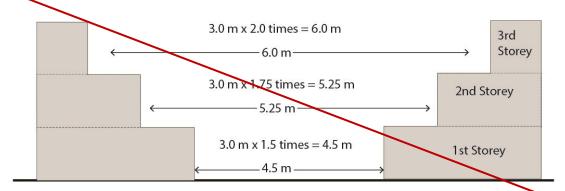
- (a) URBAN ANCILLARY USES shall be limited to:
  - (i) the keeping of PETS not exceeding 3 in number, and
  - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) Where a DWELLING UNIT is served by an internal road (such as within a strata development) each unenclosed OFF-STREET PARKING SPACE must have a minimum length of 6m and a minimum width of 2.6m.
- (d) A DUPLEX may only be permitted in conjunction with a TOWNHOUSE development.

**Review General Regulations for Additional Development Requirements** 

#### (8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a strata development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

```
(i) 1st STOREY = SETBACK multiplied by 1.5
(i) 2nd STOREY = SETBACK multiplied by 1.75
(ii) 3rd STOREY = SETBACK multiplied by 2
```



- Example of two buildings oriented side by side, so ISLL would apply.
- (a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located faceto-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	7.5m
(b) URBAN ANCILLARY USES	4m

#### (10) SPECIAL REGULATIONS

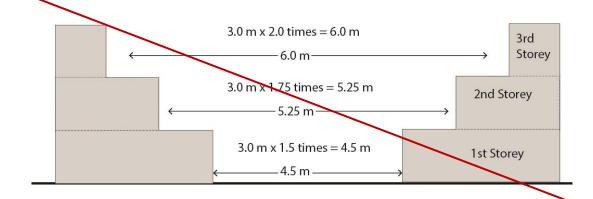
- (a) URBAN ANCILLARY USES shall be limited to:
  - (i) the keeping of PETS not exceeding 3 in number, and
  - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) Where a DWELLING UNIT is served by an internal road (such as within a strata development) each unenclosed OFF-STREET PARKING SPACE must have a minimum length of 6m and a minimum width of 2.6m.
- (d) A DUPLEX may only be permitted in conjunction with a TOWNHOUSE development.

**Review General Regulations for Additional Development Requirements** 

#### (8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a "strata" development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

```
(ii) 1st STOREY = SETBACK multiplied by 1.5
(iii) 2nd STOREY = SETBACK multiplied by 1.75
(iii) 3rd STOREY = SETBACK multiplied by 2
```



(a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located face-to-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required

when the DWELLING UNITS are located side-by-side.

-Example of two buildings oriented side by side, so ISLL would apply.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	10m
(b) URBAN ANCILLARY USE	4m

#### (10) SPECIAL REGULATIONS

- (a) URBAN ANCILLARY USES shall be limited to:
  - (i) the keeping of PETS not exceeding 3 in number, and
  - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) Where a DWELLING UNIT is served by an internal road (such as within a strata development) each unenclosed OFF-STREET PARKING SPACE must have a minimum length of 6m and a minimum width of 2.6m.
- (d) The minimum number of OFF-STREET PARKING SPACES required for SECONDARY SUITES must include signage to designate them for sole use of the tenant of the SECONDARY SUITE.
- (e) A minimum of 0.2 visitor parking stalls are required to be provided for each TOWNHOUSE ACCESSORY DWELLING UNIT in addition to the minimum number of visitor parking stalls required

## 8.11 R5 (LOW RISE APARTMENT) ZONE

#### (1) PERMITTED USES

#### **PRINCIPAL USES**

- (a) APARTMENT
- (b) ASSISTED LIVING RESIDENCE
- (c) BOARDING HOUSE
- (d) INDEPENDENT LIVING HOUSING

#### **ANCILLARY USES**

- (e) ACCESSORY HOME OCCUPATION
- (f) OFF-STREET PARKING
- (g) OFF-STREET PARKING STRUCTURE
- (h) SUPPORTIVE RECOVERY HOME
- (i) URBAN ANCILLARY USES

#### (2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	<del>700m²</del>
(b) APARTMENT or BOARDING HOUSE (containing 5 or more DU)	<del>1000m²</del>
(c) ASSISTED LIVING RESIDENCE	<del>1000m²</del>
(d) INDEPENDENT LIVING HOUSING	<del>1000</del> m²
<u>USE</u>	MINIMUM LOT AREA
(a) All uses	<u>1000m²</u>

#### (3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	<del>25m</del>	<del>30m</del>
(b) All other uses	<del>30m</del>	<del>30m</del>
<u>USE</u>	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) All uses	<u>30m</u>	<u>30m</u>

#### (4) DENSITY (MAXIMUM)

(a) APARTMENT
 (b) APARTMENT including SMALL UNIT APARTMENTS
 (c) INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE
 225 DU per ha

#### (5) LOT COVERAGE (MAXIMUM)

(a) RESIDENTIAL USE, including associated OFF-STREET PARKING STRUCTURE 50% N/A

(b) URBAN ANCILLARY USES

15% or 30m<sup>2</sup> per DU, whichever is less

#### (6) FLOOR AREA RATIO (MAXIMUM)

(a) N/A

#### (7) SETBACKS (MINIMUM)

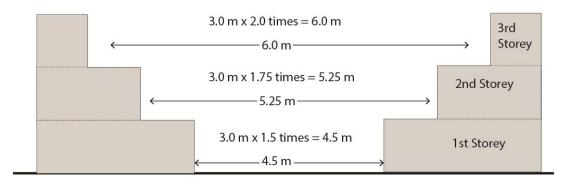
	USE	USE FLL RLL		<u>ISLL</u>	ESLL	
<del>(a)</del>	APARTMENT or BOARDING HOUSE (containing 4 or fewer DWELLING UNITS)	<del>6m</del>	<del>6m</del>	— 3m	<del>6m</del>	
<del>(b)</del>	APARTMENT or BOARDING HOUSE (CONTAINING 5 or more DWELLING UNITS)	<del>6m</del>	<del>6m</del>	<del>6m</del>	<del>6m</del>	
<del>(c)</del>	ASSISTED LIVING RESIDENCE or INDEPENDENT LIVING HOUSE	<del>6m</del>	<del>6m</del>	<del>6m</del>	<del>6m</del>	
<del>(d)</del>	-URBAN ANCILLARY USES	<del>6m</del>	——1m	— 1m	—4.5m	
<del>(e)</del>	OFF-STREET PARKING STRUCTURE not exceeding 3m above GRADE	<del>6m</del>	—0m	— <del>0m</del>	<del>- 4.5m</del>	
(f) Despite (a) above, where a STRUCTURE for RESIDENTIAL USE has a PRIVATE AMENITY AREA adjacent to an ISLL, the required minimum SETBACK to the STRUCTURE shall be no less than 4.5m  (g) Despite (b) above, the required SETBACK to an ISLL shall increase by 0.75m per STOREY						
(g)		L shall incr	ease by 0.75	m per STOI	REY	
<del>(g)</del>		L shall incr	ease by 0.75	m per STOF	REY	
<del>(g)</del>	Despite (b) above, the required SETBACK to an IS	L shall incr	ease by 0.75	m per STOF	ESLL	
	Despite (b) above, the required SETBACK to an ISbeyond the third STOREY to a maximum of 9m			·		
<u>(a)</u>	Despite (b) above, the required SETBACK to an ISbeyond the third STOREY to a maximum of 9m  USE	FLL	RLL	ISLL	<u>ESLL</u>	
(a) (b)	Despite (b) above, the required SETBACK to an IS beyond the third STOREY to a maximum of 9m  USE  RESIDENTIAL USE	FLL 6m	RLL 6m	ISLL 6m	ESLL 6m	
(a) (b) (c)	Despite (b) above, the required SETBACK to an IS beyond the third STOREY to a maximum of 9m  USE  RESIDENTIAL USE  URBAN ANCILLARY USES  OFF-STREET PARKING STRUCTURE located	FLL 6m 6m 1m	<u>RLL</u> <u>6m</u> <u>1m</u>	<u>ISLL</u> <u>6m</u> <u>1m</u>	<u>ESLL</u> <u>6m</u> <u>4.5m</u>	

#### (8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a strata development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

\*as defined in the CITY "Floodplain Regulation Bylaw", as amended.

(i) 1st STOREY = SETBACK multiplied by 1.5
(ii) 2nd STOREY = SETBACK multiplied by 1.75
(iii) 3rd STOREY = SETBACK multiplied by 2



Example of two buildings oriented side by side, so ISLL would apply.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) APARTMENT or BOARDING HOUSE	<del>17.5m</del>
(b) INDEPENDENT LIVING HOUSING OF ASSISTED LIVING RESIDENCE	<del>17.5m</del>
(c) URBAN ANCILLARY USES OF OFF-STREET PARKING STRUCTURE	
(i) on a LOT less than 1000m² in area	<del>4m</del>
<del>(ii) on a LOT 1000m<sup>2</sup> or greater in area</del>	<del>6m</del>
<u>USE</u>	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	<u>17.5m</u>
(b) URBAN ANCILLARY USES	
(i) on a LOT less than 1000m <sup>2</sup> in area	4 <u>m</u>
(ii) on a LOT 1000m <sup>2</sup> or greater in area	6 <u>m</u>

#### (10) SPECIAL REGULATIONS

- (a) Despite (2) and (3) above, where bare land strata LOTS are created within a strata development, the number of strata LOTS shall be determined on the basis of the overall strata development, while the strata LOT AREA and dimensions shall be equivalent to the siting area as defined in (8) above.
- (b) URBAN ANCILLARY USES shall be limited to:
  - (i) the keeping of household PETS not exceeding 3 in number, and
  - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (c) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (d) A minimum of 50% of all new APARTMENT units must be built to the Adaptable Housing Standards of the BC BUILDING Code.

## 8.12 R6 (MID RISE APARTMENT) ZONE

#### (1) PERMITTED USES

#### **PRINCIPAL USES**

- (a) APARTMENT
- (b) ASSISTED LIVING RESIDENCE
- (c) BOARDING HOUSE
- (d) INDEPENDENT LIVING HOUSING

#### **ANCILLARY USES**

- (e) ACCESSORY HOME OCCUPATION
- (f) OFF-STREET PARKING
- (g) SUPPORTIVE RECOVERY HOME
- (h) OFF-STREET PARKING
- (i) URBAN ANCILLARY USES

#### (2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	<del>700m²</del>
(b) APARTMENT or BOARDING HOUSE (containing 5 or more DU)	<del>1000m²</del>
(c) ASSISTED LIVING RESIDENCE	1000m²
(d) INDEPENDENT LIVING HOUSING	1000m²
<u>USE</u>	MINIMUM LOT AREA
(a) All uses	<u>1000m²</u>

## (3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	<del>20m</del>	<del>30m</del>
(b)—APARTMENT or BOARDING HOUSE (containing 5 or more DU)	<del>30m</del>	<del>30m</del>
(c) ASSISTED LIVING RESIDENCE or INDEPENDENT LIVING HOUSING	<del>30m</del>	<del>30m</del>
<u>USE</u>	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) All uses	<u>30m</u>	<u>30m</u>

#### (4) DENSITY (MAXIMUM)

(a) APARTMENT
 (b) APARTMENT including SMALL UNIT APARTMENTS
 (c) INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE
 250 DU per ha

#### (5) LOT COVERAGE (MAXIMUM)

- (a) RESIDENTIAL USE, including associated OFF-STREET PARKING STRUCTURE——N/A——50%
- (b) URBAN ANCILLARY USES or OFF-STREET PARKING STRUCTURE 15%
- (c) INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE 60%

#### (6) FLOOR AREA RATIO

(a) N/A

#### (7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL		
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DWELLING UNITS	<del>6m</del>	<del>6m</del>	<del>3m</del>	<del>6m</del>		
(b) APARTMENT or BOARDING HOUSE (CONTAINING 5 or more DWELLING UNITS)	<del>6m</del>	<del>6m</del>	<del>6m</del>	<del>6m</del>		
(c) INDEPENDENT LIVING HOUSING OF ASSISTED LIVING RESIDENCE	<del>6m</del>	<del>6m</del>	<del>6m</del>	<del>6m</del>		
(d) URBAN ANCILLARY USES	<del>6m</del>	— 1m	<del>1m</del>	<del>- 4.5m</del>		
(e)—OFF-STREET PARKING STRUCTURE not exceeding 3m above GRADE	<del>6m</del>	—— <del>0</del> m	— 0m	<del>4.5m</del>		
(f) where a PRIVATE AMENITY AREA abuts ISLL			<del>-4.5m</del>			
(g) Despite (b) above, the required SETBACK to an ISLL shall increase by 0.75m per STOREY beyond the third STOREY to a maximum of 9m						
<u>USE</u>	FLL	<u>RLL</u>	<u>ISLL</u>	<u>ESLL</u>		
(a) RESIDENTIAL USE	<u>6m</u>	<u>6m</u>	<u>6m</u>	<u>6m</u>		
(b) URBAN ANCILLARY USES	<u>6m</u>	<u>1m</u>	<u>1m</u>	<u>4.5m</u>		
(c) OFF-STREET PARKING STRUCTURE located entirely below GRADE	<u>1m</u>	<u>0m</u>	<u>0m</u>	<u>1m</u>		
(d) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area meets flood construction level requirements*	<u>3m</u>	<u>0m</u>	<u>0m</u>	<u>3m</u>		
(e) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area exceeds flood construction level requirements*	<u>6m</u>	<u>0m</u>	<u>0m</u>	<u>6m</u>		

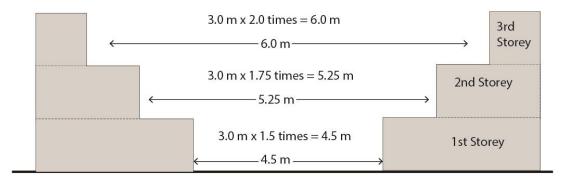
#### (8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a strata development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the

\*as defined in the CITY "Floodplain Regulation Bylaw", as amended.

orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

(i) 1st STOREY = SETBACK multiplied by 1.5
 (ii) 2nd STOREY = SETBACK multiplied by 1.75
 (iii) 3rd STOREY = SETBACK multiplied by 2



Example of two buildings oriented side by side, so ISLL would apply.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a)—APARTMENT or BOARDING HOUSE	25m
(b)—INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE	<del>25m</del>
(c) OFF-STREET PARKING STRUCTURE	<del>6m</del>
<u>USE</u>	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	25m

#### (10) SPECIAL REGULATIONS

- (a) URBAN ANCILLARY USES shall be limited to:
  - (i) the keeping of household PETS not exceeding 3 in number, and
  - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) A minimum of 50% of all new APARTMENT units must be built to the Adaptable Housing Standards of the BC BUILDING Code.
- (d) All new INDEPENDENT LIVING HOUSE units must be built to the Adaptable Housing Standards of the BC BUILDING Code.
- (e) A storage locker shall be provided for each APARTMENT.
- (f) At least 20% of the total residential BUILDING space for an INDEPENDENT LIVING HOUSE shall be devoted to common FACILITY use and INDOOR COMMON AMENITY AREA.

#### **Review General Regulations for Additional Development Requirements**

#### (7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL	LANE
(a) ACCESSORY DWELLING UNIT	6m	6m	1.5m	6m	3m
(b) Gasoline Pump Island	6m	6m	6m	6m	3m
(c) Gasoline Pump Island Canopy	2.5m	2.5m	2.5m	2.5m	2.5m
(d) SERVICE STATION	10m	0m	0m	6m	3m
(e) All other uses	<del>10m</del> 3m	0m	0m	3m	3m

(f) Despite the above, where a CS1 ZONE ADJOINS a residential ZONE a minimum SETBACK of 6m shall be required from the common LOT LINE for all BUILDINGS and STRUCTURES.

#### (8) SITING

(a) An ACCESSORY DWELLING UNIT may be located above or behind the PRINCIPAL USE or in a separate SINGLE DETACHED DWELLING.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE		MAXIMUM BUILDING HEIGHT			
	(a) All BUILDINGS and STRUCTURES	10m			

#### (10) SPECIAL REGULATIONS

- (a) GENERAL COMMERCIAL uses shall specifically exclude:
  - (i) an ADULT ENTERTAINMENT FACILITY within 1 km of any SCHOOL
  - (ii) an AMUSEMENT CENTRE
  - (iii) a PAWNBROKER within that area bounded by Hope River to the North, Prest Road to the East, CN Railway Right of Way to the South and Ashwell Road to the West
  - (iv) PAY DAY LOAN STORE within a 300m radius of a SCHOOL, PLAYGROUND, or another PAY DAY LOAN STORE
  - (v) THEATRE
  - (vi) a vape store within a 300m radius of a SCHOOL, PLAYGROUND, or another vape store.
- (b) A BEVERAGE CONTAINER RETURN DEPOT
  - (i) shall not exceed 100m<sup>2</sup> in area
  - (ii) shall not involve any outdoor activity except the actual shipment of materials
  - (iii) shall not involve the crushing or breaking of glass.

**Review General Regulations for Additional Development Requirements** 

## 9.11 CS2 (TOURIST COMMERCIAL) ZONE

#### (1) PERMITTED USES

#### **PRINCIPAL USES**

- (a) CONVENIENCE COMMERCIAL
- (b) GENERAL COMMERCIAL
- (c) TOURIST ACCOMMODATION
- (d) VEHICLE ORIENTED COMMERCIAL

#### **ANCILLARY USES**

- (e) ACCESSORY DWELLING UNIT
- (f) ACCESSORY HOME OCCUPATION
- (g) OFF-STREET PARKING
- (h) OFF-STREET LOADING
- (i) URBAN ANCILLARY USES

#### (2) LOT AREA(MINIMUM)

USE	MINIMUM LOT AREA
(a) All uses	1000m²

#### (3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	
(a) All Uses	25m	N/A	

#### (4) DENSITY (MAXIMUM)

(a) N/A

#### (5) LOT COVERAGE (MAXIMUM)

(a) All BUILDINGS and STRUCTURES

40%

#### (6) FLOOR AREA RATIO (MAXIMUM)

(a) All uses 1

#### (7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL	LANE
(a) ACCESSORY DWELLING UNIT	6m	6m	1.5m	6m	3m
(b) Gasoline Pump Island	6m	6m	6m	6m	3m
(c) Gasoline Pump Island Canopy	2.5m	2.5m	2.5m	2.5m	2.5m
(d) SERVICE STATION	10m	0m	0m	6m	3m
(e) All other uses	<del>10m</del> 3m	0m	0m	4.5m <u>3m</u>	3m

#### (7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL	LANE
(a) ACCESSORY DWELLING UNIT	10m	6m	1.5m	6m	6m
(b) Gasoline Pump Island	6m	6m	6m	6m	3m
(c) Gasoline Pump Island Canopy	2.5m	2.5m	2.5m	2.5m	2.5m
(d) SERVICE STATION	10m	0m	0m	6m	3m
(e) All other uses	<del>10m</del> 3m	0m	0m	3m	3m

(f) Despite the above, where a CSM ZONE ADJOINS a RESIDENTIAL ZONE a minimum SETBACK of 6m shall be required from the common LOT LINE for all BUILDINGS and STRUCTURES.

#### (8) SITING

(a) An ACCESSORY DWELLING UNIT may be located above or behind the PRINCIPAL USE or in a separate SINGLE DETACHED DWELLING.

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) All BUILDINGS and STRUCTURES	12m

#### (10) SPECIAL REGULATIONS

- (a) GENERAL COMMERCIAL uses shall specifically exclude:
  - (i) an ADULT ENTERTAINMENT FACILITY within 1 km of any SCHOOL
  - (ii) an AMUSEMENT CENTRE
  - (iii) a PAWNBROKER within that area bounded by Hope River to the North, Prest Road to the East, CN Railway Right of Way to the South and Ashwell Road to the West
  - (iv) PAY DAY LOAN STORE within a 300m radius of a SCHOOL, PLAYGROUND, or another PAY DAY LOAN STORE
  - (v) SHOPPING CENTRE
  - (vi) THEATRE
  - (vii) a vape store within a 300m radius of a SCHOOL, PLAYGROUND, or another vape store.
- (b) A MOTOR VEHICLE DISMANTLING use
  - (i) shall be fully enclosed within a BUILDING, and
  - (ii) shall have no OPEN STORAGE of dismantled MOTOR VEHICLES or MOTOR VEHICLE parts.
- (c) Materials in OPEN STORAGE shall not exceed the HEIGHT of SCREENING provided.
- (d) A COMMUNITY GAMING FACILITY as defined in Section 2.01 of this BYLAW shall only be permitted within the property identified as PID: 002-591-651, Lot 27 District LOT 340 Group 2 New Westminster District Plan 55390.

**Review General Regulations for Additional Development Requirements** 

#### City of Chilliwack

#### Bylaw No. 5487

## A bylaw to amend the "Official Community Plan Bylaw 2014, No. 4025"

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

- 1. This bylaw may be cited as "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487".
- 2. "Official Community Plan Bylaw 2014, No. 4025", is hereby amended in Section 4 GOALS, OBJECTIVES, AND POLICIES, GOAL 5 BUILD HEALTHY COMMUNITIES, HOUSING, POLICIES, Section 2, Subsection a., by deleting the words "enhancement in the Downtown and other select areas" after the words "and character".
- 3. Said Bylaw is hereby further amended in Section 4 GOALS, OBJECTIVES, AND POLICIES, GOAL 5 BUILD HEALTHY COMMUNITIES, HOUSING, POLICIES, Section 2, by deleting Subsection b. in its entirety, and re-lettering the existing Subsection accordingly.
- 4. Said Bylaw is hereby further amended by deleting Section 5 IMPLEMENTATION GUIDE in its entirety, and substituting with a new Section 5 IMPLEMENTATION GUIDE, as attached.
- 5. Said Bylaw is hereby further amended by deleting the Development Permit Area Maps Table of Contents in its entirety, and substituting with a new Development Permit Area Maps Table of Contents, as attached.
- 6. Said Bylaw is hereby further amended in Development Permit Area Maps, by deleting DPA Map 4 Downtown Form and Character (Heritage Core and Contemporary Core), DPA Map 5 Urban Corridor Form and Character, and DPA Map 6 Multiple Family Residential Infill and Mixed Commercial, in their entirety; and further, by renumbering the existing DPA Map accordingly.
- 7. Said Bylaw is hereby further amended by deleting the OCP Schedules Table of Contents in its entirety, and substituting with a new OCP Schedules Table of Contents, as attached.
- Said Bylaw is hereby further amended by deleting Schedule B Downtown Design Guidelines in its entirety, and substituting with a new Schedule B Form and Character Design Guidelines, as attached.
- 9. Said Bylaw is hereby further amended by deleting Schedule C Design Guidelines, Multi-Family Infill Development in its entirety, and re-lettering the existing Schedules accordingly.
- **10.** Said Bylaw is hereby further amended throughout the text of the Bylaw where reference is made to section numbers and updated to reflect the new reference numbering.

Received first and second reading on the 17<sup>th</sup> day of June, 2025. Public hearing held on the Received third reading on the Consultation Process considered by Council on the 3<sup>rd</sup> day of June, 2025. Received adoption on the Mayor Corporate Officer



## 5 Implementation Guide





The OCP brings together the various plans of the City and community partnerships for an integrated vision and unified action. Its effectiveness depends on the execution of the policies and actions recommended herein, as well as the implementation of the affiliated plans, Development Permit Areas guidelines, the Zoning and Subdivision and Development Regulations. In the first case and in the context of the current development process, OCP policies are translated into land use designations and maps, indicating where major types of development should take place. The designation maps affect both public and private interests at the property level where the City and other public agencies make everyday development decisions, ranging from rezoning to subdivision applications, building permits, business licensing, and amenity/facility provision. The land use designations have an equally profound influence on how and where the private sector invests and builds in the City. Therefore, the designations should be clear on the intent, scope and description of permitted uses, and guide interpretation where needed.

The OCP's land use/development policies are also advanced through detailed neighbourhood plans. Given their close relationship with the OCP policies, they are incorporated into the OCP as special schedules. Other schedules are included to carry out regional and provincial planning policies and are legislated requirements.

Therefore, the OCP's Implementation Guide and supplementary documents comprise the following:

- ✓ Land use designations and proposed land use maps (under Implementation Guide)
- ✓ Regional Context Statement (Schedule A)
- ✓ Development Permit Areas and their guidelines in this chapter, with detailed

design guidelines for Downtown, Mixed-Use, Residential, Commercial & Industrial (Schedule B).

- ✓ Adopted Comprehensive Development/ Area /Neighbourhood Plans (Schedule D):
  - Downtown Land Use and Development Plan
  - Eastern Hillsides Comprehensive Area Plan
  - Agricultural Area Plan
  - Alder Neighbourhood Plan
  - Chilliwack Proper and Fairfield Island
     Neighbourhoods Plan
  - Sardis Neighbourhood Plan
  - South Vedder Neighbourhood Plan
  - Yarrow Neighbourhood Plan
- ✓ Temporary Use Permits
- ✓ Development Approval Information
- ✓ Administration /Interpretation/ Severability

The expanded scope of implementation highlights the interconnected decisions in the development process, and the importance of ongoing communication among the various departments, committees and outside agencies involved. In due course, additional neighbourhood plans will be added as the City undertakes detailed planning for the select neighbourhoods and further advance the OCP's vision and policies.

#### LAND USE DESIGNATIONS

The City is divided into land use designations in the land use maps of this bylaw. Following their adoption (including subsequent neighbourhood plans) land use boundary lines are maintained and available at the following link https://maps.chilliwack.com.

## LAND USE DESIGNATION STRATEGY OVER-VIEW BY AREAS

#### **Downtown (Schedule D-1)**

The land use designations of the downtown core and neighbourhoods are presented in the Downtown Land Use and Development Plan, OCP Schedule D-1. The designations recognize the downtown as the City centre and a focus for commercial, civic and mixed use (commercial-residential) development. They reinforce the dynamics created by the traffic corridors that converge at the historic Five Corners, the main street that has evolved along Wellington Avenue, Yale Road and Young Road, and the open malls that cluster around the downtown gateways. They also recognize the residential root of the downtown and establish a development framework that fosters a functional and attractive built environment, a distinct lifestyle and culture, and a vibrant, healthy community.

#### Key designations include:

- Urban Quarter (mixed use with high density residential development)
- Village Quarter (mixed use with medium density residential development)
- Service commercial
- Civic institutional
- Civic Recreation/Culture
- Industrial
- Health Related Services (Permitted Secondary Use)
- Village Walk Heritage Area
- Residential 4 (mid/high rise focusing on the Downtown as the predominant high-density residential area)

- Residential 3 (low-rise apartment)
- Residential 2 (townhouse)
- Residential 1 (single family attached)
- Parks and Recreation

Each designation is supported by descriptions of its intent and general characteristics, including appropriate built-forms, density, building height and parking provision. For detail and the Proposed Downtown Land Use Figure, see OCP Schedule D -1 Downtown Land Use and Development Plan.

## Chilliwack Proper (Map 17A)

Map 17A presents the balance of Chilliwack proper outside the downtown core and neighbourhoods delineated in Appendix D1. It embraces the single detached residential neighbourhoods that once were the suburbs of the historic downtown settlement, as well as more recent single family residential subdivisions. The OCP designations recognize these low density neighbourhoods and their significance in maintaining an adequate supply of family housing in Chilliwack proper.

Since Sardis-Vedder began its urban transformation and new traffic corridors emerged between the northern and southern settlements, commercial uses have established themselves along Yale Road and Young Road; concurrently, the Broadway corridor has attracted much multi-family residential development. These corridor developments will only be entrenched as densification continues, and the OCP designations need to reflect that trend, which is part of the overall urban corridor consolidation process. Throughout the early settlement history of Chilliwack proper, some industries were attracted to the "fringe" of the original Chilliwack settlement and they now represent opportunities for unique industrial activity that can add to the diversity and vibrancy of the downtown.

#### Sardis-Vedder (Map 17B)

Sardis-Vedder is a corridor community anchored by two centres at its northern and southern ends. Over time, developments, including a neighbourhood commercial node and a number of townhouse projects, infilled the space between the two centres along Vedder Road. Land use designations for Sardis-Vedder (Map 17B) reinforce this twin-centre structure, with medium-density residential development along Vedder Road, the traffic corridor, to support the activity focal points and a more cosmopolitan lifestyle. Behind the corridor development, residential neighbourhoods will remain largely traditional single detached in support of family housing; nevertheless, strategically placed townhouse projects may be accommodated if certain site specific conditions are met.

Inside the centre of Sardis the designations underscore the importance of regional shopping centres to the City's retail trade and economic growth; they intend to accommodate some major scale commercial densification for future growth capacity. Meanwhile, the traditional core of Sardis, whose densification began in the 1990s, will redevelop - both commercially and residentially - in accordance with the Alder Neighbourhood Plan that forms Schedule D-4 of this OCP. The focus of redevelopment is to support core businesses with a strong local population base through higher density residential development, and to ensure safe traffic movement to/from Vedder Road and within the neighbourhood. It will harmonize with the City's vision for Vedder Road and address amentity and urban design issues.

Designations for the Vedder centre aim to support the continuous development of Garrison Crossing and the sizable vacant sites in Vedder East and Vedder West under the guidance of a comprehensive development area or site plan.

These designations reflect the urban corridor concept that is framed by the three main

north-south traffic routes, Vedder Road, Evans Road and Chilliwack River Road. This framework, however, has to adjust to the strong presence of the First Nations whose developments are growing in scale, density and servicing needs: they have to be part of the Sardis-Vedder community and within the Urban Growth Boundary. Also within the urban corridor are some ALR parcels. While many of these parcels will continue to be agricultural in use and designation, those on the west side of Sardis and surrounded on three sides by residential subdivision have been a subject of discussion between the City and the Agricultural Land Commission. From a servicing perspective, they have been limiting Sardis' north-south road connection to the main arterial routes and the servicing mains along Vedder Road and a parallel street. Long term designations for these parcels are pending the outcome of an ongoing dialogue among all stakeholders, including the ALC. In the meantime, they are acknowledged as agricultural land within the Urban Growth Boundary.

#### Yarrow (Schedule D-8)

With its Eco-Village development, pioneer history, and free-spirited lifestyle, Yarrow has demonstrated another facet of healthy community living. Its settlement boundary is well defined by the ALR. Minimal growth is envisioned in Yarrow given its rural setting, location outside of the Urban Growth Boundary, and servicing and floodplain constraints. The land use designations of the Yarrow Neighbourhood are presented in the Yarrow Neighbourhood Plan, OCP Schedule D-8.

These OCP designations represent a refinement of the current and future community structure and character. They are intended to promote a more focused commercial district, emphasizing its role as a community centre, a market place for local residents and visitors, and a pedestrian friendly and cultural environment. Ultimately,

they work toward a healthy community: realizing Yarrow's tourism potential, building a robust local economic base, and enhancing the community's livability with a greater diversity of services, amenities and activities.

## Rosedale (Map 17C) and Greendale (Map 17D)

Like Yarrow, both the development limits of Rosedale and Greendale are defined by the ALR and their own community vision. As most residents are content with the current development situation and servicing level, the designations in Maps 17C and 17D primarily reflect the status quo — a rural healthy community with an appropriate level of servicing.

## Agricultural and Rural Areas (Map 17E)

The ALR parcels are subject to the ALC Act and remain designated as Agricultural; this applies to the valley floor and upland ALR lands. The only exceptions would be parcels on which the ALC and the City have agreed for their exclusion in due course. Rural areas refer to locations that lie outside the urban corridors, Yarrow, Rosedale and Greendale; they are not part of the ALR or forest areas, and are predominantly large rural residential estates and vacant acreages in a natural state.

Except for the downtown core and neighbourhoods whose designations (in particular the high density residential designations) are provided in the Downtown Land Use and Development Plan (Schedule D1), the land use designations that apply to Maps 17A, 17B, 17C, 17D and 17E are defined in detail as follows:

## LOW DENSITY RESIDENTIAL (RL)

#### **DENSITY**

In the range of 12 - 50 uph (units per hectare) - the Housing types are specified in the Appropriate Built Forms section below.

#### INTENT

- Provide family housing especially for those with children.
- Provide affordable rental housing for students, singles, seniors (coach housing and accessory dwelling units / basement suites).

#### **APPROPRIATE LOCATION**

Traditional residential neighbourhoods, and greenfield sites, where available, adjoining established residential areas and serviceable by existing utilities, schools, parks and other civic facilities.

#### **PERMITTED USES**

Residential uses per recommended densities and built forms, neighbourhood oriented civic uses such as: elementary schools, local churches, neighbourhood centers and parks and recreational facilities, and convenience commercial.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding multi-family residential (townhouse) form and character.

#### APPROPRIATE BUILT FORMS

- single family detached
- duplex
- small lot single family detached
- carriage home
- cottage home cluster
- Appropriately scaled townhouse development, subject to the conditions of OCP Housing Policy 1(e) under Goal 5 (Build Healthy Attractive Communities) and the following considerations:

- Convenient/direct access to major roads and transit routes;
- Traffic impact within local road designed capacity and not fundamentally changing the existing neighbourhood livability;
- Access to or served by City's bicycle routes and an adequate sidewalk system;
- Housing design emphasizing street fronting facades and maximizing green amenity space in the front – to harmonize with the surrounding single detached homes with traditional (larger) front and side yards;
- Rear lane access to reduce or eliminate front driveways and over-sized garage doors, while facilitating the development of a continuous green streetscape;
- Proximity to ample amenities such as parks, recreational facilities, libraries/civic services, health care, schools and shopping;
- Proposed building height and mass being sympathetic to surrounding homes; and.
- Project scale not exceeding 10 townhouse units; development proposals involving more than 10 units will require comprehensive impact analyses, including traffic/mobility study, urban design analysis (streetscape/ neighbourhood character) and amenity provision.

#### MEDIUM DENSITY RESIDENTIAL (RM)

#### **DENSITY**

Maximum 155 uph (units per hectare) or up to 225 uph for developments which include the provision of small unit apartments (maximum of 51 m<sup>2</sup> gross floor area) or congregate care.

Minimum 25 uph (units per hectare)

The density of 225 uph for small unit apartments is only applicable on lots within:

- 400 m of a bus stop on a frequent transit route; or,
- 800 m of a transit exchange.

#### INTENT

- Provide affordable housing for diverse income groups and household types: seniors, students, empty nesters, singles, small families and special needs groups.
- Accommodate density bonusing and inclusionary zoning (subsidized housing units).

#### APPROPRIATE LOCATIONS

The cores of Sardis-Vedder, areas in close proximity to a neighbourhood commercial centre, and locations along urban traffic corridors; in all cases, utility capacities, services and amenities such as schools and parks should be available.

#### **DIRECT ACCESS**

Collector / arterial roads

#### **PERMITTED USES**

Residential uses per recommended densities and built forms; neighbourhood oriented civic uses such as elementary schools, local churches, neighbourhood centres, parks and recreational facilities; and convenient commercial uses at suitable locations and subject to the conditions stipulated in the zoning bylaw.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding multi-family residential form and character.

#### APPROPRIATE BUILT FORMS

- 3 to 6 storey wood frame apartment.
- Stacked townhouse (attached up-and-down and side-by-side ground-oriented/accessed units).
- Townhouse (attached side-by-side): street fronting, rear lane access, clustered, part of mixed housing project, fee simple or strata.
- Coach housing and accessory dwelling units where appropriate.







## **GENERAL COMMERCIAL (CG)**

#### **DENSITY**

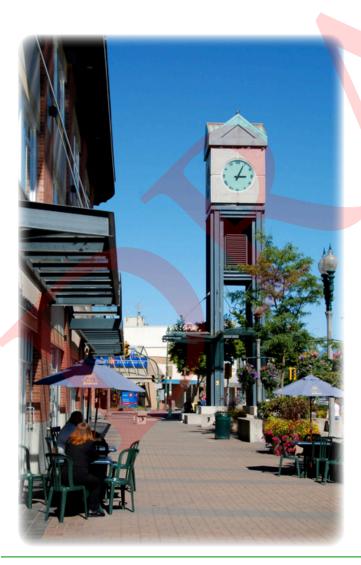
N/A

#### INTENT

- Reinforce community cores as business centres
- Encourage main street development.
- Support neighbourhood commercial development at strategic locations.

#### **APPROPRIATE LOCATIONS**

Neighbourhood commercial notes in Chilliwack proper, commercial centres of Sardis-Vedder, Yarrow, Rosedale and Greendale.



#### **PERMITTED USES**

Retail, personal and business services, government offices, churches and other civic uses, entertainment/ recreation, small-to-medium size shopping centers, and mixed commercial-residential use (apartments above ground-level businesses). Hotel development in community cores, or at locations in traffic corridors supported by amenities.

#### FORM AND CHARACTER

Subject to Development Permit regulation regarding commercial form and character.

#### APPROPRIATE BUILT FORMS

- Commercial building: up to 4-storeys
- Mixed commercial-residential development: up to 6-storeys.
- 3-storeys or lower in rural communities where the required service capacities are available.

Main street development refers to the retail landscape that typifies a traditional community centre. Shops, restaurants and a variety of commercial establishments and services open to a common, pedestrian-friendly street, and their facades conjoin to form a continuous street front. It encourages residents to walk, gather and celebrate.

## THOROUGHFARE COMMERCIAL (CT)

#### **DENSITY**

Maximum 1.0 FAR (floor area ratio)

#### **INTENT**

Consolidate general and vehicle-oriented commercial locations in key urban traffic routes.

#### **APPROPRIATE LOCATIONS**

Commercial corridors along Yale Road and Young Road, from the downtown to the Vedder Road Interchange at the Trans-Canada Highway.

#### **PERMITTED USES**

Small-to-medium-size shopping centres, vehicle-oriented commercial uses, retail, personal and business services, government offices, churches and other civic uses, and entertainment.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding commercial form and character.

#### APPROPRIATE BUILT FORMS

Commercial building: up to 4-storeys.





## **GENERAL INDUSTRIAL (IG)**

#### **DENSITY**

Maximum 1.0 FAR (floor area ratio)

#### INTENT

- Promote diversified industrial growth and strengthen local economic base.
- Create local employment to meet the needs of the future labour force growth.

#### **APPROPRIATE LOCATIONS**

- Established separate industrial districts: Village West, Cattermole and Legacy-Pacific Industrial Park.
- Established industrial locations within communities: between the BC Hydro Railway and Young Road, and those in Yarrow and Rosedale.

#### **PERMITTED USES**

- Manufacturing, warehousing, and industrial services.
- Accessory office and sale outlet of the principal industrial use.
- Commercial services that cater to the industrial workers.
- Select heavier industrial uses (already existing) that have sound management of nuisance (noise, dust, odor and fume).

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding industrial form and character.

#### APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

## **AGRI-BUSINESS PARK (IA)**

#### **DENSITY**

Maximum 1.0 FAR (floor area ratio)

#### INTENT

- Promote agriculture- related industrial development in support of the local agricultural growth.
- Create local agricultural employment as part of the Agricultural Area Plan implementation.

#### APPROPRIATE LOCATIONS

 The agri-business park at Kerr Avenue and Brannick Place.

#### PERMITTED USES

- Agriculture related manufacturing, warehousing, and industrial services.
- Accessory office and sale outlet of the principal industrial use.
- Commercial services that cater to industrial workers.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding industrial form and character.

#### APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

# GRAVEL AND RELATED INDUSTRY (IGR) DENSITY

Maximum 0.35 FAR (floor area ratio)

#### INTENT

- Ensure adequate supply to meet local gravel needs.
- Reduce gravel import and truck traffic's impact on the regional and local transportation systems.
- Limit gravel sites in hillside/upland areas where geological and environmental sensitivities are high and the roads are not designed for gravel truck traffic.

#### APPROPRIATE LOCATIONS

Approved gravel sites on Vedder mountain.

#### **PERMITTED USES**

Gravel extraction, processing and sale – subject to applicable provincial environmental and mining regulations.

#### APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

## SPECIAL INDUSTRIAL (IS)

#### **DENSITY**

FAR: maximum 1.0

#### INTENT

Accommodate industries that are heavy in nature, involve nuisances or require special measures on health, public safety and security.

#### APPROPRIATE LOCATIONS

Existing sites approved for specific heavy and special industrial uses per conditions of the approval. New locations are to be evaluated in accordance with the potential impact of the development proposal as it relates to the environment (including air quality), the surrounding uses, the health of workers and residents in the area, truck movement and traffic volume, potential nuisances (noise, fume, vibration and odor) and the aesthetics of the area concerned.

#### PERMITTED USES

- Select heavier industrial uses (already established) that have sound management of nuisance (noise, dust, odor, fume and security).
- Accessory office and sale outlet of the principal industrial use.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding industrial form and character.

#### APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

# COMPREHENSIVE DEVELOPMENT AREA (CDA)

#### **DENSITY**

Density as regulated or recommended by a comprehensive development zone or plan.

#### INTENT

- Support comprehensive neighbourhood planning in select neighbourhoods.
- Enable comprehensive planning for major development sites, especially those that involve a mix of land uses and built-forms, an overall multi-phase development plan, a systemic servicing scheme, and careful considerations for integrating with the existing neighbourhood.
- Facilitate innovative planning for unique developments.

#### **APPROPRIATE LOCATIONS**

- Neighbourhoods of Chilliwack Proper and Sardis-Vedder that may be selected from time to time, including:
  - Former UFV campus
  - Garrison and Dieppe areas
  - Webster Landing and Rivers Edge areas
- Select hillside areas with plans that guide development and form part of the OCP growth management strategy, including:
  - Promontory
  - Chilliwack Mountain
- Select affordable housing locations from time to time.

#### **PERMITTED USES**

Uses as regulated or recommended by a comprehensive development zone or plan.

#### **FORM AND CHARACTER**

Subject to applicable Development Permit regulation regarding form and character.

#### APPROPRIATE BUILT FORMS

Subject to specific regulations as set out in the Zoning Bylaw.



#### MIXED COMMERCIAL AND INDUSTRIAL

## (MCI)

#### **DENSITY**

Maximum 1.0 FAR (floor area ratio)

#### INTENT

- Accommodate compatible commercial and industrial service uses that require convenient access and exposure to main traffic routes.
- Limit sites to the established mixed commercialindustrial service areas only.
- Reduce pressure on industrial districts to accommodate big-box retail and other largescale or isolated commercial developments.

#### APPROPRIATE LOCATIONS

Established mixed commercial-industrial sites along the track of Southern Railway of BC and along Airport Road (between Yale Road and Young Road)

#### **PERMITTED USES**

Light industrial service, small scale warehousing/ wholesale use, office, automobile related use, building material sale, large format retail use, and similar commercial/industrial uses.

#### FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial/commercial form and character.

## APPROPRIATE BUILT FORMS

Industrial/commercial buildings: up to 3 storeys.



## **INSTITUTIONAL AND CIVIC USE (PI)**

#### **DENSITY**

Maximum 1.0 FAR (floor area ratio)

#### INTENT

Recognize major institutional and civic uses, and their importance to anchoring community cores and/or neighbourhoods.

#### **APPROPRIATE LOCATIONS**

Canada Education Park, University campus, Regional secondary and middle school sites, the hospital, major care facility, public libraries, RCMP buildings/facilities, recreational facilities and cemeteries.

#### **PERMITTED USES**

Government and school district administration, public work yards, civic facilities, health care use, residential care, regional secondary/middle schools, police administration, churches, NGO and similar uses.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding industrial/commercial form and character.

## APPROPRIATE BUILT FORMS

Non-residential buildings up to 3 storeys (federal and provincial buildings are exempt).



## AIRPORT (PA)

#### **DENSITY**

Maximum 1.0 FAR (floor area ratio) or subject to municipal review.

#### INTENT

- Support the airport's role in the city's economic development.
- Facilitate airport operation and its development plan.
- Promote aerospace service and manufacturing industries.

#### **APPROPRIATE LOCATIONS**

Municipal airport and associated properties that form part of the future plan and development of the airport.

#### PERMITTED USES

Airport operation and related activities, aerospace industries and industrial services that cater to the airport operation or the aerospace industry.

#### **FORM AND CHARACTER**

Subject to Development Permit regulation regarding industrial/commercial form and character.

#### APPROPRIATE BUILT FORMS

Built-forms: subject to federal regulations and municipal review.



## **COMMUNITY PARK AND RECREATION (PR)**

#### INTENT

Recognize regional, city and community parks, sportfields, and recreational facilities.

#### **APPROPRIATE LOCATIONS**

All major parks and recreational facilities.

#### **PERMITTED USES**

Public park, sports-field, ice skating/curling /hockey arena, public and swimming pool/leisure centre, and indoor sport facility.



## **OUTDOOR RECREATION (OR)**

#### **INTENT**

Recognize major private and municipal outdoor recreational facilities, in particular, golf courses.

#### APPROPRIATE LOCATIONS

Golf courses, campgrounds and RV Parks.

#### **PERMITTED USES**

Golf course and accessory use, amusement park, campground, RV Park and other private outdoor recreational facilities.



## **AGRICULTURE (AG)**

#### INTENT

Recognize and protect the Agricultural Land Reserve and other farmlands.

#### APPROPRIATE LOCATIONS

All ALR parcels and other farm lands.

#### **PERMITTED USES**

- All agricultural uses.
- Farm residences (principal and accessory).
- Associated retail/processing/ manufacturing use approved by the ALC.
- Cottage/home-based industries approved by the ALC and City.
- Anaerobic digester development approved by the ALC and the City.
- Other compatible, unobtrusive uses traditionally permitted on small agricultural acreages.

## **FOREST RESOURCE (FR)**

#### INTENT

Recognize and preserve forest resources as part of prudent practices in management, and safeguard the aesthetic value forests that is vital to the City's hillside landscape and green identity.

#### APPROPRIATE LOCATIONS

All crown forests and other established properties.

#### PERMITTED USES

Forestry use as approved by the Ministry of Forests and representing a balanced practice in light of the City's hillside landscape.



## RURAL (R)

#### DENSITY

- Rural residential subdivision 1 ha minimum where permitted.
- Rural acreage subdivision: 4 ha minimum where permitted.

#### INTENT

Define rural areas where municipal services are limited and development density is maintained at a low level to not exceed the natural capacity of the land.

#### **APPROPRIATE LOCATIONS**

Rural hillsides, including Ryder Lake, Vedder Mountain and Majuba Hill (excluding ALR lands).

#### **PERMITTED USES**

- Rural residential subdivision: limited to existing rural residential subdivision areas.
- Rural acreage: residential use based on semi-serviced or unserviced standards and where geological issues permit and the environmental impact is minimal (as determined by geotechnical and environmental impact assessments).

## **VEDDER RIVER MANAGEMENT AREA (PV)**

#### INTENT

Recognize the special status and importance of the Vedder River Management Area.

#### **APPROPRIATE LOCATIONS**

Vedder River Management Area.

#### **PERMITTED USES**

Flood control, environmental conservation, and uses approved by the Vedder River Management Area Committee.



## **ENVIRONMENTAL RESERVE (ER)**

#### **INTENT**

Recognize and protect the established environmental reserves.

#### APPROPRIATE LOCATIONS

Bert Brink Wildlife Management Area, Great Blue Heron Nature Reserve and natural reserves held by NGOs.

#### **PERMITTED USES**

Environmental conservation and appropriate accessory use.



## **FIRST NATION RESERVE (FN)**

#### INTENT

Recognize First Nation Reserves as an integral, social, economic and environmental part of the overall community.

Acknowledge that First Nation Reserves are outside the City's jurisdiction and that their governance and development decisions are rested with the responsible First Nation authorities under Canada's Indian Act.

#### APPROPRIATE LOCATIONS

All First Nation Reserves within the City's boundaries.

## **WATER LOTS & ISLANDS (WL)**

#### INTENT

Recognize water areas and islands in the Fraser River that are within the City's boundaries and that their use may not be subject to the control of the City.

#### APPROPRIATE LOCATIONS

All lots and areas that now form part of the Fraser River channel, be they under water or islands in the river.

#### **PERMITTED USES**

Licensed tree farms where appropriate; outdoor recreation where suitable.

## FEDERAL (PF)

#### INTENT

Recognize federally owned lands and acknowledge that their governance and development decisions are rested with the Canadian Government.

#### APPROPRIATE LOCATIONS

All lands owned by the federal government, including the DND parcel on the former CFB Chilliwack and Coqualeetza.

#### **TEMPORARY USE PERMITS**

A Temporary Use Permit may be issued to accommodate entrepreneurs on short-term business opportunities or property owners for a specific, approved use for a defined duration. All activities and uses, other than those permitted in the zoning bylaw, shall require a temporary use permit issued under the OCP, and this requirement applies to the municipality as a whole.

#### Purpose of Temporary Use Permit

- a) Provide short term economic opportunities
- b) Ensure the long-term planning policy for the subject area is not affected
- c) Balance public and private interests
- d) Maintain compatibility with the surrounding developments

## Permit Guidelines/Conditions

- Permits may allow a temporary use approved by the City to operate up to three years and could be considered for renewal once for any further period up to three years.
- The subject temporary use shall not precipitate public health and safety hazards or cause environmental degradation.
- Where potential risks to public health and safety or environmental quality exist or are anticipated, the applicant shall resolve them to the satisfaction of the City and other concerned authorities before the proposed temporary use or development is approved.
- Where warranted, environmental protection, post-development site restoration and nuisance abatement measures, including noise abatement, operation hours and season, duration of permitted use, traffic management,

- parking, property security, performance security, and establishing buffers and screens, may be required.
- Upon the expiration of the Temporary
  Use Permit, the subject temporary use
  shall cease to operate and the concerned
  land may need to be restored to the
  conditions prior to the temporary use or
  in accordance with the terms specified in
  the original permit.

#### **DEVELOPMENT PERMIT AREAS**

Development Permits play a key role in bringing OCP policies to the ground level when current development proposals are evaluated. Where the OCP policies are strong in direction, strategy and process, development permits are focused on specific concerns and challenges of current development and practical solutions. Under Section 488 of the *Local Government Act*, the OCP has established ten development permit areas (DPA) for the following purposes:

- protection of the City's drinking water
   sources aquifers and watersheds (DPA 1);
- protection of development from hazardous hillside conditions and environmentally sensitive areas (DPA 2 and DPA 3);
- protection of the natural environment, especially riparian areas (DPA 3);
- farm home plate (DPA 4);
- form and character guidelines for:
  - hillside development (DPA 5)
  - o downtown (DPA 6);
  - o mixed-use (DPA 7);
  - residential (DPA 8);
  - commercial (DPA 9);
  - o industrial (DPA 10).

#### **General Policies**

- Within a designated Development Permit Area (DPA), a Development Permit (DP) is required prior to the subdivision of land; the construction of, addition to, or alteration of a building or structure on the land; or the alteration of land, except where exemption provisions apply. The DP requirement is in addition to the requirements of the Zoning Bylaw, the Subdivision and Development Bylaw and all other applicable regulations in the development process.
- 2. Where a parcel is governed by two or more Development Permit Area designations, respective Development Permits for the subject parcel are required.

## NATURAL ENVIRONMENT & GEOTECHNICAL DPAs

A number of areas in Chilliwack, because their physical locations, ecological attributes and sensitivity, or importance to the community's drinking water supply, require protection or careful planning and execution to ensure the natural environment is not detrimentally affected by development. There are also areas that are excessively steep and susceptible to erosion and/or flooding; they must be carefully planned or protected to minimize potential hazardous conditions and associated threat to life and property. Landowners should also consult the City of Chilliwack Floodplain Regulation Bylaw to see if it applies to their properties. Development applicants should be cognizant of the information requirements of the Geotechnical and Floodplain Report Guidelines and/or other technical report guidelines that are administered by the City.

## Development Permit Area 1 - Municipal Watersheds and Aquifers for Drinking Water

#### **Description and Exemptions**

The municipal watersheds as shown on DPA 1 – Map

1A (Sardis-Vedder Aquifer), 1B (Volkert Creek) 1C (Vedder River Fan), and 1D (Elk Creek-Dunville Creek) are designated as Development Permit Areas (DPA 1) for the protection of the community's sources of water supply from contamination, flow reduction and quality degradation. This DPA is established in accordance with Section 919.1, (1)(a) of the Local Government Act.

A Development Permit is required for the subdivision of land; the construction of, addition to, or alteration of a building or structure on the land; or the alteration of land, including the following:

- ✓ Removal of trees or other vegetation that results in a cleared area or exposed soil disturbance greater than 280 m2 in area.
- ✓ Construction of buildings larger than 70 m2 in floor area.
- ✓ Installation of a septic field.
- Subdivision of land parcels that creates additional lots within this Development Permit Area.
- ✓ Installation of fuel oil or gasoline storage tanks.
- ✓ Construction of a new private well, including geothermal wells, within the Sardis-Vedder Aquifer or Vedder River Fan protection areas (Map 1A and 1C)
- Channel alteration or any activity that may affect existing watercourses.
- ✓ Excavation of an area larger than 20 m2 and deeper than 0.5 m within the Sardis-Vedder Aquifer or Vedder River Fan protection areas (Map 1A and 1C)

The following activities are exempted from the requirement of a Development Permit:

- Construction of a structure that does not require a building permit and is located outside of the corresponding riparian protection area of a permanent or temporary stream.
- Normal residential gardening activities that occur outside of the corresponding riparian protection area of a permanent

- or temporary stream.
- Forest management activities related to timber production and harvesting in the Forest Land Reserve.
- Works undertaken by a municipal water system.
- Emergency removal of a hazardous tree.
- Emergency works to prevent flood damage to structures.
- Subdivision of land parcels where a conservation covenant satisfactory to and in favour of the City of Chilliwack has already been registered for the maintenance of natural drainage and protection of groundwater quality.

#### Rationale for DPA Establishment

This Development Permit Area is designated for the protection of watershed areas that supply, or have the potential to supply, water to community or private utility water systems. If not carefully managed, development in this Area could result in the degradation of drinking water quality for many homes, endangering public health and incurring substantial remedial costs.

#### Objective

To protect the quality of drinking water supplied from community or private utility water systems.

# <u>Guidelines Specific to Groundwater Sources</u> (<u>Map 1A, Sardis-Vedder Aquifer; Map 1C, Vedder</u> River Fan)

- 1. All developments shall be designed to minimize water quality degradation to the requirements of the City.
- Excavations greater than three metres in depth or within two metres of the highest recorded water table elevation from June 1st to October 1st must implement, under

- the supervision of a Qualified Environmental Professional, groundwater protection measures including, but not limited to, the following:
- Dewatering for the excavation, if required, should not:
  - Impact operation of existing municipal supply wells;
  - Impact base flow in creeks within 5 kilometers;
  - Exceed 75 liters per second flow.
- Excavations unattended must be secured by rigid security fencing;
- c. Surface runoff must be directed away from the excavation to prevent direct seepage into the aquifer;
- All necessary steps must be taken to limit the amount of time that the excavation/ aquifer is exposed;
- e. Disposal of dewatering water into the storm water system is not allowed unless approved by the City; and
- f. The excavated native material or equivalent as approved by the City must be used to backfill the excavation, where possible.
- 3. Below-grade structures that extend more than three (3) metres in depth from ground surface or are within 2 metres of the highest recorded water table elevation from June 1st to October 1st must:
  - be water proof. Water proofing of the structure must utilize materials that will not impact groundwater quality and be approved by the Engineer;
  - have an internal design that minimizes potential cracking of the foundation and includes treatment of cold joints to

- create a complete separation between the structure and the Aquifer;
- be constructed with a monitored drainage system for water volumes and hydrocarbons to detect all upsets;
- d. not adversely impact groundwater flow patterns; and
- e. include an internal drainage system that discharges drainage from below grade structures to a sanitary sewer line.
- 4. All storm water, with the exception of residential foundation drains, shall be conveyed off-site to municipal storm sewers.
- 5. Stormwaterfrom roadways and driveways shall not be discharged directly to ground by means of exfiltration systems or rock pits within the 60-Day Capture Zone, as delineated on Map 1A.
- Drainage from subsurface structures and parking lot facilities, with the exception of residential roof and foundation drains, shall be controlled using a closed system, which includes oil and grit separators conveyed off-site to a municipal storm sewer.
- 7. Where a municipal storm sewer system is not available, drainage from subsurface structures and parking lot facilities shall be conveyed to outside of the 60-Day Capture Zone (shown on Map 1A) to a triple chamber treatment facility, which must include, but is not limited to, an oil and grit separator and a gate valve before the infiltration chamber to contain spills.
- 8. On-site treatment facilities shall be designed by a Qualified Environmental Professional and must ensure the discharged water will not degrade the quality of the aguifer.
- 9. Commercial, industrial and parking facilities, having areas that are not paved or completed with buildings, shall be covered with low permeability material to reduce infiltration.

- A soil liner consisting of 0.60 metres of finetextured soil (clay or clay-loam) constructed beneath Topsoil is an acceptable alternative.
- 10. All Hazardous Materials, which are handled, and/or stored, shall be minimized and subject to secondary containment utilizing non-permeable construction material, which may consist of a concrete pad and sidewalls to contain the substances should a spill or leak occur. The storage area shall be covered and secured against vandalism. The capacity of secondary containment shall equal at least the maximum volume of the stored material, plus 10%. Secondary containment systems for volumes of hazardous material greater than 200 litres shall be inspected by a Qualified Environmental Professional.
- 11. No underground storage tanks for Hazardous Materials shall be permitted. Above ground storage tanks for Hazardous Materials shall conform to requirements set out in this guideline for Petroleum Storage Tanks.
- 12. Temporary storage of Hazardous Materials during development and/or construction shall:
  - a. Utilize secondary containment;
  - b. Be covered and secured against vandalism; and
  - c. Be protected from damage due to construction equipment and/or construction activities.
- 13. During construction and/or development:
  - All equipment not in use shall have oil drip pans under the equipment to prevent contamination;
  - b. Equipment refueling shall be performed in a controlled and secured location and every effort taken to prevent fuel spillage; and
  - c. Spill containment and cleanup equipment

and material shall be available on site. This cleanup material must include, at a minimum:

- adequate quantities of sand for containment on paved or impervious surfaces
- adequate quantities of absorbent pads or material to cleanup hazardous spills (capable of absorbing 100% of the Hazardous Materials)
- 14. The operator of a facility handling or storing Hazardous Materials exceeding a volume of 200 litres shall have a Best Management Plan (BMP) prepared by a Qualified Environmental ProfessionalThe certified BMP shall address the handling, storage and disposal of Hazardous Materials, and include provisions for strict inventory controls.
- 15. The operator of a facility handling or storing Hazardous Materials exceeding a volume of 200 litres shall have a Spill Response Plan prepared by a Qualified Environmental Professional, and forward one copy to the City's Engineer. The certified Spill Response Plan shall address measures that should be taken at the site in the event of a spill or accident.
- 16. No underground storage tanks shall be permitted for storing petroleum products. Aboveground storage tanks used for the purpose of containing petroleum products within the Total Capture Zone shall be smaller than 800 liters in size and meet or exceed the Environmental Code of Practice for Aboveground and Underground Storage Tank Systems Containing Petroleum and Allied Petroleum Products (2003 or latest version) and the British Columbia Fire Code (2006 or latest version).
- 17. Without limitation to Section 16, aboveground petroleum product storage tanks (ASTs) within the Total Capture Zone shall be constructed to include the following:
  - a. Double-walled steel tank construction;

- b. Secondary containment of piping;
- c. Tanks coated with rust-resistant material;
- d. Overfill protection device;
- e. Spill containment device around fill pipe;
- f. A dispenser sump and tank sump, for the control of possible leakage from the dispenser or piping; and
- g. Leak detection of the interstitial space, piping and sump(s).
- 18. Installation of aboveground petroleum product storage tanks shall be conducted by a licensed qualified contractor under the supervision of a Professional Engineer.
- 19. Every storage tank shall be tested for leakage, following procedures outlined in the Fire Code of British Columbia before putting a new tank into service.
- 20. Installation of new private wells regardless of purpose is prohibited unless approved by the City. Approvals shall only be considered for properties not serviced by the municipal system. Owners that have a new private water supply well installed shall provide the City with a copy of the well installation record within 30 days of installation.
- 21. Subsurface geothermal systems including the installation of wells are prohibited.
- 22. New buildings shall be connected to the municipal sanitary sewer system.
- 23. Where a municipal sanitary sewer system is not available residential sewage shall be conveyed to an on-site private sewage disposal system which must include, but is not limited to, a two-stage septic system, a large capacity tank and a gate valve before infiltration to subsurface. The two-stage system shall be designed by a Qualified Environmental Professional and shall consist of a separate tank where the sludge is digested and will prohibit mixing of digested sludge with incoming sewage.

24. New commercial, industrial and institutional facilities with an on-site sewage disposal system are not permitted.

<u>Guidelines Specific to Surface Water Sources</u> <u>Map 1B Volkert Creek; Map 1D Elk Creek and</u> Dunville Creek)

- 1. All developments shall be designed to minimize water quality degradation to the requirements of the City.
- 2. An applicant for a development permit must provide, at his or her expense, a plan certified by a Professional Engineer with experience in the protection of ground and surface water, which clearly shows how to control storm water drainage and avoid the deterioration of water quality.
- 3. Non-residential structures for the purpose of storage or handling materials in quantities sufficient to pollute water supply should not be located in this DPA. If such a location cannot be avoided, the structure shall be designed and constructed to ensure that spills can be properly contained and handled without causing pollution.
- 4. New roads and septic fields should not be permitted within this DPA. If such a location cannot be avoided, then a qualified professional should supervise the design and construction of the road or septic field to satisfy the objectives and guidelines of this DPA.
- 5. For subdivisions that create additional lots, any new lots, roads, building sites, septic fields and driveways must be positioned, designed and constructed to meet the objectives and guidelines of this DPA.

# Development Permit Area 2 - Hillside and Upland Areas

#### **Description and Exemptions**

Pursuant to Section 919.1(1)(a) and (b) of the *Local Government Act*, the areas as shown on DPA Maps 2A, 2B, 2C and 2D are designated as Development Permit Area 2 (DPA 2) for the protection of fish and fish habitats, wildlife and vegetation, and development from natural hazards.

In areas where development is permitted, a Development Permit is required for the subdivision of land; the construction of, addition to, or alteration of a building or structure on the land; or the alteration of land, including the following:

- ✓ Removal of trees with a trunk diameter greater than 30 cm measured 1.5 m above ground;
- ✓ Removal of vegetation in a wetland;
- ✓ Installation of a septic field within 61 m of the natural boundary of a lake;
- ✓ Any works or installation of structures within a stream or below the natural boundary of a lake; and
- The subdivision of land parcels that creates additional lots within this DPA.
- ✓ Construction of a building greater than 100 m<sup>2</sup>.

The following activities are exempted from the requirement to obtain a DP:

- Forest management activities related to timber production and harvesting in the Forest Land Reserve;
- Fish habitat enhancement work approved by the Department of Fisheries and Oceans or the Ministry of Environment, Lands and Parks;
- The emergency removal of a hazardous tree;
- Emergency works to prevent flood damage

- to structures or repair to public service utilities;
- The subdivision of land parcels where a conservation covenant satisfactory to and in favour of the City of Chilliwack has already been registered for the maintenance of natural drainage and protection of environmentally sensitive and hazardous areas; or
- Tree removal required for surveying, road construction, and utility servicing by the City of Chilliwack.

#### Rationale for DPA Establishment

- i. Lakes and streams, including ephemeral watercourses, provide natural habitats for fish and wildlife. Many also supply drinking water to individual wells, water license holders or community water supply systems. If not carefully managed, development in this Area could result in the degradation of water quality to the detriment of the fish and wildlife populations. It could also incur high costs of remedial water treatment.
- ii. This DPA contains habitats for many different species and is particularly susceptible to disturbance. Development could lead to losses of, or high stresses on, a disproportionately large number of native plant and animal species.
- iii. Land in this DPA has been identified as having serious hazards due to slope instability or soil erosion. If not carefully managed, disturbance of the land in this Area could result in significant soil erosion and increased hazards to developments.
- iv. This DPA may be subject to high forest fire risks. Adequate forest fire interface shall be identified and carefully managed through a Fire Risk Assessment Analysis Report.

#### **Objectives**

1. To protect the quality of drinking water

- supplies, including safeguarding the water supply of private wells.
- 2. To protect fish, wildlife and vegetation, particularly sensitive riparian habitat.
- 3. To ensure development remains compatible with the natural environment.
- 4. To protect development from potential landslides, debris torrents and other unstable conditions.
- 5. To reduce the potential forest fire risks.

#### Guidelines

- Stream bank vegetation shall remain undisturbed together with a green strip of at least 30 meters from the top of banks of fish bearing or fish habitat streams.
- 2. Fencing shall not be allowed in areas where it would interfere with the movement of wildlife.
- 3. The Tree Management (Land Development) Bylaw is considered critical to the implementation of this DPA's guidelines.
- 4. The Development Approval Information Bylaw is an essential part of this DPA's implementation.
- 5. No development shall be allowed in areas subject to high risks from debris torrents, flooding or erosion unless properly engineered floodproofing and protection measures are incorporated and certified by a Professional Engineer with experience in hydrogeology.
- 6. A Professional Engineer with experience in hydrogeology is required to certify site development on hillside and upland areas, and may recommend conditions or requirements for the issuance of the permit. The certification must clearly show how to control storm drainage, flood hazard and erosion, and to protect groundwater, including:
  - preserving natural channels to the maximum extent possible;
  - ✓ utilizing detention or retention ponds and

- minimize impervious surface;
- establishing interceptor ditches above steep slopes, where required, in such a way to not saturate soil, and the intercepted water should be conveyed in a pipe or other appropriate manner to a municipal storm sewer system or to the bottom of a ravine or bluff;
- utilizing discharge point stabilization for natural drainage path; and
- ✓ providing a control mechanism to minimize erosion and siltation.
- 7. Development proposals shall be accompanied by a hydro-geotechnical study that identifies the hazardous nature of the subject area, including:
  - √ vegetation types;
  - ✓ ecologically sensitive areas;
  - √ view vistas;
  - ✓ soil types;
  - ✓ soil and terrain stability;
  - ✓ rock outcroppings;
  - ✓ specific hazard area; and
  - protective and mitigating measures to be used during and after construction and development.
- 8. A Professional Engineer with experience in geotechnical engineering shall submit a geotechnical study in accordance with the landslide assessment guidelines published by APEGBC (Associated Professional Engineers and Geoscientists of BC) and the City of Chilliwack Guidelines for Geohazard Assessment and Investigation indicating that the development will not be endangered, or that the measures have been taken to ensure that the development will not be endangered, by rock fall hazard, landslides, earthflow or other slope or foundational instability.
- A storm water management plan must be submitted to the satisfaction of the Director of Engineering and must provide on-site drainage so as not to adversely affect adjacent properties. Further, all post development water flows into

- the storm drainage system must not exceed predevelopment flows in accordance with the City of Chilliwack Policy and Design Criteria Manual for Surface Water Management.
- 10. Stream crossings and roadway construction adjacent to streams shall obtain all necessary approvals and be designed to accommodate flows and retain the streambed in a natural condition.
- 11. A Qualified Professional is required to supervise all excavations or placement of fill in natural slope areas.
- 12. Road design should minimize the potential danger of erosion, landslide and flooding. The following techniques may apply where appropriate:
  - √ follow contours;
  - ✓ allow split level, one-way streets;
  - allow flexibility in the placement of lot lines to accommodate "traversing driveways"; and
  - employ narrow pavement widths, within the limits of public safety, by the use of off-street parking in bays and clusters.
- 13. Hillside and upland development should employ environmentally sound techniques in engineering and architecture such as:
  - ✓ grading to complement natural land forms to minimize terracing (cut and fill);
  - ✓ using indigenous materials in landscaping;
  - placing, grouping and shaping of manmade structures to complement the natural landscape; and
  - encouraging a variety of building types clustered to maximize the amount of open space and natural features.
- 14. Hillside and upland development should complement or enhance the aesthetic qualities of the natural landscape. Where possible, skylines and ridgetops, and tree and shrub masses should be preserved, and all man-made structures should be properly positioned, scaled and designed so as not to dominate the general hillside and upland

- landscape. A site plan addressing these concerns shall accompany the development permit application
- 15. Development shall be restricted in areas subject to occurrence or high susceptibility of rock fall hazard, landslide or earthflow with unstable soil conditions in accordance with requirements stipulated in the Zoning Bylaw.

#### **Development Permit Area 3 - Riparian Area**

#### **Description and Exemptions**

All lands within the boundaries of the City of Chilliwack are designated as Development Permit Area 3 (DPA 3) for the protection of the natural environment, its ecosystems and biological diversity, and in particular fish and fish habitats and riparian habitats, pursuant to Section 919.1(a), (b) and (i) of the Local Government Act.

#### Rationale for DPA Establishment

This DPA defines riparian assessment areas for the protection of fish habitats, based on the information of OCP Maps 8A and 8B, the Fish Protection Act and the Riparian Areas Regulation. It enables a site-specific, science-based assessment protocol for Qualified Environmental Professionals to establish consistent and appropriate requirements, conditions and standards regarding development within riparian assessment areas.

#### Objectives of this Development Permit Area

- To protect the biological functioning of riparian areas; and
- 2. To clarify the responsibilities of landowners regarding development of riparian areas.

#### Definitions:

For the purpose of this Development Permit Area, the following definitions shall apply:

- 1. "Active floodplain" means an area of land within a boundary that is indicated by visible high water mark or the water level of a stream that is reached during annual flood events.
- 2. "Development" means any of the following:
  - a. removal, alteration, disruption or destruction of vegetation
  - b. disturbance of soils
  - c. construction or erection of buildings and structures
  - d. creation of nonstructural impervious or semi-pervious surfaces
  - e. flood protection works
  - f. construction of roads, trails, docks, wharves and bridges
  - g. provision and maintenance of sewer and water services
  - h. development of drainage systems
  - i. development of utility corridors
  - j. subdivision under the Land Title Act or the Strata Property Act
- 3. "Qualified Environmental Professional" (QEP) means an applied scientist or technologist, acting alone or together with another qualified environmental professional.
  - a. The individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association:
  - The individual's area of expertise is recognized in the assessment methods set out in the Schedule to the Riparian Areas Regulations as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal; and

- c. The individual is acting within that individual's areas of expertise.
- 4. "Riparian assessment area" means the riparian area lying within the distance of a watercourse specified below in relation watercourse classes A through E.
- 5. "Top of bank" means the point closest to the boundary of the active floodplain of a watercourse where a break in the slope of the land occurs such that the grade beyond the break is flatter than 3:1 (3 horizontal / 1 vertical) at any point for a minimum distance of 15 meters measured perpendicularly from the boundary of the active floodplain.
- 6. "Top of ravine bank" means the first significant break in a ravine slope where the break occurs such that the grade beyond is flatter than 3:1 (3 horizontal / 1 vertical) for a minimum distance of 15 metres measured perpendicularly from the break, and the break does not include a bench within the ravine that could be developed.

#### **Watercourse Classification**:

The Watercourse Map (Map 8A) identifies the classification of the inventoried watercourses within the City of Chilliwack as follows:

#### <u>Development Permit Required</u>

As set out on the OCP Watercourse Map (Map 8A) and Village West Riparian Setbacks Map (Map 8B), the following activities require a Development Permit:

- Development within 30m of the top of bank of a watercourse classified as Class "A".
- 2. Development within 30m of the top of the bank of a watercourse classified as Class "B", where the existing or potential adjacent vegetation is continuously over 30m wide.
- 3. Development within 15m of the top of bank of a watercourse classified as Class "B", where the existing or potential adjacent vegetation is less than 30m wide.

- 4. Development within 15m of the top of bank of a watercourse classified as Class "C".
- 5. Development within 7.5m of the top of bank of a watercourse classified as Class "D".
- 6. Development within the setbacks from top of bank as indicated on the Village West Riparian Setbacks Map (OCP Map 8B).
- 7. Development within 30m of the top of bank of a watercourse classified on the Watercourse Map, as "E" (unclassified) unless it is tributary to Class "C" or "D" watercourse; in which case the distance shall be 15m to 7.5m respectively.
- 8. Development within 30m of the top of bank of an unmapped watercourse identified at time of development unless it is tributary to Class "C" or "D" watercourse; in which case the distance shall be 15m and 7.5m respectively.

#### **Exemptions**

The following activities are exempted from the requirements for a Development Permit:

- 1. Farming operations as defined in the Farm Practices Protection Act;
- Reconstruction or repair of a permanent structure remaining on its existing foundation; and
- 3. Development not associated with or resulting from residential, commercial or industrial activities.

The above exemptions do not remove setbacks requirements from watercourses stipulated by the City of Chilliwack Floodplain Regulation Bylaw that is in force from time to time. In the event of any inconsistency between the guidelines of this DPA and other DPAs, the former shall prevail.

#### **Guidelines**

 In compliance with the Riparian Areas Regulation, development may be permitted if the City is notified by the appropriate federal and provincial ministries that they have been notified of the development proposal, and provided with a copy of an assessment report prepared by a QEP that:

- a. Certifies that they are qualified to carry out the assessment;
- Certifies that the assessment methods set out in the Schedule to the Riparian Areas Regulation have been followed; and,
- c. Provides a professional opinion, that if the development is implemented as proposed or if the streamside protection and enhancement areas identified in the report are protected from the development and the measures identified in the report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area;

#### 2. The City may include:

- a. development permit requirements or conditions;
- b. standards in accordance with s.920.(7) of the Local Government Act, vary;
- c. a bylaw under Division 7 or 11 of the Local Government Act, and
- d. conditions respecting the sequence and timing of construction, in order to give effect the protective measures identified in the report of the QEP.
- 3. In the event that a harmful alteration, disruption or destruction of fish habitat (HADD) cannot be avoided, development may be permitted if the Minister of Fisheries and Oceans or a regulation under the *Fisheries Act* (Canada) authorizes the harmful alteration, disruption or destruction of the riparian assessment area that would result from the implementation of the development proposal.

# Development Permit Area 4 – Farm Home Plate

#### **Description and Exemptions**

DPA 9 is designated under Section 488 (1)(c) of the *Local Government Act*, for the protection of farming, and comprises all valley floor farmland, as shown on DPA Map 9.

- 1. Within the designated area, the following activities will require a development permit prior to commencement:
  - a. construction of a residential building, structures, or residential amenities which do not conform with the established Zoning Bylaw siting regulations for a farm home plate.

A "farm home plate" is an area of the property where all residential and related buildings, structures, and activities are clustered, leaving the balance of the property for agricultural use. This includes homes and ancillary uses, including detached garages or carports, attached or detached household greenhouses or sunrooms, residential related workshops, tool and storage sheds, artificial ponds not serving farm drainage or irrigation needs and landscaped areas associated with the residential use, recreation areas including but not limited to tennis courts and pools, and septic tanks and other related facilities, excluding sewerage disposal fields.

- 2. The following activities are exempted from the requirement to obtain a DP:
- Agricultural activities including farm related buildings and driveways for equipment operation (e.g. silos, barns, greenhouses, etc.)
- Development of a residential unit above an existing building, where permitted.

#### Rationale for DPA Establishment

Residences and other farm buildings on agricultural land may reduce the amount of land available for agricultural production; make production less efficient; or place limits on agricultural operations on adjacent properties. The City's zoning standards for the siting and area of farm home plates are intended to minimize the impact of residences and related buildings and activities on agricultural land and ensure agricultural land is retained for agriculture in the long term. However, as these standards may not be achievable due to specific site characteristics, this development permit area provides for alternative home plate siting, in keeping with established guidelines.

#### **Objectives**

- To minimize the impact of residences and related buildings and activities on agricultural land
- To retain agricultural land for agricultural uses in the long term

#### Guidelines

- 1. Alternative siting for a farm home plate is supportable with the goal of using a minimum farm land area as possible:
  - Variations in siting are desired to allow the clustering of farm homes with farm buildings for efficiency or security of operations (e.g. to tend dairy cows or to watch over valuable equipment);
  - b. Construction of a home is proposed to take place on higher ground to meet floodplain requirements or avoid a hazardous area;
  - c. Increased maximum setbacks for an equivalent home plate are warranted due to narrow or irregular shaped lots, including panhandle lots;
  - d. A home must be located adjacent to a septic field and/or disposal field that cannot be situated within the home plate area due to ground conditions;

- Easements utility corridors, riparian areas, or other physical features prevent the location of a farm plate within the area established by the zoning bylaw;
- A shared driveway to support farm operations and a house are proposed (dual purpose);
- c. For minor additions to existing homes which may not conform to farm home plate standards established by the zoning bylaw.
- 1. Proposals will not be supported to:
  - Facilitate increases in total allowable farm home plate area under the zoning bylaw;
  - b. Allow placement of a home outside of a farm home plate area for reasons that do not support farming of the parcel (e.g. for aesthetic reasons personal preference, or where no physical impediments exist (e.g. watercourse, utility corridor, etc.); or,
  - c. Locate the home in the middle of the property.

### DEVELOPMENT PERMIT AREAS -HILLSIDE DEVELOPMENT, MIXED-USE, RESIDENTIAL, COMMERCIAL, INDUSTRIAL FORM AND CHARACTER

A principal goal of the OCP is to create a visually enhanced community through the redevelopment of existing built areas and the development of new sites. The following Development Permit sites are intended to foster revitalization and establish guidelines for the form and character of hillside development, mixed-use, residential, commercial, and industrial. Design guidelines for mixed-use, residential, commercial, and industrial are found in Schedule B.

# Development Permit Area 5 - Hillside Development

#### Description and Exemptions

The City of Chilliwack in its entirety forms

Development Permit Area 5 for the purpose of:

- protecting the natural environment, its ecosystems and biological diversity;
- protecting development from hazardous conditions; and
- establishing objectives for the form and character of intensive residential, multi-family residential, commercial and industrial development.

A Development Permit is required for the following works and activities:

- Subdivision of land with 20% or greater slopes and zoned for residential, commercial, industrial or institutional use; or
- 2. New earthworks and construction on land with 20% or greater slopes zoned for residential, commercial, industrial or institutional use.

In addition a third party review of the application will be required per the City's Development Approval Information Bylaw where the subject development proposal involves 30% or greater slopes.

A Development Permit is not required where:

- 1. The subject property contains only areas with natural slopes less than 20 percent;
- Development activities are restricted to areas with natural slopes less 20 percent, and any areas with slopes of percent or more are permanently protected through dedication, registration of a covenant, or other acceptable method; or,
- 3. Construction only involves fences or single-tier retaining walls of less than 1.2 metres in height.

#### Rationale for DPA Establishment

The establishment of this Development Permit Area is to ensure that development, while it may be accommodated, must respond to the steeper slope context in a sensitive and flexible manner. It emphasizes the protection of the natural environment, the protection of development from hazardous conditions, and the preservation of the character and beauty of Chilliwack's hillside areas.

Nothing in the following DP Guidelines require the City to issue a DP where it remains concerned that the requirements have not being satisfactorily addressed.

#### **Objectives**

The objectives of DPA 5 are to ensure that new hill-side development:

- 1. Positively contributes to Chilliwack's hillside character;
- 2. Integrates seamlessly with its hillside context through context-sensitive design approaches;
- 3. Preserves the aesthetic values of Chilliwack's scenic "green backdrop";
- 4. Respects views both to and from the hillside;
- 5. Provides safe access and services that fit the hill-side context;
- 6. Maintains many of the unique features of the hillside, such as rock outcrops, watercourses, ravines, mature trees and vegetation, and ridgelines;

- 7. Protects wildlife habitat and environmentally sensitive areas;
- 8. Avoids unstable or hazardous portions of the hillside and provides protection against slope instability and erosion; and,
- 9. Uses economic and efficient approaches to construction and maintenance.

#### **Guidelines**

#### 1. Unique Natural Characteristics

1.1 In the development concept plan, identify and integrate natural site characteristics such as rock outcrops, watercourses, wetlands, ravines, mature stands of trees, and significant wildlife habitat.

#### 2. Ridgelines:

- 2.1 Preserve the natural qualities of ridgelines for the benefit of the community-at-large. To minimize view impacts to the ridgeline, development should:
  - a. provide additional setbacks from the top of the ridgeline; and/or
  - b. preserve or plant trees and vegetation to screen development; and/or
  - reduce building height to ensure that new development has a low profile on the ridgeline.

#### 3. Trees and Vegetation:

- 3.1 Clearly identify tree clearing limits in the Development Concept Plan.
- 3.2 Identify and preserve stands of trees and vegetation.
- 3.3 Complete a Tree Management Plan and plant new trees in accordance with the provisions of the City's Tree Management (Land Development) Bylaw.

#### 4. Restoration of Disturbed Areas:

- 4.1 Restore disturbed areas as soon as possible and prior to occupancy in accordance with a re-vegetation plan that is prepared by a registered landscape architect (BCSLA) and designed specifically to promote plant health, mitigate erosion, and offset any visual impacts of hillside development.
- 4.2 Intensely landscape each lot, with particular attention to areas adjacent to street frontages and areas adjacent to retaining features.
- 4.3 Use native plant materials to the greatest extent possible.
- 4.4 Limit the use of irrigation. Where irrigation is essential, water conserving principles should be employed in the design of the irrigation system. In addition automatic shut-off valves should be provided for all irrigation systems to prevent risk of accidental erosion due to system failures.
- 4.5 Replace trees and vegetation in a manner that replicates the characteristics and performance of the natural setting, including the provision of a sufficient density of trees (as specified in the City's Tree Management Bylaw), sufficient ground cover, and intensity of vegetation. Trees should be planted in organic clusters rather than in lines or formal arrangements.
- 4.6 Replace trees and vegetation in such a way that they reach maturity in a 10 year time frame.
- 4.7 Manufactured slopes should not appear engineered but should blend with existing slope conditions.
- 4.8 Re-vegetation should consider viewscapes from the hillside.
- 4.9 When restoring disturbed areas, adequate depth of growing medium should be provided in accordance with the specifications of the BC Landscape Standard.

#### 5. Lot Size and Configuration:

- 5.1 Cluster development as a means of minimizing site disturbance, protecting open space in steeper areas, and protecting the natural environment.
- 5.2 Where possible, direct higher density development, including small lot single-detached residential and townhouses, towards areas with less steep slopes that are most easily developable.
- 5.3 In general, locate the majority of hillside development in areas with natural slopes of less than 30%, and preserve open space in areas with natural slopes of 30% or more, where there are greater inherent risks associated with development.
- 5.4 Utilize alternative lot configurations (e.g. wide/shallow lots) to reflect unique site conditions.

#### 6. Parks, Open Space and Trails:

- 6.1 Retain natural hillside features as a means of creating unique park spaces.
- 6.2 Avoid extensive grading when creating parks, trails and open spaces.
- 6.3 Preserve contiguous open space networks to provide habitat linkages within the site and to neighbouring areas. Where practical these networks should be integrated into existing riparian corridors.
- 6.4 Utilize trails to connect parks and schools as well as parts of the community that cannot be linked by roads due to topographic constraints.
- 6.5 Locate key park spaces to capitalize on scenic views from the hillside.
- 6.6 Set up barriers with clear warning signage to discourage the public from accessing slopes that are considered dangerous.

#### 7. Roads:

- 7.1 Align roads to follow natural site contours, conforming to topographic conditions rather than cutting across contours.
- 7.2 Provide for reduced design speeds (minimum 40 km/hour on collectors and arterials and minimum 30 km/hour on local roads) and increased road grades (maximum 15%) where it can be demonstrated that design measures will be employed to help ensure that travelled speeds remain close to the posted speed limits through reduced straight sight distances and road geometric design.
- 7.3 Utilize connectivity in the road network over long cul-de-sacs and "dead-end" situations where topographic conditions permit.
- 7.4 Utilize alternative approaches to turnarounds (e.g. hammerhead configurations) to reduce the amount of required grading works.
- 7.5 Allow cul-de-sac length to be increased where connectivity in the road network is not possible due to topographic conditions, provided that appropriate emergency access is constructed. Emergency vehicle access lanes shall generally have a minimum hard packed surface width of 4 metres and a cleared width of 6 metres.
- 7.6 Utilize split roads and/or one-way roads to preserve significant natural features, to reduce the amount of slope disturbance, or to improve accessibility to individual parcels.
- 7.7 Require one-way roads to have a minimum pavement width of 6 metres and a minimum right-of-way of 10 metres.
- 7.8 Utilize reduced pavement widths and rightof-way widths (e.g. local road with minimum pavement width of 6 metres plus parking bays and minimum right-of-way of 12 metres) where service levels and emergency access can be maintained. The reduced widths should demonstrate less slope disturbance, and the reduced widths should contribute to the overall neighbourhood character.

7.9 Encouraging meandering sidewalks adjacent to the road as a means of eliminating long, sustained steeper grades, preserving natural features, or reducing grading requirements within the right-of-way. Varied offsets between the road and sidewalk will be considered for these purposes.

#### 8. <u>Driveways and Lanes:</u>

- 8.1 Individual driveway grades up to 20% may be permitted where site conditions warrant and where it can be demonstrated that grade transitions will ensure good vehicular access.
- 8.2 Ensure the first 3.5 m on a downslope driveway has a grade no greater than 7%.
- 8.3 Lanes and shared driveways may be permitted where significant site grading can be reduced with the following provisions:
  - a. Grades should not exceed 14%.
  - b. Single in and out lanes, and shared driveways should be limited to servicing 6 lots and they should include turn around provisions.
  - c. Through lanes and shared driveways may service up to 15 lots.
  - d. Minimum paved lane width shall be
     4.0m with widening where necessary to permit safe vehicle movements.
  - e. Lane design must allow for access by emergency, garbage collection vehicles, and moving vehicles at a design speed of 20 km/hour.
  - f. One on-site guest parking spot must be provided per lot serviced.
  - g. Where house frontage is not visible from the street, civic addresses must be placed on a sign that is visible from the street.
  - h. For shared driveways, an appropriately sized and located area will be required for common garbage and recycling

- pick-up from the road. Space must be provided to allow for a vehicle to pull off the road to access this area.
- 8.4 Rear lanes are encouraged particularly on the high side of lots, in order to allow for stepping of buildings, eliminate the need for steep driveways, and to allow for retaining features and/or reduced grading requirements in front yards.
- 8.5 Driveway widths should not exceed 3.5m at the curb face, in order to minimize grading requirements.

#### 9. Building Siting and Orientation:

- 9.1 Orient buildings so they run parallel with the natural site contours to reduce the need for site grading works and to avoid high wall facades on the downhill elevation.
- 9.2 Site buildings to minimize interference with the views from nearby (uphill) buildings.

#### 10. Earthworks and Grading:

- 10.1 Maintain yard areas in a natural slope condition. Large cuts and fills to achieve flat yards will not be permitted.
- 10.2 Ensure cuts and fills blend in with the natural topography, providing smooth transitions and mimicking the pre-development site contours. This can be accomplished by providing berms, grading the site to reflect original topographic conditions, and providing landscaping that mimics the site topography.
- 10.3 Re-vegetate manufactured slopes to reflect natural conditions.
- 10.4 Rock cuts are an acceptable alternative to retaining and they will be permitted where necessary (i.e. for roads) but with consideration for the visual impact of the exposed rock faces.

Lot grading should be provided on a consistent, comprehensive basis throughout the whole of the development. Grading should not be undertaken on a parcel by parcel basis: all grading and retaining should be completed by the master developer, and at an individual parcel level, there should not be a requirement for builders to manipulate land.

#### 11. Retaining:

- 11.1 Retaining materials should evoke a sense of permanence and reflect natural qualities in appearance through the use of context-sensitive materials (i.e. stone, masonry, brick, etc.), colours, and textures. Large concrete lock block is not considered to be a context-sensitive retaining material, and if used, it must be masked or screened (e.g. through the use of landscaping).
- 11.2 Retaining walls should generally be curvilinear and follow the natural contours of the land.
- 11.3 Utilize terracing of retaining walls to break up apparent mass and to provide planting space for landscaping features.
- 11.4 Use systems of smaller, terraced retaining walls where significant retaining is necessary, rather than providing a single, large, uniform wall. The height and depth of terraced walls shall be consistent with the natural terrain and the general predevelopment slope conditions above and below the walls.
- 11.5 Provide landscaping to screen or supplement all retaining features.
- 11.6 Minimize the height of retaining walls. In site-specific circumstances, high walls may be permitted where warranted. Retaining walls over 1.2m in height should either be terraced with landscaped tiers, be screened by landscaping, have a unique surfaced texture/pattern, or use innovative design techniques (e.g. green retaining wall systems primarily on southern exposures)

to mitigate visual impacts. Note that for proposed walls in excess of 1.2m the developer will be required to show that the wall is essential to accommodating road geometry.

#### 12. Building Mass and Height

- 12.1 Utilize a range of design tools to reduce apparent building height and mass. Options include:
  - a. Stepping the building foundation to reduce site grading and retaining requirements (i.e. buildings should be set into the hillside and integrated with the natural slope conditions);
  - Avoiding single vertical planes in excess of two storeys;
  - c. Varying rooflines;
  - d. Articulating buildings;
  - e. Avoiding unbroken expanses of wall;
  - f. Designing buildings in smaller components that appear to fit with the natural topography of the site;
  - g. Designing roof pitches to reflect the slope of the natural terrain (i.e. angling roof pitches at slopes that are similar to those of adjacent slopes).

#### **COMPREHENSIVE PLANS**

The following comprehensive plans are attached and form part of this bylaw (Schedule D - Neighbourhood Plans):

- Downtown Land Use and Development Plan
- Eastern Hillside Comprehensive Area Plan
- Agricultural Area Plan
- Alder Neighbourhood Plan
- Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- Sardis Neighbourhood Plan
- South Vedder Neighbourhood Plan
- Yarrow Neighbourhood Plan

#### **DEVELOPMENT APPROVAL INFORMATION**

For the purpose of Section 920.01 of the *Local Government Act*, development approval information may be required under any of the following circumstances:

- 1. The development results in any of the following:
  - a. a change in the Official Community Plan land use designation;
  - b. a change in zoning;
  - c. a requirement for a development permit; or,
  - d. a requirement for a temporary use permit;
- 2. The development may result in impacts on:
  - a. transportation patterns and traffic flow;
  - infrastructure including sewer, water, roads, drainage, street lighting and other infrastructure;
  - c. public facilities such as schools and parks;
  - d. community services; or,
  - e. the natural environment;
- The development could result in other impacts that may be of concern to the residents of City of Chilliwack, City staff or City Council.
- The information is essential to meeting the Geotechnical and Floodplain Report Guidelines and/or other technical report guidelines that are administered by the City.

The main objective of the above provisions is to ensure that applicable studies and relevant information are provided to the City prior to development, in order for the City to evaluate the impact of the development on the com-munity.

The types of studies that may be required include but are not limited to the following:

- 1. transportation impact studies;
- 2. infrastructure studies;
- 3. studies on the impacts on public facilities;
- studies on impacts on community services;
- 5. environmental impact studies; and
- 6. studies that identify the impacts on other matters that are identied as a concern to the residents of the City of Chilliwack, City staff or City Council.

#### **ADMINISTRATION**

#### Authority and Interpretation

- 1. City council is given the responsibility and authority to create and adopt an Official Community Plan under the Local Government Act. The Local Government Act outlines the content and function of Official Community Plans.1.
- 2. This Plan applies to the land and surface of the water within the City of Chilliwack.
- 3. The exact location of symbols or boundaries shown on most maps in this Plan will be legally defined by zoning bylaws enacted over time by City Council.
- Any reference of proposed public facilities on private lands is to be considered as a broad objective only.
- 5. Where matters are outside the jurisdiction of Council, this Plan states broad community objectives. This Plan cannot and does not represent a commitment from other agencies to act according to community objectives.
- 6. It is intended that this Plan consists of objectives and policies for action that achieve the stated objectives. Actual priorities and the level and t iming of implementation will be dependent on future discretionary decisions made by successive Councils and the resources available to them.

- 7. Where a word is not specifically defined, then its meaning is the same as indicated by BC legislation or the Oxford Dictionary.
- 8. Metric measurements are used in this Plan. Except for the development permit areas, they should be considered approximate measures that will serve as a general guide for the future development of more specific land use bylaws.
- 9. The Chief Administrative Officer of the City of Chilliwack or other officer appointed by Council will administer the provisions of this Plan.

#### **SEVERABILITY**

If any part of this bylaw is for any reason held to be invalid by the decision of any Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder.

#### **OCP REVIEW SCHEDULE**

This OCP should be reviewed when the City's population reaches 100,000 and Chilliwack becomes a census metropolitan area. The City may also review their Official Community Plan as circumstances warrant.



# development permit area

DPA Map 1A	Sardis Vedder Aquifer
DPA Map 1B	Vedder River Fan
DPA Map 1C	Municipal Watershed: Volkert Creek, Yarrow, Majuba Hill
DPA Map 1D	Municipal Watersheds: Elk Creek and Dunville Creek
DPA Map 2A	Promontory, Ryder Lake and Eastern Hillsides
DPA Map 2B	Little Mountain
DPA Map 2C	Chilliwack Mountain
DPA Map 2D	Majuba Hill and Vedder Mo <mark>un</mark> tain
DPA Map 4	Farm Home Plate

# schedeles

Schedule A - Regional Context Statement

Schedule B - Form and Character Design Guidelines

Schedule C - Neighbourhood Plans

- 1. Downtown Land Use and Development Plan
- 2. Eastern Hillsides Comprehensive Area Plan
- 3. Agricultural Area Plan
- 4. Alder Neighbourhood Plan
- 5. Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- 6. Sardis Neighbourhood Plan
- 7. South Vedder Neighhourhood Plan
- 8. Yarrow Neighbourhood Plan

Schedule D - Growth Projection Tables

(All Schedules are located at the end of the report.)



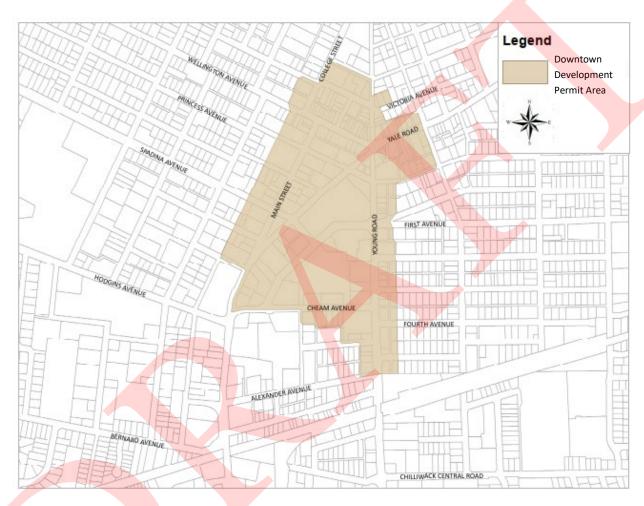
# 6 DOWNTOWN

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



# **Area**

Development occurring within the downtown area as identified in the map below is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(d) of the *Local Government Act*.



## Introduction

The Chilliwack Downtown Design Guidelines have been developed to implement the Official Community Plan and the Downtown Land Use and Development Plan. The Downtown Land Use and Development Plan articulates a clear vision for Downtown Chilliwack to be an attractive, vibrant, and safe neighbourhood. Through the implementation of the Downtown Design Guidelines, the City of Chilliwack is committed to ensuring that development enhances the character and quality of the downtown and creates a pedestrian environment that is memorable and engaging for residents and visitors alike.

The Chilliwack Downtown Design Guidelines highlight and recognize the unique character of the downtown core and encourage the restoration and enhancement of buildings of heritage value by property owners as a means of celebrating Chilliwack's unique and significant cultural heritage, while providing direction for new development.

Overall, the guidelines recognize that the unique character of the downtown can be creatively enhanced without the need for replication of historical styles and techniques. New development is encouraged to utilize the form, proportion, pattern, and detailing of architectural features to form a cohesive design fabric with existing development.

## **Justification**

The designation of this Development Permit Area supports revitalization of the historic downtown core and preserves its heritage character embodied in the Wellington Avenue, Yale Road East, Mill Street and Main Street corridors. It emphasizes a holistic approach that balances urban building and streetscape design with community event programming, healthier community initiatives, and economic development / promotion. Whereas the downtown Business Improvement Association promotes the downtown on behalf of merchants, these design guidelines aim to retain the downtown's walkable main street character, and differentiate it from the vehicle-oriented design of shopping centres and big box retail stores.

# **Objectives and Goals**

- 1. To enhance the image of the downtown as a retail and service center.
- 2. To maintain and foster the downtown's unique main street character, and advance downtown economic and cultural objectives through:
  - a. control of the design of new infill buildings and alterations to existing heritage designated buildings;
  - control of future development to ensure consistency with the established for and character of the areas;
  - c. maintenance and enhancement of the pedestrian-orientated streetscape.

The Chilliwack Downtown Design Guidelines are tools that advance municipal policy to facilitate future development that adds to the vitality of the downtown core. The guidelines aim to promote the Downtown Land Use Development Plan's vision of a vibrant and attractive mixed use core where new development complements the current form and character of downtown Chilliwack. Buildings should have their own 'personality,' yet be sensitive to the surrounding built forms and streetscapes.

The Downtown Design Guidelines aim to create places for people to enjoy in the heart of Chilliwack by promoting the development of built form that contributes to the life, activity, and visual interest of the pedestrian environment. The guidelines also serve as an educational tool and resource demonstrating how sympathetic contemporary architecture can complement Chilliwack's unique historic character.

# **Requirements and Exemptions:**

The following requires a Development Permit:

- Subdivision of land zoned for intensive residential (rowhouses and single family attached dwellings
  where developed in conjunction with a rowhouse or townhouse development), multi-family
  residential, commercial or industrial use.
- Alterations to existing buildings or new construction on land zoned for intensive residential
   (rowhouses and single family attached dwellings where developed in conjunction with a rowhouse or
   townhouse development), multi-family residential development, commercial or industrial use
   including exterior renovation or restoration of a building façade and installation of signs, awnings
   and canopies.
- 3. Consolidation of any parcel that is partially or wholly within this Development Permit Area.
- 4. Exterior building protection on street facing portions of a building (excluding lanes).

The following are exempt from a Development Permit:

- 1. Interior works which do not affect the size or materially affect the external appearance of the building.
- 2. Demolition, including the removal of awnings and canopies.
- 3. Exterior repairs or non-structural alterations where the original materials are either salvaged and reused or replicated by new materials.
- 4. Window decals with 25% or less window coverage.
- 5. Interior building protection that is transparent

# **Design Guidelines:**

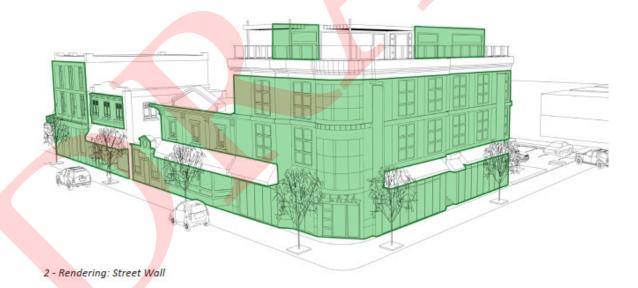
The following guidelines will be considered when setting Development Permit conditions.

# **Site Planning**

Ensure development components (buildings, access and parking) are organized and grouped to be easy to understand and navigate, and to directly integrate both visually and physically to adjacent buildings and the public realm.

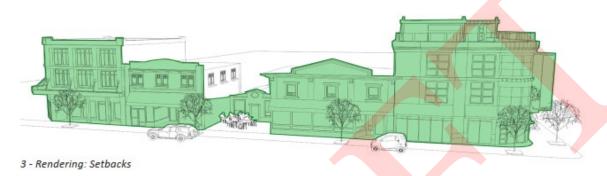
### **Building Siting**

- **D-1 Orientation** Buildings shall be oriented towards the street. In order to contribute to a strong pedestrian experience, the primary building elevation shall face the street, with the windows and main entrance visible and accessible from the street.
- D-2 Street Wall Buildings shall be aligned parallel to the street edge and should incorporate a unified streetscape by maintaining a consistent street wall that defines the public realm and provides a positive environment for pedestrians.



D-3 Setbacks – Buildings shall be located close to the back of the sidewalk. Front setbacks should be eliminated in order to create a strong relationship between building form and the public realm. Setbacks will not be permitted to accommodate front yard parking.

If any setbacks from the front property line are proposed, they should be used to animate outdoor space through the development of outdoor seating, plaza area, or display space. Small front setbacks will also be permitted if required to allow for elevation gain to building entryways in order to meet the requirements of the City of Chilliwack Floodplain Bylaw.



#### **Building Form**

D-4 Mass – Development should increase the animation and visual interest along the street by breaking down the mass of buildings into smaller pieces.
 Expansive walls should be divided into smaller sections that look unique.



4 - Rendering: Mass

**D-5 Height** – Building form within the downtown core should be sensitive to its surrounding context and should minimize sunlight loss to neighbouring streets,

parks and open spaces. Roof lines should be varied to create visual interest and to break down the sense of building mass along the street.

Buildings taller than three storeys shall incorporate a 3.0 m setback above the third storey to create a podium along the street frontage. The podium must be strongly connected to the pedestrian realm and must minimize sunlight loss at the street level.

Where tall buildings are permitted, the applicant must illustrate how buildings have been arranged and designed to minimize sunlight loss to important public spaces including: parks, open spaces, streets, and sidewalks. A sunlight study may be required to illustrate potential impacts. For the tower component of developments with tall buildings, the use of slender towers with small floor plates is encouraged.

Outdoor amenities are encouraged on the roof tops of tall buildings and on building podiums in order to promote active living, 'eyes on the street', and community safety.



5 - Rendering: Height

# **Active Frontages**

Ensure the ground floor of street-fronting development has the character and qualities necessary to engage pedestrians, facilitate safety and create a vibrant streetscape.

D-6 Transparency – The majority of the ground floor front façade should be transparent in order to animate the street and to improve downtown safety.

Glazing should be of transparent material with a low reflective property, and the use of safety glass (e.g. tempered glass) is encouraged. From the street, pedestrians should have a clear view into the ground floor use.



#### 6 - Rendering: Transparency



Photo 1 - Interior retail components can be seen from the street



Photo 2 - Transparent storefront display



Photo 3 - Views from inside the store can help promote safety on the street

D-7 Articulation – Façade treatments within the streetscape should be diverse in order to increase visual interest for pedestrians. Development on the ground level shall be visually distinguishable from the upper levels. Buildings are encouraged to utilize architectural detailing such as window designs, difference in materials, cornices, colours, or other techniques to differentiate between the base and upper sections of a building.

The base section shall contribute directly to the pedestrian realm by establishing scale and character at the street level, and the upper section shall contribute to the overall downtown streetscape and design.

Balconies should be incorporated partially or wholly into the building structure and standalone balcony projections are discouraged.



#### 7 - Rendering: Articulation



Photo 4 - Different materials and colours used to clearly differentiate between the lower and upper levels of the building



Photo 5 - Differing façade treatments between the upper and lower levels of development



Photo 6 - Window size and façade treatments create contrast between the lower and upper levels of the building

D-8 Entrances – Entrances shall be clearly marked and easy to find. The main entrance should be visible from the street and should be prominently shown on the street-facing building elevation. Special detailing around the entrance is encouraged in order to highlight the main entryway.



#### 8 - Rendering: Entrances



Photo 7 - Distinctive corner treatment highlights building entrance



Photo 8 - Entrance that incorporates different treatment than rest of building



Photo 9 - Entrance easily accessed by pedestrians directly off of a main street

**D-9** Corners – Where a development is located on a corner property or at the end of a block, special consideration should be given to the side elevations and corners of buildings. The building should be located close to the intersection in order to anchor the corner.

Development should incorporate tapered corner treatments that increase the pedestrian space and address the intersection, avoiding sharp, blind corners that are difficult to navigate and reduce public realm space. The building should also take advantage of high-visibility intersections and corner lots as an opportunity to act as a gateway or landmark.



#### 9 - Rendering: Corners



Photo 10 - Curved corner treatment



Photo 11 - Use of different materials and colours to create a distinctive building corner



Photo 12 - Use of banding to emphasize building corner

### **Access & Circulation**

People arrive to the downtown using all forms of transportation ranging from walking to cycling, driving a car to taking transit. Development needs to be organized to ensure access and parking (whether bike or car) is intuitive and convenient without compromising the pedestrian character of the site and surrounding development.

D-10 Site Access – Ensure the site is easy to access for the pedestrian, cyclist and driver. Driveway access to automobile parking areas shall be provided from side streets or laneways. Parking areas for vehicles must be clearly marked and easy to locate, access, and navigate.

Driveways across primary pedestrian areas should be avoided in order to maintain continuous sidewalk and a consistent streetscape.

A minimum 1.5m wide hard surface sidewalk should be provided from the public highway or public sidewalk to each dwelling unit or building, and be clearly separated from any roadways, driveways, parking lots, parking spaces, and maneuvering aisles, by curbing.

**D-11** Parking Facilities – Developments are encouraged to incorporate on-site bicycle facilities. Bike racks should be highly visible and provided close to building entrances. Bike rack design should be reflective of the associated building and landscaping, as well as the surrounding downtown context and character.

Surface parking lots should be located behind development, in order to preserve the frontage for built form with active land uses or for use as vibrant outdoor spaces. Special attention will be required to ensure pedestrians can have direct, easy and safe access to ground floor store fronts and sidewalks.

Where a rear surface parking lot abuts the street, landscape buffers and/or decorative screening will be required to enhance the surrounding pedestrian environment.

Existing street parking facilities should be preserved and used to slow speeds within the downtown area and to act as a buffer between sidewalks and the road.



10 - Rendering: Parking Facilities

**D-12** Alley Redevelopment – Redevelopment in downtown alleys is encouraged to activate rear lanes, to utilize available space efficiently and to create interesting and inviting spaces for pedestrians. Redevelopment should improve alleyway safety and should creatively contribute to the character and quality of the downtown.



Photo 13 - Inviting rear laneway



Photo 14 - Creative use of building forms to activate rear lane area



Photo 15 - Use of vegetation to activate rear laneway

## **Architectural Character**

Ensure the design treatments applied to the built form contribute to the interest, comfort, vitality and character of downtown Chilliwack creating a unique and memorable experience for residents and visitors alike.

**D-13** Façade treatment – Front façades should address the street, complement adjacent development and reinforce a positive pedestrian environment. The front façade is the primary portrayal of the building seen from the street; therefore, it is critical that the front façade is well designed and contributes to the overall streetscape.

A secondary façade is any side of a building that does not have a primary entrance to the street and is typically a side or rear façade that is generally less ornate than the front façade. Secondary façades should enhance the overall building design and should not be left untreated. Property owners are afforded more flexibility in the treatment of secondary façades and in the use of colour on secondary façades. Secondary façades provide an opportunity for the creative design of lesser used areas and for the incorporation of public art or murals within the streetscape.

Regardless of treatment, secondary façades should be adequately detailed, should not detract from the front façade, and should contribute to the overall character and quality of Downtown Chilliwack.



Photo 16 - Front façade treatment that contributes to the pedestrian environment



Photo 17 - Use of mural on rear façade of building



Photo 18 - Creative treatment of secondary façade

**D-14 Windows and Doors** – The form, proportion, pattern and detail of windows and doors should be complementary to the surrounding context.

Windows should be largest at the ground level and should incorporate clear glazing that encourages views from the street into the active uses. Upper levels will feature smaller windows that incorporate a symmetrical pattern and detailing. The use of glass block masonry is not permitted on the ground floor and is discouraged on all other levels of the building.



11 - Rendering: Windows & Doors



Photo 19 -Complementary form and proportion of building windows

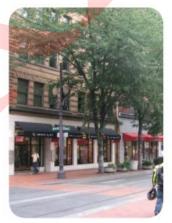


Photo 20 - Symmetrical patterning and detailing of lower and upper level windows



Photo 21 - Windows with clear glazing encouraging views to and from the street

D-15 Awnings and Canopies – Awnings and canopies are design elements used as a form of protection from the elements and a pedestrian amenity in the downtown core. Material and design of awnings and canopies are flexible, however, chosen materials and design should be reflective of the surrounding downtown context and character.

Awnings and canopies may be either fixed or retractable, and do not need be continuous across multiple commercial frontages, but instead may highlight entrances, windows, or patio spaces. They should be located a minimum of 2.5 m (8 ft) above the sidewalk to the lowest structural element, with a minimum setback of 0.6 m (2 ft) from the curb face and no minimum projection.

Awning and canopy colours and fabrics should respect the colour palette of the building to which it is affixed, as well as the general colour scheme of the surrounding streetscape. The use of a variety of colours and patterns and/or backlighting is permitted; however, colours and fabrics should be complementary to the broader image of the downtown core. The use of bright primary colours or patterns, or overly lit awnings and canopies is discouraged.



12 - Rendering: Awnings & Canopies



Photo 22 - Use of awning as an architectural feature create interest within the streetscape



Photo 23 - Use of traditional awning



Photo 24 - Contemporary glass canopy

- D-16 Materials New development is encouraged to utilize building materials that reflect the natural characteristics of the surrounding landscape and contribute to the existing downtown character. For exterior building finishing, materials such as masonry, wood and metal are preferred.
- D-17 Signage Signage is a critical visual element used to promote and identify businesses and to contribute to the visual character and ambience of Downtown Chilliwack. As such, it is important that signage throughout the downtown core is of high quality. Signage may take a number of forms including: fascia, projecting, awning, window, and freestanding signage.

Individual signage design is encouraged to be creative and innovative while respecting the overall character of the downtown. Signage colours must complement the overall downtown streetscape and the building to which it is affixed. In general, preference is given to unique and visually appealing externally lit signs in the downtown core. The use of plain, backlit box signs is discouraged.

Ultimately, the scale, type, and number of signs permitted on any given building is governed by the City of Chilliwack Sign Bylaw.



13 - Rendering: Signage



Photo 25 - Corporate logo use in an urban setting



Photo 26 - Use of upright signage that is in keeping with downtown character



Photo 27 - Use of colour in signage

**D-18 Colour** – The strategic use of colour on buildings is encouraged to support a vibrant and visually attractive downtown streetscape; however, development should ensure sensitivity to the surrounding downtown context.

Buildings should incorporate a colour scheme composed of up to four complementary colours to create visual interest and highlight architectural features. Single colour paint schemes are discouraged and should be avoided.

The dominant colour applied to majority of the façade should be more subdued and muted while more dynamic and contrasting colours are encouraged to be used for defining architectural features or trims, such as window frames, door frames, and mouldings, as appropriate. The large-scale use of colour accents shall be limited to the ground floor and should complement the colour schemes of adjacent buildings. Bold primary colours should not be used on the majority of the façade.

D-19 Lighting – Lighting is an important design element used to convey the intimacy, character, comfort and safety of the downtown area. Ground level lighting must be used to improve street level ambience and pedestrian safety.

The use of lighting as a method of enhancing the appearance of the structure during hours of low light conditions is encouraged. Lighting affixed to buildings provides the opportunity to highlight architectural elements, unique building features, and building signage.

**D-20 Window Decals** – Window decaling is permitted, where it prioritizes transparency and aesthetic design and avoids dominating the building design, to promote visual character and safety. Window decal standards are based on maximum window coverage – total portion of window space used – and apply to a group of connected windows, including glass doors.

#### The following is permitted:

- 25% maximum solid graphic decal or
- 40% maximum perforated decal no less than 50% transparency (50/50-vinyl/perforation) or
- 40% maximum frosted decal or
- 40% maximum tinted decal no less than 40% transparency

5% maximum solid graphic decal can be included in the total 40% maximum for perforated, frosted, or tinted decals.

Variances may be sought for creative and aesthetic designs that achieve a high level of transparency and avoid dominating the building character. Third party advertisement is not permitted.

### **Definitions:**

**Solid Graphic decal**: solid image including text and colour blocks with no transparency

- Tinted decal: semi-transparent tinted film
- Frosted decal: no transparency; lets lights in but you can't see in or out
- Perforated decal: semi-transparent with openings



Perforated



Approximately 25% solid graphic decal



Approximately 25% solid graphic decal



Approximately 25% solid graphic decal



Approximately 40% perforated decal with 50% transparency



Approx<mark>imately 40% frosted decal which includes a 5% solid graphic decal and the control of the </mark>



Approximately 40% tinted decal which includes a 5% solid graphic decal

Examples of decals where a variance may NOT be supported due to low transparency and a dominant impact on building character.

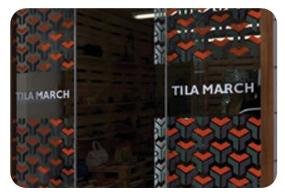








Examples of decals where a variance MAY be supported due to a creative and aesthetic design that maintains transparency and avoids dominating the building character and maintain transparency.









D-21 Building Protection - Commercial buildings may use a variety of protection measures at entry/exitways and on windows as security elements that impact the form and character of buildings. These measures must address other Downtown Design Guidelines, including transparency so pedestrians have a clear view into the ground floor uses from the street. This transparency is important for visual interest, allows window shopping and marketing, and improves street safety by allowing people to see into businesses, and light to spill out onto the sidewalk.

### To achieve transparency and consistent design, entry/exit protection shall be:

- fixed-in-place gates or bars (wrought or cast iron, or similar in appearance)
  - o accordion gates or rolling grills are also permitted when storage boxes are hidden behind awnings or painted to match the building wall
- black in colour, or a complementary colour to the building architecture
- transparent (clear view into the ground floor use from the street for the full area of the gate)
- either ornate design with detailing and patterns, or plain design with clean lines
- connected to commercial uses only
  - o not permitted for residential uses

solid shutters are not permitted

### To achieve transparency and consistent design, window protection shall be:

- glazing based (including safety film or safety / laminated glass)
- interior or exterior bars, gates, and rolling grills are also permitted
  - black in colour, or a complementary colour to the building architecture
  - transparent (clear view into the ground floor use from the street for the full area of the window, except as permitted for window decals)
  - either ornate design with detailing and patterns, or plain design with clean lines
- solid shutters are also permitted
  - o blank or bare metal is not permitted
  - must be limited to the window frame area and not cover building architecture
  - should use complementary colours with business decals or artwork, or may be transparent

### **Entry/exit protection examples:**



Fixed gate 100% transparent with ornate design showing detailing on bars and complementary colour to the building wall.



Interior accordion gate or bars, 100% transparent, black in colour.



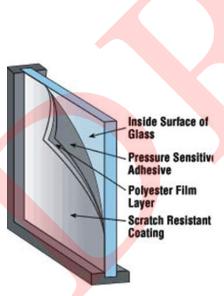
Roll-down gate 100% transparent with complementary colour and gate box hidden behind awning

Gate box hidden behind awning



Accordion gate 100% transparent with complementary colour to the building wall

### Window protection examples:



Safety film or laminated safety glass with 100% transparency







Black interior window bars with 100% transparency and either ornate design or plain design with clean lines

## Heritage

Promote the protection and enhancement of buildings of heritage value in the downtown core.

### Historic Architectural Context

The City of Chilliwack was established in the late 1800's as a service centre for the surrounding agricultural area, at what is now known as "Five Corners": the convergence of Yale Road, Young Road, and Wellington Avenue. As the third oldest municipality in British Columbia, Chilliwack possesses a notable collection of intact historic architecture within the downtown core. Existing architectural styles within the downtown commercial area range from western boom town wood frame construction, to Late Victorian styles such as Queen Anne, Edwardian, Beaux Arts, Classical Revival, and Italianate, and picturesque styles such as Art Deco, Mission Revival, and Tudor Revival. Over the years, many of the commercial structures in the downtown area have undergone renovations, which have diluted their original historic appearance and value. The Design Guidelines generally encourage the restoration and enhancement of historic design treatments and materials. Owners of historic buildings are encouraged to use the following guidelines when considering building renovations, façade improvements or other site enhancements.

### Application of Guidelines for Buildings of Heritage Value

Buildings built in the prevailing historic styles from Chilliwack's earlier period 1890's to 1940's (Late Victorian, and Picturesque eras) may have potential heritage value. Design guidelines for buildings of heritage value are provided here for property owners who wish to conserve and enhance the heritage value of their buildings in the downtown core, when undertaking building renovations, façade improvements or other site enhancements.

A formal heritage designation may also be voluntarily pursued by property owners, in accordance with the City's Municipal Heritage Designation Policy.

As investment in the Downtown continues, new buildings are anticipated to support revitalization goals. In balancing heritage conservation and downtown development objectives, the approach will be as follows:

- For voluntarily designated heritage buildings / sites: The City requires a heritage alteration
  permit in accordance with the City's heritage designation policy. Historic guidelines in the DPA
  are provided to support renovations and alterations.
- For buildings deemed to have potential heritage value: Property owners wishing to renovate or alter a building are encouraged to evaluate the condition of the building and follow the historic guidelines, where the total cost of reparations, structural reinforcements, or other requirements to support the retention of buildings and ensure current building standards is not cost-prohibitive.
- Where a building of potential heritage value is demolished as part of a broader community goal:
   Developers are encouraged to consider alternative ways to honor the heritage value of the site

and building to the community (e.g. through appropriate documentation; signage as part of a greater historic program; or other).

### Heritage Building Design Guidelines

D-22 Roof Forms and Materials - Roof forms should respect the precedent scale and form displayed by surrounding historic architecture. In most cases, a flat roof with an internal drainage system is the most appropriate for the downtown area. In addition, roof forms are encouraged to reflect the patterns of the surrounding mountainous environment in order to contribute to a varied skyline rhythm, either through pitched roofs or through the use of varied parapet wall designs.

Historically accurate roof materials should be used in the restoration or redevelopment of historic buildings. Typical roof materials include: coloured metal with standing seam or batten rib profiles, non-ferrous metals (copper, zinc, bronze), bitumen-based roofing systems on flat roofs, sawn wood shingles, and clay tiles on Mission Revival style buildings.



Photo 28 - Historic streetscape with varied roof lines



Photo 29 - Example of low-rise commercial building with flat roof



Photo 30 - Roof line variation between adjacent buildings

D-23 Parapet and Cornice Treatments - Parapet and cornice elements are important ornamental features on buildings. Detailed parapet and cornice treatments are encouraged in order to enliven the skyline and to reflect the surrounding natural environment and local historical architectural styles.

Original parapet and cornice treatments should not be removed from buildings of heritage value. Rather, they should be maintained and restored in a historically accurate fashion. Where elements are missing or deteriorating, the replacement and repair of historic parapet or cornice elements should be based on credible historic documentation.



Photo 31 - Historic building with a distinct parapet treatment



Photo 32 - Historic building incorporates cornice treatments along the roof line and across the façade



Photo 33 - Close-up of unique historic parapet treatment

**D-24 Windows and Doors** - Windows and doors are important architectural elements that express the historic character of a building. As such, original, historic windows should be retained and restored whenever possible.

Restoration and redevelopment of buildings of heritage value should respect the existing form, proportion, pattern, detail, and material of window and door openings, and should complement the precedent fenestration patterns of the surrounding historic architecture.

Where the removal of an historic window is required due to structural or energy conservation issues, the window should be recreated using the same materials. Generally, the window should retain the same form, detailing, and function.

Similarly, buildings of heritage value in the downtown core should retain original historic doors and doorway design. Where restoration work is required, doors should be of wood material with traditional detailing. Where this is not possible, coloured (anodized or painted) metal doors may be permitted.

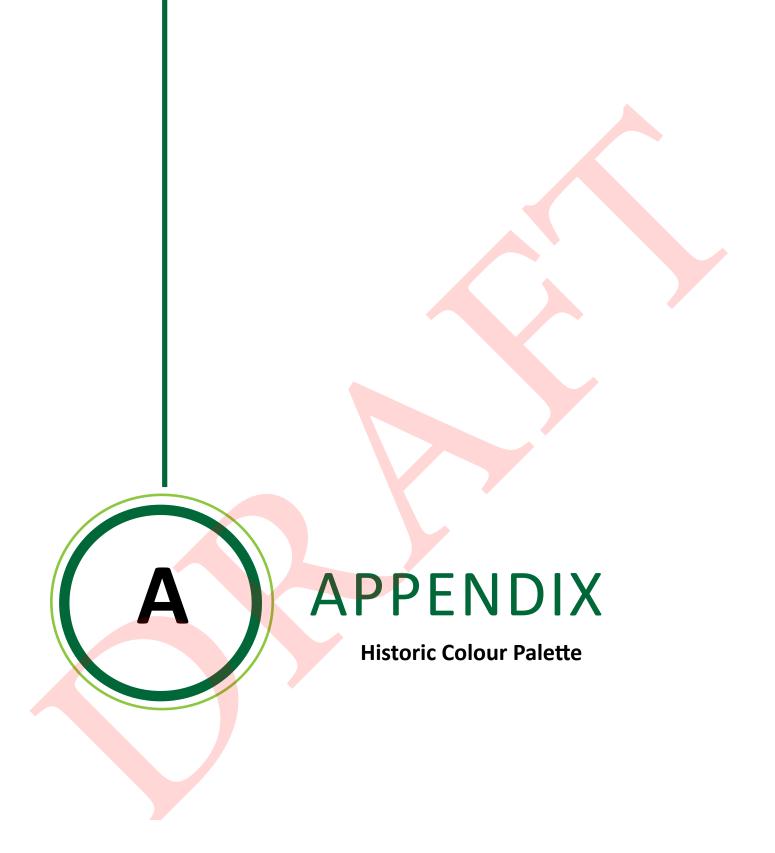
D-25 Building Materials - Historically accurate building materials should be used as exterior finishing materials on buildings of heritage value within the downtown core. Restoration and redevelopment work should retain and use any existing original historic building materials.

Generally, synthetic materials are discouraged, in favour of natural (organic) materials. Original historic materials should not be replaced with synthetic counterparts, nor should historic materials be covered with modern materials. Where historic material has been covered, it is recommended that it be uncovered and restored to as near original condition as possible.

Original historic building materials prevalent in the Chilliwack downtown area include: stone, brick, stucco, cast concrete, concrete block, ceramic & vitreous materials, wood siding materials, and metal. The style and design of various exterior finishing materials should respect the original historic appearance.

D-26 Colour - Colour selection for individual historic buildings within the downtown should consider the appearance of the overall streetscape to ensure compatibility. Where possible, colours should be chosen based on credible historic documentation. Otherwise, colour selection should conform to historic colour palettes (e.g. Vancouver Foundation True Colours Palette, Benjamin Moore Historic Colours, or Sherwin Williams Historic Palettes).

Development should utilize a paint scheme composed of up to four complementary colours to create visual interest and highlight architectural features. Single colour paint schemes are discouraged and should be avoided. Contrasting paint colours may be applied to architectural trims to accent the decorative features of the building façade, including: window frames, door frames, cornices, and other moldings, as appropriate. The use of extremely dark or light colours (e.g. pure white, pure black, chocolate brown) should be avoided.



Interior & Exterior Historical Color Collection Moore PAINTS



Intérieures et Extérieures









# COLOR

COULEUR



Historical Color Collection / La collection de couleurs historiques



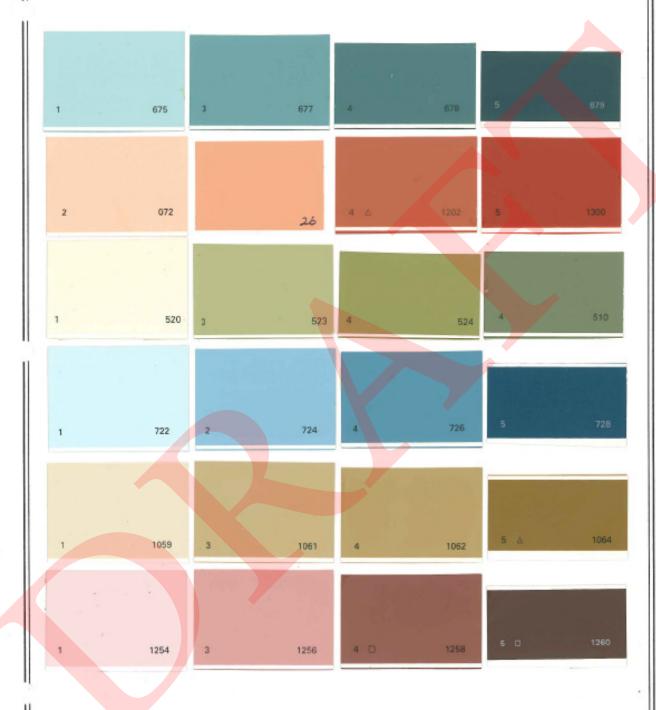






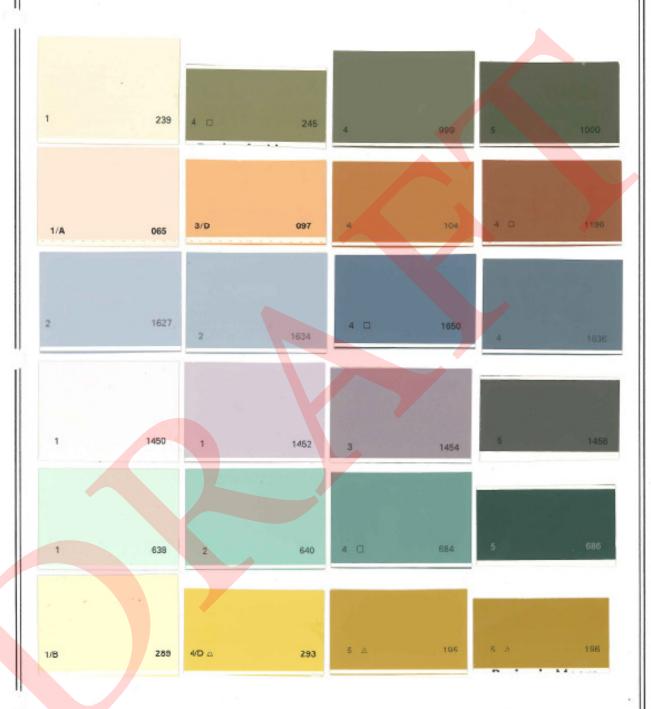


## **PALETTE**

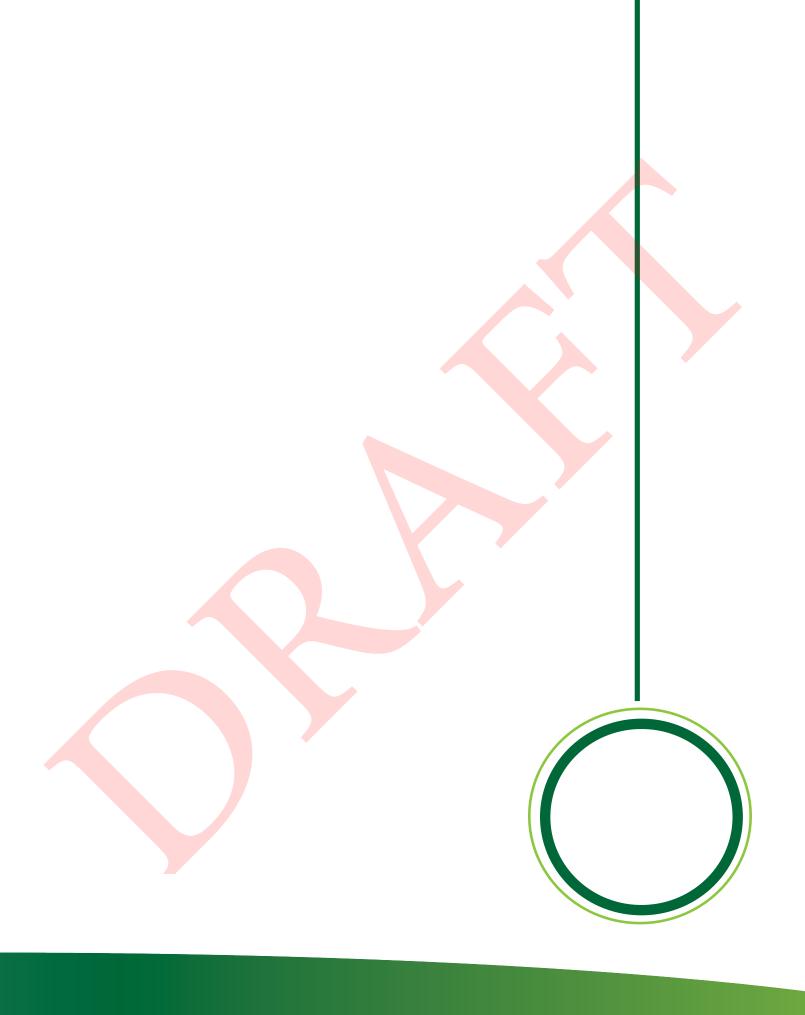


Benjamin Moore Brand Paint Code Numbers

## PALETTE



Benjamin Moore Brand Paint Code Numbers





# MIXED-USE AREAS

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



### **Area**

All development occurring within mixed-use zones and land use designations in the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under sections 488(1)(d) and (e) of the *Local Government Act*.

### **Justification**

Development occurring within mixed-use areas serve as vital hubs for neighbourhoods throughout the City of Chilliwack, playing a key role in fostering growth and change. It is important that these developments uphold a high standard of design and integrate with the surrounding context. These developments contribute to pedestrian-friendly streets and vibrant spaces that encourage people to walk, gather, and visit. As the city grows and evolves, these developments will enhance the livability and vibrancy of streets and public spaces, becoming integral to the community's ongoing development.

## **Objectives**

## **Requirements and Exemptions**

The following requires a Development Permit:

1. Development, including new construction, additions, signs, and site alterations

The following is exempt from a Development Permit:

- 1. Subdivision
- 2. Facade renovations that do not result in a change to the existing building roofline or footprint
- 3. Site alterations that do not reduce landscaping or amenity space
- 4. Fasc<mark>ia signs</mark>, signage copy change, and window coverings (such as reflective glazing and decals) that do not exceed 25%
- 5. Murals on any building façade (requires additional review in accordance with relevant City policy)

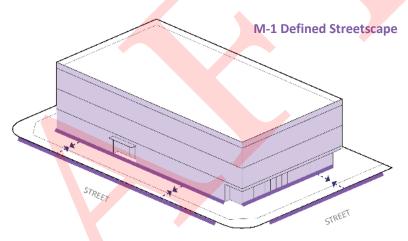
## **Design Guidelines:**

The following guidelines will be considered when setting Development Permit conditions.

## **Site Planning**

The development site provides clear, convenient, and safe use of the site, promotes active streetscapes and enhances the vibrancy of the neighbourhood.

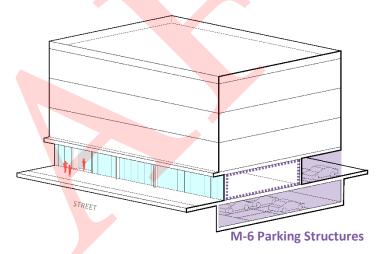
M-1 Defined Streetscape – Place buildings close to and parallel to the street edges, framing the streetscape.



- M-2 Pedestrian-Friendly Elements Incorporate weather protection (such as projection overhangs, eaves, canopies, and awnings), seating opportunities, and display areas throughout the site.
  - a) Development should have weather protection at business entrances, and on street facing façades; it can be used to accent windows, doors, or other façade features, does not need to be continuous, and may be retractable.
- M-3 Pedestrian Circulation Provide safe and efficient pedestrian circulation throughout the site, ensuring accessible, visible walkways to building entrances from streets, bus stops, and parking areas.
  - a) Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surface.
- M-4 Comfortable Outdoor Spaces Design and orient outdoor spaces (such as decks, balconies, patios, gardens, and outdoor amenities) to respond to environmental factors such as sun angles and winter shadowing.
- M-5 Transitions of Spaces Differentiate development between public and private spaces, creating a clear transition through paving patterns, symbolic barriers or

markers, signs and other visual cues to distinguish between what is "private" and what is "shared".

- M-6 Parking Structures Locate parking structures below grade, with active ground floor uses such as commercial units, and residential entrances and lobbies, facing the street.
  - a) Pedestrian access points to parking structures must be provided at grade to avoid creating below grade, concealed entrapment areas.
  - b) Where a parking structure is located above grade it must be either constructed along the interior lot lines or setback a minimum of 2m from the interior lot lines, in order to not create a narrow, unmaintained, and inactive space between the structure and the property lines.
  - c) Where a parking structure is located above grade, it must be masked and wrapped with commercial units and residential entrances and lobbies.



- M-7 Surface Parking Areas Locate surface parking areas beside and behind buildings and visually integrate them with the site, emphasizing landscaping, tree planting, signage, and lighting to minimize visual dominance.
- M-8 Vehicles Provide safe and efficient vehicle circulation throughout the site.
  - a) Routes and access points must be clearly defined and easily visible through techniques such as curbing, pavement treatments, lighting, and wayfinding signage.
- Waste, Loading, and Storage Locate waste receptacles, loading bays, and outdoor storage areas away from public view.
  - Screen waste receptacles and storage areas with attractive materials and/or architectural treatments complementary to the associated building(s).

## **Building Design**

The building design supports an attractive and high-quality environment that directs active uses along the streets, contributing to a vibrant "Main Street" built form that encourages people to walk, gather, and visit.

- M-10

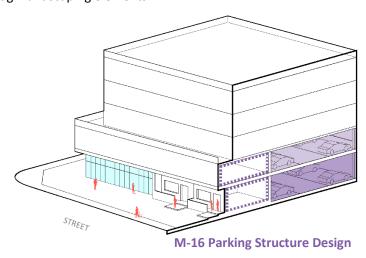
Building Access - Ensure pedestrian building and business entrances are clearly identifiable through architectural distinction, and accessible from the street.

- Residential entrances to a building must be separate from commercial uses and oriented to the street, and should be clearly identified through a 2-storey expression.
- **Building Orientation** Design buildings so that the main façades face the street. M-11
  - a) If served by a lane, architectural design and patterns similar to the main façade must be incorporated along the lane interface.
  - b) If located on a corner lot, the building should be oriented to face both streets.
- M-12 **Building Base** – Design a pedestrian-oriented building base of 1 to 3 storeys in a distinct form and character from upper storeys.
  - a) A cohesive combination of different materials, colours, awnings, projection overhangs and eaves, trim and accents, and building articulation should be used.
- M-13 Visual Interest – Design buildings to create an engaging and appealing environment for both residents and visitors through visual diversity in building form, shape, rooflines, and character, emphasizing patterns, horizontal and vertical articulation, window treatments, and differing materials and colour.
  - a) Large expanses of singular materials and blank walls are not permitted where visible to the public, except where constructed along an interior lot line.
  - b) Non-combustible cladding must be used on balconies and patios associated with residential use.
  - Development may use a variety of materials (such as glass, wood, brick, rock, and similar materials) in various combinations of texture and colour.

## M-14 Streetwall Continuity – Provide a continuous streetwall by matching the established setbacks of adjacent buildings or envisioned future built form.



- M-15 Street Amenity Areas Incorporate small setbacks at the ground level to create space for display areas, patios, and/or other outdoor site furnishings to support an active frontage.
  - Additional setbacks beyond zoning requirements may be necessary and appropriate at street corners, building entrances, and other locations to accommodate street amenities.
- M-16 Parking Structure Design Where a parking structure is sited above grade, design it as an integral part of the building by extending the upper façade treatment down to ground level (such as false façades, vertical breaks, and horizonal façades).
  - a) At grade commercial units, residential entrances, and indoor common amenity areas located adjacent to streets must be used to mask or wrap around the structure.
  - b) Where the above uses cannot be used to mask or wrap the structure, mitigate the impact through landscaping elements.

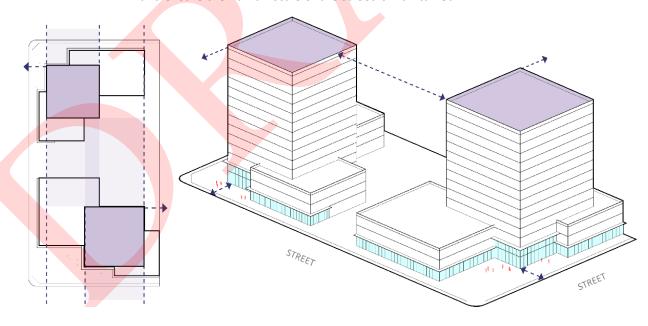


- M-17 Transparent Ground Level Promote visibility of street facing ground level storefronts and lobbies with large amounts of windows and transparent glazing, enhancing street activity and strengthening the connection between indoor and outdoor spaces, and providing natural surveillance.
- M-18 Integrated Signage Design signage to be integrated into the building and complement the character, materials and landscaping.

### Mid- to High-Rise

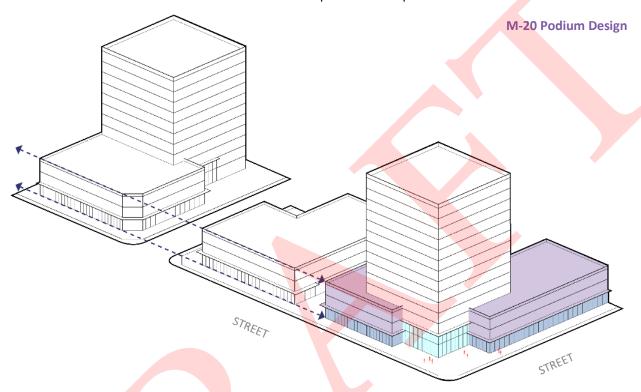
The building design supports an attractive tall building development that contributes to the neighbourhood and integrates with adjacent buildings.

- M-19 Placement and Orientation Orient tall buildings to minimize shadows and overlook effects on adjacent buildings, pedestrian areas, parks, and open spaces.
  - a) Placement of tall buildings should be informed by neighbouring properties and adjacent tall building development. Development should provide a height transition and vertical articulation to complement existing heights, where existing adjacent building heights are not anticipated to change.
  - b) Overlap should be minimized through staggered building placement and orientation.
  - c) Tall buildings should be setback to minimize pedestrian realm impacts and ensure the human-scale of the street is maintained.



M-19 Placement and Orientation

- M-20 Podium Design For tall buildings with a podium and tower design, ensure the podium relates directly to the existing streetwall and aligns with the height and typology of adjacent building façades.
  - a) Where there is not an existing streetwall, a new one should be established that allows for future phased development and evolution.



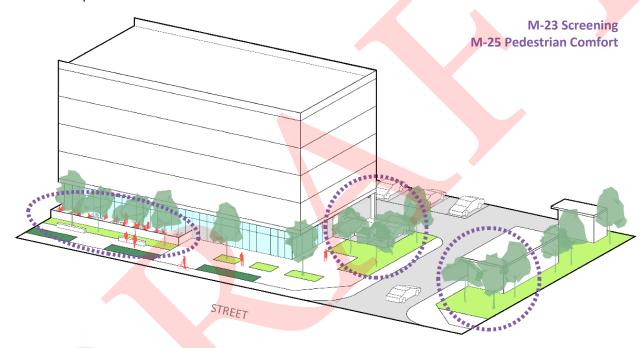
M-21 Outdoor Rooftops – Integrate visible and accessible outdoor amenity spaces on rooftops or podium areas for building residents.

## Landscape

The landscape design complements the building architecture and provides year-round interest along pedestrian pathways and building façades, enhancing the visual appeal, quality and functionality of the site.

- M-22 Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation, and incorporating new landscaping throughout the site and along the streetfront, side yards, and rear lanes.
  - a) Landscaping may be added along lanes to delineate vehicle movement, improve visual appeal, and soften the building façade.

- M-23 Screening Use landscaping elements (such as plants, berms, landscape beds) and architectural features to screen parking, loading, waste receptacles and mechanical/ utility equipment from the streetfront.
- M-24 Sightlines and Movement Design landscaping to ensure visibility for safe pedestrian and vehicle movement, minimize concealment, and the creation of potential hiding spots.
  - a) Avoid planting tall growing shrubs and visually concealing fencing and landscaping along the streetfront and walkways.
- M-25 Pedestrian Comfort Plant trees along the streetfront and walkways to protect pedestrians from sun and wind.

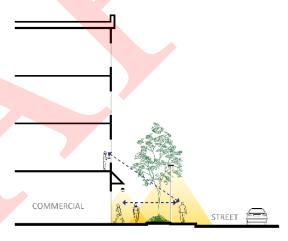


- M-26 Stormwater Infiltration Integrate stormwater infiltration features (such as grass blocks or pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **M-27 Year-Round Interest** Provide landscaping to ensure year-round visual interest and variety along the streetfront and pedestrian walkways.
  - a) Irrigation systems must be used for plants that require additional watering throughout the year.
  - b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

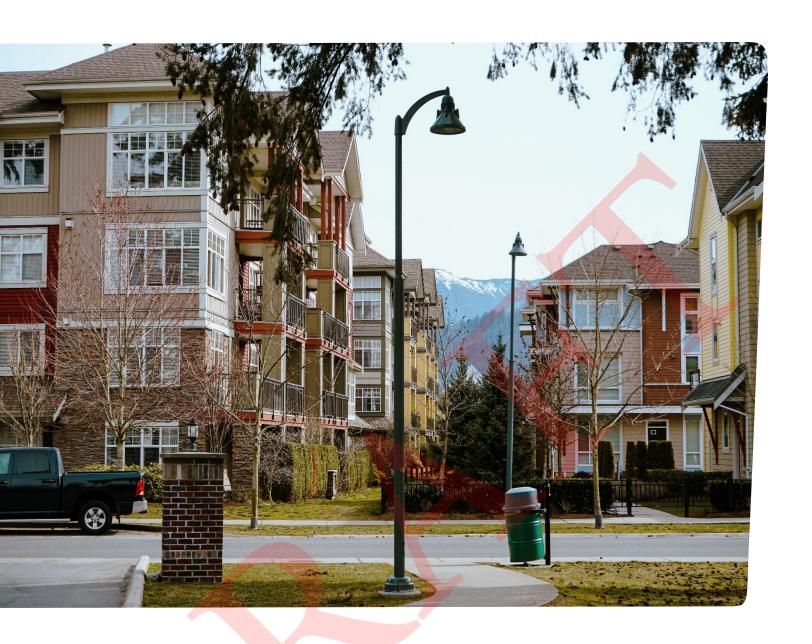
## Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- M-28 Building Lighting Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **M-29 Visual Safety** Provide focused lighting in key areas (such as walkways, parking, seating areas, plazas, entrances and exits) to improve visibility, especially in low-light conditions.
- M-30 Light Pollution Direct lighting downward and away from adjacent properties.



M-28 Building Lighting M-29 Visual Safety



# RESIDENTIAL

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



#### **Area**

Multi-unit, intensive, and detached accessory dwelling unit residential development within the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(e) of the *Local Government Act*.

### **Justification**

Residential developments play a vital role in shaping neighbourhoods and their character. It is essential that these developments maintain a high standard of design, integrating with the natural features of the surrounding environment. New residential development plays an important role in the growth and transformation of an evolving neighbourhood character for its residents. The scale, siting, and form of new residential development should complement the existing neighbourhood by creating pedestrian-friendly and visually appealing spaces, while contributing to the future vision of the neighbourhood.

# **Objectives**

These guidelines aim to ensure that new development integrates seamlessly into the neighbourhood while upholding high standards of site and building design. This can be achieved by coordinating building form and siting with well-planned areas for parking, storage, and landscaping, while also promoting consistent streetscapes and a pedestrian-friendly scale that enhances livability for future residents. A combination of design techniques, including Crime Prevention Through Environmental Design (CPTED) principles, have been incorporated directly into these guidelines ( ) to create more active, engaging, and safe development.

# **Requirements and Exemptions**

The following requires a Development Permit:

1. Multi-unit, intensive, and detached accessory dwelling unit residential development, including new construction, additions, and site alterations

The following is exempt from a Development Permit:

- Subdivision
- 2. Detached accessory dwelling units in the Agricultural Land Reserve or Ryder Lake neighbourhood
- 3. Facade renovations that do not result in a change to the existing building roofline or footprint
- 4. Site alterations that do not reduce landscaping or amenity space
- 5. Murals on any building façade (requires additional review in accordance with relevant City policy)

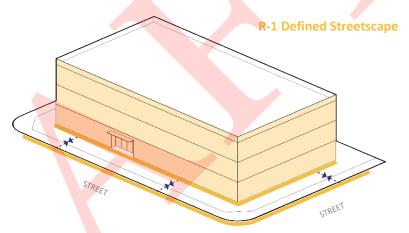
# **Design Guidelines:**

The following guidelines will be considered when setting Development Permit conditions.

# **Site Planning**

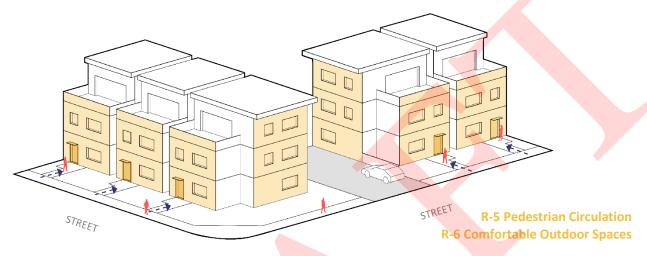
The development site provides clear, convenient, and safe circulation, and the associated building form and placement fits within the broader neighbourhood context, enhancing the vibrancy of the neighbourhood.

**R-1 Defined Streetscape** – Place buildings close to and parallel to the street edges, framing the streetscape.

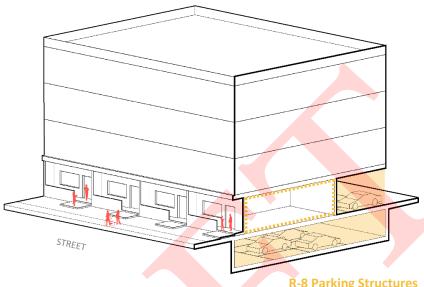


- **R-2 Site Grading** For development located in hillside areas, apply context sensitive design approaches to integrate site grading into the structural design of buildings.
- R-3 Natural Features Incorporate and preserve existing natural features (such as slope, vegetation, and trees) into the development.
- **R-4** Pedestrian-Friendly Elements Incorporate weather protection (such as projection overhangs, eaves, canopies, and awnings) and seating opportunities throughout the site.
  - a) Weather protection should be provided at main building entrances.
- **R-5** Pedestrian Circulation Provide safe and efficient pedestrian circulation throughout the site, ensuring accessible, visible walkways to building entrances from streets, bus stops, and parking areas.
  - a) Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surfaces.

- **R-6 Comfortable Outdoor Spaces** Design and orient outdoor spaces (such as decks, balconies, patios, gardens, and outdoor amenities) to respond to environmental factors such as sun angles and winter shadowing.
  - a) Outdoor common amenity areas must be placed in a central location that is accessible for all ages and abilities.



- **R-7** Transitions of Spaces Differentiate development between public and private spaces, creating a clear transition through paving patterns, symbolic barriers or markers, signs and other visual cues to distinguish between what is "private" and what is "shared".
- R-8 Parking Structures Locate parking structures below grade, with active ground floor uses (such as individual unit access, patios, main building entrance, lobbies, and indoor common amenity areas) facing the street.
  - a) Pedestrian access points to parking structures must be provided at grade to avoid creating below grade, concealed entrapment areas.
  - b) Where a parking structure is located above grade it must be either constructed along the interior lot lines or setback a minimum of 2m from the interior lot lines, in order to not create a narrow, unmaintained, and inactive space between the structure and the property lines.
  - c) If the floor level of residential units is 2m or less above grade, the residential units must have direct access to the streets using a combination of stairs, pathways, and/or gateway elements.
  - d) If the floor level of residential units is greater than 2m above grade, tiered landscape beds must be provided along the street and direct residential unit access to the streets is not required.



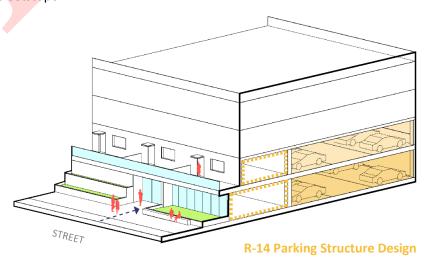
- **R-8 Parking Structures**
- **R-9** Surface Parking Areas – Locate surface parking areas beside and behind buildings and visually integrate them with the site, emphasizing landscaping, tree planting, signage, and lighting to minimize visual dominance.
- **Vehicles** Provide safe and efficient vehicle circulation throughout the site. R-10
  - a) Routes and access points must be clearly defined and easily visible through techniques such as curbing, pavement treatments, lighting, and wayfinding signage.
- R-11 Waste, Loading, and Storage – Locate waste receptacles, loading spaces, and outdoor storage areas away from public view.
  - a) Screen waste receptacles and storage areas with attractive materials and/or architectural treatments complementary to the associated building(s).

# **Building Design**

The building design contributes to an attractive, welcoming, and vibrant multistorey residential neighbourhood, with a focus on creating a well-integrated housing development that supports community interactions with active spaces at the street level, ground-oriented units, and pedestrian-friendly design.

- R-12 **Complementary Design** – Design buildings that complement, rather than replicate, the existing buildings within the area.
  - a) Development should provide a height transition and vertical articulation to complement existing heights, where existing adjacent building heights are not anticipated to change.

- b) Development should protect views and sunlight access when adjacent to heritage protected and heritage interest properties.
- **R-13 Visual Interest** Design buildings to create an engaging and appealing environment for both residents and visitors through visual diversity in building form, shape, rooflines, and character, emphasizing patterns, horizontal and vertical articulation, window treatments, and differing materials and colour.
  - Large expanses of singular materials and blank walls are not permitted where visible to the public, except where constructed along an interior lot line.
  - b) Non-combustible cladding must be used on balconies and patios associated with multi-unit buildings.
  - c) Development should use a variety of quality materials (such as glass, wood, brick, rock, and similar materials) in various combinations of texture and colour.
- **R-14** Parking Structure Design Where a parking structure is sited above grade, design it as an integral part of the building by extending upper façade treatments down to ground level (such as false façades, vertical breaks, and horizontal façades).
  - a) Visibility into the floor level of residential units must be enhanced through the use of decorative, see-through fencing and/or railings combined with low growing landscaping. Continuous solid walls or other visually impermeable fencing extending above the parking structure's ceiling is not permitted.
  - b) At-grade residential entrances, lobbies, and indoor common amenity areas located adjacent to streets should be used to mask or wrap around the structure, with landscape beds to soften the visual impact where these uses are absent.
  - c) A combination of design techniques, materials, and landscaping should be used to minimize the visual impact of staircases and ramps along the streetscape.

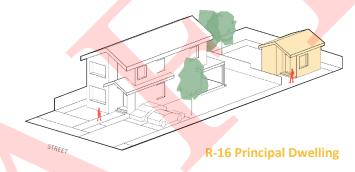


**R-15** Integrated Signage – Design signage to be integrated into the overall design of the building and complement the character, materials and landscaping of the building.

#### **Detached Accessory Dwelling Units**

The building design supports an attractive and complementary detached accessory dwelling unit development.

**R-16** Principal Dwelling – Complement the architectural design of the existing principal dwelling with respect to elements such as the roofline, massing, shape, scale, proportion, exterior finishes, and colour.



- **R-17** Laneway Activation Design the building so that the main façade faces the street or lane from which the unit is accessed.
- R-18 Building Siting Locate the unit beside or behind the principal dwelling.
- **R-19** Overlook and Privacy Place windows to limit overlook and provide privacy.
  - a) Windows should be oriented towards the internal lot, lane, and flanking street (if on a corner lot).
  - b) When windows are oriented externally towards adjacent properties, decorative window frosting, patterns, and textured glass, skylights, and/or clerestory windows must be used, unless a view obstructing screen is provided.
- **R-20** Private Amenity Areas Locate private amenity areas to maximize privacy and limit views onto adjacent properties.
  - a) When located above ground, balconies and/or decks should be oriented towards the internal lot, lane, and/or flanking street (if on a corner lot).
  - b) Roof decks are not permitted.
- **R-21 External Staircases** Design external staircases and associated weather protection as an integrated part of the building.

a) Access should be directed towards the internal lot, lane and/or flanking street (if on a corner lot).

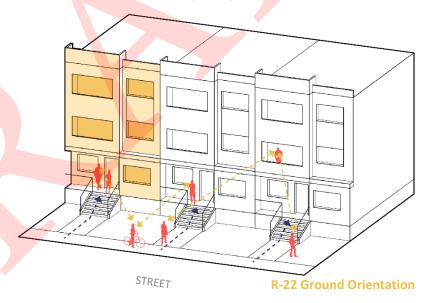
#### **Townhouses**

#### The building design supports an attractive street-facing townhouse development.

- R-22

**Ground Orientation** – Orient the units and front façade to have an active relationship with the street, ensuring the façades are engaging and visually interesting for pedestrians, while also creating natural surveillance and interaction with the street.

- a) Units adjacent the street with the floor level of the first storey located 2m or less above grade must have direct access to the street.
- b) A combination of design techniques, materials, and landscaping should be used to minimize the visual impact of staircases along the street.
- c) Units adjacent the street should include large street facing windows and architectural details (such as bay windows, stoops, porches, and weather protection) to emphasize the unit's primary entrance.

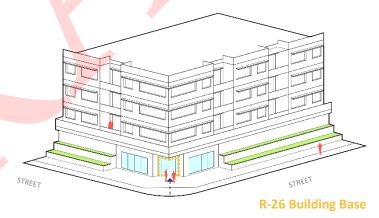


R-23 **Green Neighbourhoods** – Provide sufficient space for landscaping and trees near unit entrances, streets, between walkways and driveways, and outdoor amenity areas.

#### **Apartments**

The building design supports an attractive tall building development that contributes to the neighbourhood and integrates with adjacent buildings.

- **R-24** Building Orientation Design buildings so that the main façades face the street.
  - a) If served by a lane, architectural design and patterns similar to the main façade must be incorporated along the lane interface.
  - b) If located on a corner lot, the building should be oriented to face both streets.
- **R-25**Building Access Ensure pedestrian building entrances are clearly identifiable through architectural distinction, and accessible from the street or lane, with the primary building entrance oriented towards the street.
  - a) Buildings on corner lots should position the entrance in proximity to both streets.
- **R-26 Building Base** Design a pedestrian-oriented building base of 1 to 3 storeys in a distinct form and character from upper storeys.
  - a) A cohesive combination of different materials, colours, awnings, projection overhangs and eaves, trim and accents, and building articulation should be used.



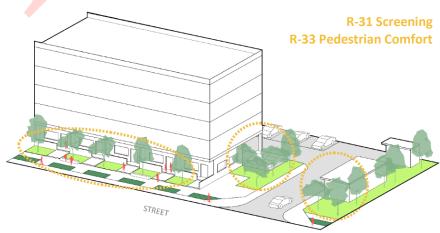
- R-27 Outdoor Rooftops Integrate visible and accessible outdoor amenity spaces on rooftops or podium areas for building residents.
- **R-28** Placement and Orientation Orient tall buildings to minimize shadows and overlook effects on adjacent buildings, pedestrian areas, parks, and open spaces.
  - a) Placement of tall buildings should be informed by neighbouring properties and adjacent tall building development.
  - b) Overlap should be minimized through staggered tower placement and orientation.

- c) Tall buildings should be setback to minimize pedestrian realm impacts and ensure the human-scale of the street is maintained.
- **R-29 Podium Design** Ensure the podium relates directly to the existing streetwall and aligns with the height and typology of adjacent building façades.
  - a) Where there is not an existing streetwall, a new one should be established that allows for future phased development and evolution.

# Landscape

The landscape design complements the building architecture and provides year-round interest along pedestrian pathways and building façades, enhancing the visual appeal, quality and functionality of the site.

- R-30 Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation, and incorporating new landscaping throughout the site and along the streetfront, side yards, and rear lanes.
  - Landscaping may be added along lanes to delineate vehicle movement, improve visual appeal, and soften the building façade.
- **R-31** Screening Use landscaping elements (such as plants, berms, fencing, landscape beds) and architectural features to screen parking, loading, waste receptacles, and mechanical/utility equipment from the streetfront.
- **R-32** Sightlines and Movement Design landscaping to ensure visibility for safe pedestrian and vehicle movement, minimize concealment, and the creation of potential hiding spots.
  - a) Avoid planting tall growing shrubs and visually concealing fencing and landscaping along the streetfront and walkways.
- **R-33** Pedestrian Comfort Plant trees along the streetfront and walkways to protect pedestrians from sun and wind.

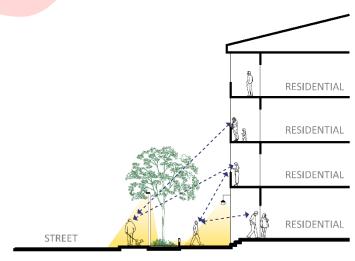


- **R-34 Stormwater Infiltration** Integrate stormwater infiltration features (such as grass blocks or pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **R-35 Year-Round Interest** Provide a variety of plant species and forms to ensure year-round visual interest along the streetfront and pedestrian walkways.
  - a) Irrigation systems must be used for plants that require additional watering throughout the year.
  - b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

# Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- **R-36 Building Lighting** Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **R-37 Visual Safety** Provide focused lighting in key areas (such as walkways, parking, seating areas, plazas, entrances and exits) to improve visibility, especially in low-light conditions.
- **R-38 Light Pollution** Direct lighting downward and away from adjacent properties.



R-36 Building Lighting R-37 Visual Safety



# 9 COMMERCIAL

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



#### **Area**

Commercial development within the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(f) of the Local Government Act.

# **Justification**

Commercial developments play a crucial role in neighbourhood growth and vitality by providing essential services to the community. It is essential that these developments positively contribute to existing neighbourhoods, create attractive spaces, and enhance the visual appeal and overall livability of the area.

# **Objectives**

These guidelines aim to establish clear design standards that promote high-quality site and building design for Commercial developments. This can be achieved by ensuring a consistent streetscape, enhancing the pedestrian scale, and coordinating building form, siting, parking, and landscaping to support safe, secure, and cohesive growth. A combination of design techniques, including Crime Prevention Through Environmental Design (CPTED) principles, have been incorporated directly into these guidelines ( ) to create more active, engaging and safe development.

# **Requirements and Exemptions**

The following requires a Development Permit:

1. Commercial development, including new construction, additions, signs, and site alterations

The following is exempt from a Development Permit:

- 1. Subdivision
- 2. Building additions and ancillary buildings to a maximum of 50m<sup>2</sup> when associated with an existing Commercial use and not visible from the street
- 3. Façade renovations that do not result in a change to the existing building roofline or footprint
- 4. Site alterations that do not reduce landscaping or amenity space
- 5. Fascia signs, signage copy change, and window coverings (such as reflective glazing and decals) that do not exceed 25%
- 6. Murals on any building façade (requires additional review in accordance with relevant City policy)

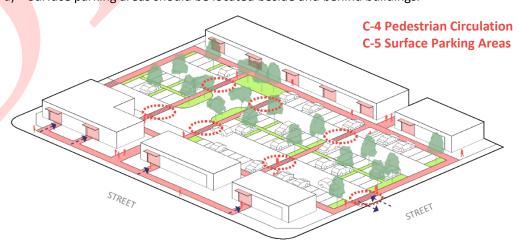
# **Design Guidelines:**

The following guidelines will be considered when setting Development Permit conditions.

# **Site Planning**

The development site provides clear, convenient, and safe circulation and ensures building uses, form and siting enhance the vibrancy of the neighbourhood.

- **C-1 Building Placement** Locate and orient buildings to maximize sunlight and minimize winter shadowing in common areas.
- C-2 Defined Streetscape Place buildings so they face public streets.
- C-3 Pedestrian-Friendly Elements Incorporate weather protection (such as projection overhangs, eaves, canopies, and awnings), seating opportunities, and display areas throughout the site.
  - a) Development should have weather protection at business entrances, and on street facing façades; it can be used to accent windows, doors, or other façade features, does not need to be continuous, and may be retractable.
- C-4 Pedestrian Circulation Provide safe and efficient pedestrian circulation throughout the site, ensuring accessible, visible walkways to building entrances from streets, bus stops, and parking areas.
  - a) Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surfaces.
- C-5 Surface Parking Areas Integrate parking with the site, emphasizing landscaping, tree planting, signage, and lighting to minimize visual dominance.
  - a) Surface parking areas should be located beside and behind buildings.

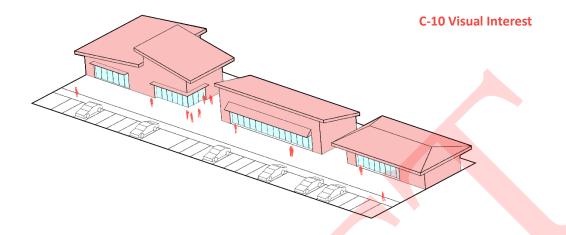


- **C-6 Vehicles** Provide safe and efficient vehicle circulation throughout the site.
  - Routes and access points should be clearly defined and easily visible through techniques such as curbing, pavement treatments, lighting, and wayfinding signage.
- C-7 Waste, Loading, and Storage Locate waste receptacles, loading bays and outdoor storage areas away from public view.
  - Screen waste receptacles and storage areas with attractive materials and/or architectural treatments complementary to the associated building(s).

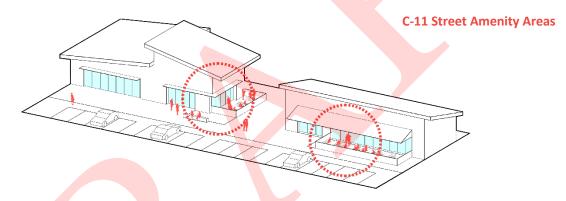
# **Building Design**

The building design supports an attractive, high-quality and vibrant Commercial environment and streetfront that contributes to an aesthetically appealing urban character.

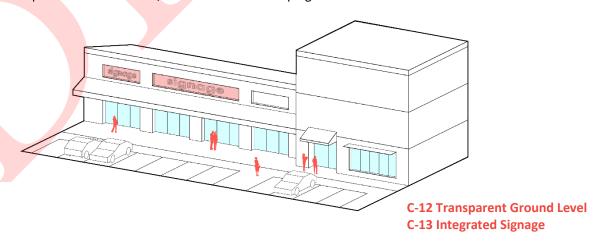
- C-8
- **Building Access** Ensure pedestrian entrances for buildings and businesses are clearly identifiable through architectural distinction, and accessible from the street.
- **C-9 Building Orientation** Design buildings so that the main façades face the street.
  - a) If located on a corner lot, the building should be oriented to face both streets.
- **C-10 Visual Interest** Design buildings that provide visual variety and interest through building form, shape, rooflines, and character, emphasizing unit individuality through patterns, horizontal and vertical articulation, and differing materials and colours.
  - a) Large expanses of singular materials and blank walls are not permitted where visible to the public, except where constructed along an interior lot line.
  - b) Development should use a variety of quality materials (such as glass, wood, brick, rock, and similar materials) in various combinations of texture and colour.
  - c) When visible from Highway 1, the building design should include additional design elements, treatments and features that reflect its prominence and visual impact.



**C-11 Street Amenity Areas** – Incorporate small setbacks at the ground level to create space for display areas, patios, and/or other outdoor site furnishings to support an active frontage.



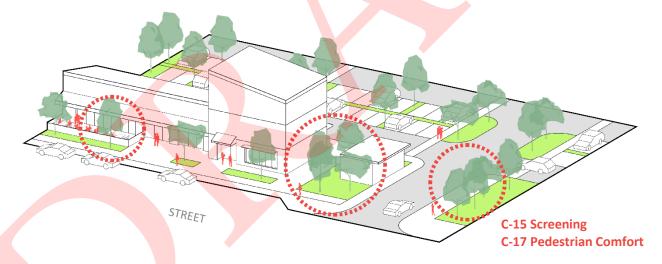
- **C-12** Transparent Ground Level Promote visibility of street facing ground level storefronts and lobbies with large amounts of transparent glazing.
- C-13 Integrated Signage Design signage to be integrated into the building and complement the character, materials and landscaping.



# Landscape

The landscape design complements the building architecture and provides year-round interest along pedestrian pathways and streetfronts, enhancing the visual appeal, quality and functionality of the site.

- C-14 Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation and incorporating new landscaping throughout the site and along the streetfront, side yards, and lanes.
- C-15 Screening Use landscaping elements (such as plants, berms, fencing, and landscape beds) to soften architectural features and screen parking, loading, waste receptacles, mechanical/ utility equipment and outdoor storage areas from the streetfront.
- C-16 Sightlines and Movement Design landscaping to ensure visibility for safe pedestrian and vehicle movement, minimize concealment, and avoid creating potential hiding spots.
- **C-17** Pedestrian Comfort Plant trees along the streetfront and walkways to protect pedestrians from sun and wind.



- C-18 Stormwater Infiltration Integrate stormwater infiltration features (such as grass blocks, pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **C-19 Year-Round Interest** Provide landscaping that ensures year-round visual interest and variety along the streetfront and pedestrian walkways.
  - a) Irrigation systems must be used for plants that require additional watering throughout the year.

 b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

# Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- C-20 Building Lighting Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **C-21 Visual Safety** Provide focused lighting in key areas such as walkways, parking, seating areas, plazas, entrances and exits to improve visibility, especially in low-light conditions.
- **C-22 Light Pollution** Direct lighting downward and away from adjacent properties.



# 10 INDUSTRIAL

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



#### **Area**

Industrial development within the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(f) of the *Local Government Act*.

### **Justification**

Industrial developments serve diverse functions and often have a significant visual presence. Effective design is crucial for their appeal, especially as these sites are frequently situated near gateways to the city, creating a lasting impression of place as people pass by.

# **Objectives**

# **Requirements and Exemptions**

The following requires a Development Permit:

1. Industrial development, including new construction, additions, signs, and site alterations

The following is exempt from a Development Permit:

- 1. Subdivision
- 2. Industrial development in Cattermole and along the Fraser River
- 3. Building additions and ancillary buildings to a maximum of 100m<sup>2</sup> when associated with an existing Industrial use
- 4. Façade renovations that do not result in a change in the existing building roofline or footprint
- 5. Site alterations that do not reduce landscaping or amenity space
- 6. Fascia signs and signage copy change
- 7. Accessory Home Industrial
- 8. Murals on any building façade (requires additional review in accordance with relevant City policy)

# **Design Guidelines:**

The following guidelines will be considered when setting Development Permit conditions.

# **Site Planning**

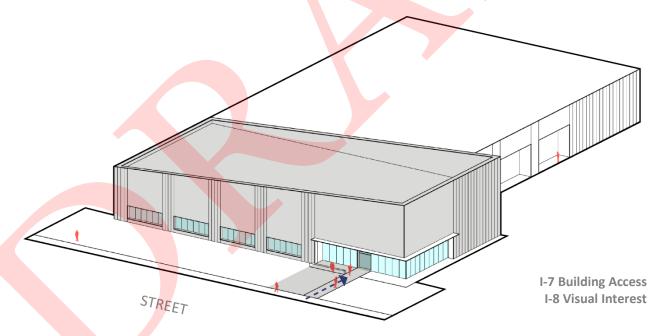
The development site fits within the broader neighbourhood context, provides clear, convenient, and safe circulation, ensures visual screening of waste and storage areas, incorporates employee amenities, and maintains accessibility and security for all users.

- I-1 Comprehensive Planning Ensure efficient use of the entire site to avoid creating untreated and underused space.
- I-2 Neighbourhood Compatibility Minimize potential impacts of Industrial uses on adjacent non-Industrial uses through the use of strategic site organization, landscape buffers, and screening.
- **1-3** Pedestrian Circulation Provide safe, accessible, and visible pedestrian walkways to building entrances from streets, bus stops, and parking areas.
  - Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surfaces.
- **Vehicles Provide safe and efficient vehicle circulation throughout the site.** 
  - a) Routes and access points should be clearly defined between different vehicle classes and include wayfinding signage.
- I-5 Outdoor Amenity Areas Provide an employee amenity area (such as a picnic table, weather protection, and seating area) near the building's main entrance or employee entrance.
- I-6 Waste, Loading, and Storage Locate waste receptacles, loading bays, and outdoor storage areas away from public view.
  - a) Screen waste receptacles and storage areas with attractive materials and/or architectural treatments that are complementary to the associated building(s).

# **Building Design**

The building design supports an attractive, interesting, high-quality Industrial environment and streetfront that contributes to an aesthetically appealing and welcoming gateway to the city.

- I-7 Building Access Ensure pedestrian entrances for buildings and businesses are clearly identifiable from the street through architectural distinction.
- **Visual Interest** Design buildings that provide visual variety and interest along the streetfronts through building form, shape, rooflines and articulation.
  - a) Large expanses of singular materials, bare concrete, and blank walls are not permitted along the streetfront.
  - b) Development should use a variety of quality materials (such as glass, wood, brick, rock, metal, painted and patterned concrete, and similar materials) in various combinations of texture and colour.
  - c) When visible from Highway 1, the building design should include additional design elements, treatments and features that reflect its gateway presence and visual impact.



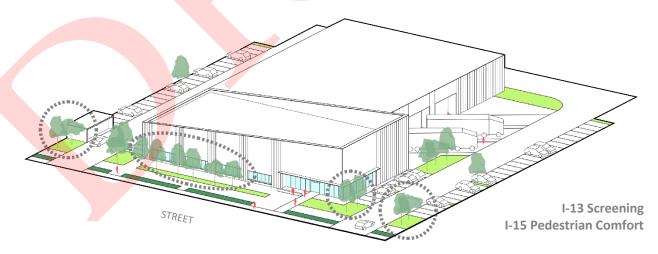
- I-9 Transparency Ensure visibility and consistent design on buildings with active uses (such as offices, meeting rooms, lobbies, and showrooms) at the ground level facing the streetfront.
  - a) Glazing must be used when active uses are located along the streetfront.

- **I-10 Overhead Doors** Ensure overhead doors are recessed or architecturally deemphasized when located along street facing façades.
- **I-11 Integrated Signage** Design signage to be integrated into the building and complement the character, materials and landscaping.

# Landscape

The landscape design complements and softens the Industrial uses, enhancing the visual appeal of the site along streetfronts while ensuring visibility for safety and providing year-round visual interest.

- **I-12** Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation and incorporating new landscaping along the streetfront and side yards.
- I-13 Screening Use landscape elements (such as plants, berms, fencing, and landscape beds) to soften architectural features, screen, and secure parking, loading, waste receptacles, mechanical/utility equipment and outdoor storage areas from the streetfront.
- **I-14** Fencing Incorporate decorative fencing within landscaping along the streetfront.
  - a) Black vinyl chain link fencing hidden in landscaping may be provided along the streetfront.
  - b) Plain galvanized chain link fencing should be avoided along the streetfront.
- I-15 Pedestrian Comfort Plant trees along the streetfront and pedestrian walkways.



- **I-16 Stormwater Infiltration** Integrate stormwater infiltration features (such as grass blocks, pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **I-17 Year-Round Interest** Provide landscaping that ensures year-round visual interest and variety along the streetfront and pedestrian walkways.
  - a) Irrigation systems must be used for landscaping that requires additional watering throughout the year.
  - b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

# Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- I-18 Building Lighting Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **Visual Safety Provide** focused lighting in key areas (such as walkways, parking, entrances and exits) to improve visibility, especially in low-light conditions.
- I-20 Light Pollution Direct lighting downward and directed away from adjacent non-Industrial uses.

#### City of Chilliwack

#### Bylaw No. 5488

#### A bylaw to amend the "Zoning Bylaw 2020, No. 5000"

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

- 1. This bylaw may be cited as "Zoning Bylaw Amendment Bylaw 2025, No. 5488".
- 2. "Zoning Bylaw 2020, No. 5000" is hereby amended in Section 4 GENERAL PROVISIONS, Subsection 4.06 ACCESSORY AND ANCILLARY USES, Paragraph (1) ACCESSORY DWELLING UNIT, by deleting Subparagraph (d) in its entirety, and substituting with a new Subparagraph (d), as follows:
  - "(d) On properties within the Agricultural Land Reserve, ADUs are permitted in accordance with the Agricultural Land Commission Act and Regulations."
- 3. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.06 ACCESSORY AND ANCILLARY USES, Paragraph (1) ACCESSORY DWELLING UNIT, by inserting a new Subparagraph (f), as follows, and re-lettering the existing Subparagraphs accordingly:
  - "(f) Where an interior staircase is provided for a COACH HOUSE, the staircase shall be located within an entrance foyer with a maximum area of 2m<sup>2</sup> in size designed for exterior access only (with no access into the ground floor uses)."
- 4. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.07 REGULATIONS APPLICABLE TO ALL ZONES, Paragraph (3) HEIGHT EXCEPTIONS AND SUPPLEMENTARY HEIGHT REGULATIONS, Subparagraph (a), by adding new Clauses (xi), and (xii), as follows:
  - "(xi) Rooftop access structures such as stairwells and elevator shafts, provided the placement of such infrastructure is central to the roof of the building
  - (xii) Rooftop railings, arbours, trellises, or similar freestanding landscape features related to outdoor COMMON AMENITY AREAS."
- 5. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.07 REGULATIONS APPLICABLE TO ALL ZONES, Paragraph (4) SITING EXCEPTIONS, Subparagraphs (b) and (c), by deleting the word "YARD" and substituting with the words "LOT LINE", wherever it may appear.
- 6. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.07 REGULATIONS APPLICABLE TO ALL ZONES, Paragraph (4) SITING EXCEPTIONS, by deleting Subparagraph (d) in its entirety, and substituting with a new Subparagraph (d), as follows:

- "(d) In-ground swimming pools, permanent swimming pools exceeding 1.5m, decks exceeding 0.6m above GRADE and walkways exceeding 0.6m above GRADE may be sited as an ANCILLARY STRUCTURE within the Zone."
- 7. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (b), by adding a new Clause (vi), as follows:
  - "(vi) excluding bareland strata developments, a minimum 1.5m wide SIDEWALK, HARD SURFACE is required to provide access from the public HIGHWAY or public sidewalk to each DWELLING UNIT or BUILDING, and is clearly separated from any roadways, driveways, parking lots, MANEUVERING AISLES, and PARKING SPACES, by curbing."
- 8. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (c), Clause (ii), by deleting the word "tenants" and substituting with the word "residents", after the words "to all" and before the words "and may"; and further, Subparagraph (d), Clause (i), by deleting the word "tenants" and substituting with the word "residents", after the words "to all" and before the words "and may".
- 9. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraphs (c) and (d), Clauses (ii), Subclauses (C), by deleting Items (III) in their entirety, and renumbering the existing Items accordingly.
- 10. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (f), Clause (iii), by deleting the word "a" and substituting with the words "an ACCESSORY DWELLING UNIT,", after the words "association with" and before the words "TOWNHOUSE or".
- Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (g), by deleting the words "conveniently located and directly accessible or accessible by elevator from either the ground floor or parking level entrance" and substituting with the words "located in central areas inside the BUILDING", after the words "shall be" and before the words ", and shall".
- 12. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (d), by deleting the words 'FLOOR AREA RATIO (MAXIMUM)' after the words 'LOT COVERAGE (MAXIMUM)' and before the words 'SETBACKS (MINIMUM)'.

- 13. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (e), Clause (iv), by inserting a new Subclause (A), as follows, and renumbering the existing Subclauses accordingly.
  - "(A) The FLOOR AREA RATIO must not exceed 0.75."
- 14. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (e), Clause (iv), Subclause (E), by adding the words ", provided the GARAGE width is no less than 6.2m".
- 15. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (e), Clause (iv), by adding new Subclauses (G) and (H), as follows:
  - "(G) A PRIVATE AMENITY AREA must be provided for an ACCESSORY DWELLING UNIT.
  - (H) All PRIVATE AMENITY AREAS must be provided on the ground level."
- 16. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.09 FENCING, LANDSCAPING, SCREENING, Paragraph (3) SCREENING, by deleting Subparagraph (j) in its entirety, and substituting with a new Subparagraph (j), as follows:
  - "(j) In commercial, industrial, multi-unit and intensive residential, and mixed-use ZONES, all mechanical, electrical, communication, air conditioning or other equipment shall be screened from view from the street by a HEIGHT equal to the item being screened."
- 17. Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsections 8.08 R4 (LOW DENSITY MULTI-UNIT RESIDENTIAL) ZONE, 8.09 R4-A (MEDIUM DENSITY MULTI-UNIT), and 8.10 R4-B (LOW DENSITY MULTI-UNIT) ZONE, Paragraphs (8) SITING, by deleting Subparagraphs (a) in their entirety, and substituting with new Subparagraphs (a), as follows:
  - "(a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located face-to-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side."
- 8.11 R5 (LOW RISE APARTMENT), by deleting Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), in their entirety, and substituting with new Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSTIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), as follows:

#### (2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(a) All uses	1000m²

#### (3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	
(a) All uses	30m	30m	

#### (7) SETBACKS (MINIMUM)

USE	FLL	RLL	<u>ISLL</u>	ESLL
(a) RESIDENTIAL USE	6m	6m	6m	6m
(b) URBAN ANCILLARY USES	6m	1m	1m	4.5m
(c) OFF-STREET PARKING STRUCTURE located entirely below GRADE	1m	0m	0m	1m
(d) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area meets flood construction level requirements*	3m	0m	0m	3m
(e) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area exceeds flood construction level requirements*	6m	0m	0m	6m
*as defined in the CITY "Floodplain Regulation Bylaw", as amended.				

#### (9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	17.5m
(b) URBAN ANCILLARY USES	
(i) on a LOT less than 1000m <sup>2</sup> in area	4m
(ii) on a LOT 1000m <sup>2</sup> or greater in area	6m

Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsection 19. 8.11 R5 (LOW RISE APARTMENT) ZONE, Paragraph (5) LOT COVERAGE (MAXIMUM), Subparagraph (a), by adding the words ", including associated OFF-STREET PARKING STRUCTURE; and further, by deleting the figure "50%", and substituting with the figure "N/A".

20. Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsection 8.12 R6 (MID RISE APARTMENT) ZONE, by deleting Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), in their entirety, and substituting with new Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSTIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), as follows.

#### (2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(b) All uses	1000m <sup>2</sup>

#### (3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(b) All uses	30m	30m

#### (7) SETBACKS (MINIMUM)

USE	<u>FLL</u>	<u>RLL</u>	<u>ISLL</u>	<u>ESLL</u>
(f) RESIDENTIAL USE	6m	6m	6m	6m
(g) URBAN ANCILLARY USES	6m	1m	1m	4.5m
(h) OFF-STREET PARKING STRUCTURE located entirely below GRADE	1m	0m	0m	1m
(i) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area meets flood construction level requirements*	3m	0m	0m	3m
(j) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area exceeds flood construction level requirements*	6m	0m	0m	6m
*as defined in the CITY "Floodplain Regulation Bylaw", as amended.				

#### (9) BUILDING HEIGHT (MAXIMUM)

	USE	MAXIMUM BUILDING HEIGHT
(c) RESIDEN	TIAL USE	25m

21. Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsection 8.12 R6 (MID RISE APARTMENT) ZONE, Paragraph (5) LOT COVERAGE (MAXIMUM), by deleting Subparagraphs (a) and (b), and substituting with new Subparagraphs (a) and (b), as follows; and further, by deleting Subparagraph (c) in its entirety:

- "(a) RESIDENTIAL USE, including associated OFF-STREET PARKING N/A STRUCTURE
- (b) URBAN ANCILLARY USES

15%"

- 22. Said Bylaw is hereby further amended in Section 9 COMMERCIAL ZONES, Subsection 9.10 CS1 (SERVICE COMMERCIAL) ZONE, Paragraph (7) SETBACKS (MINUMUM), Subparagraph (e), by deleting the figure "10m" and substituting with the figure "3m".
- 23. Said Bylaw is hereby further amended in Section 9 COMMERCIAL ZONES, Subsection 9.11 CS2 (TOURIST COMMERCIAL) ZONE, Paragraph (7) SETBACKS (MINIMUM), Subparagraph (e), by deleting the figures "10m" and "4.5m" and substituting with the figure "3m".
- 24. Said Bylaw is hereby further amended in Section 9 COMMERCIAL ZONES, Subsection 9.12 CSM (SERVICE COMMERCIAL INDUSTRIAL) ZONE, Paragraph (7) SETBACKS (MINIMUM), Subparagraph (e), by deleting the figure "10m" and substituting with the figure "3m".

Received first and second reading on the 17<sup>th</sup> day of June, 2025. Public hearing held on the Received third reading on the Received adoption on the

Mayor	
Corporate Officer	

		AGENDA ITEM NO:	7.14	
		MEETING DATE:	June 17, 2025	
	STAFF REPORT	- COVER SHEET		
SUBJECT:	Proposed Mountain View Heritage Conservation Area (OCP00048)	DATE:	June 10, 2025	
DEPARTMENT:	Planning	PREPARED BY:	Madelaine Peters / rk	RK

#### 1. SUMMARY OF ISSUE:

Planning staff continue to implement the City's *Heritage Strategic Action Plan* (HSAP), which was endorsed by Council in 2022. One of the Key Strategic Directions from the HSAP was establishing a heritage conservation area in one of Chilliwack's oldest urban residential neighbourhoods. Work to prepare the heritage conservation area began in the Spring 2024 and the project was led by Luxton & Associates in partnership with MODUS Planning, Design, & Engagement. The project involved field reviews, archival research, workshops and meetings with property owners and committee members.

This work is now complete and an Official Community Plan (OCP) amendment has been prepared to designate this neighbourhood, known as Mountain View, as a heritage conservation area. Concurrent amendments to Policy Directive No. G-15 "Heritage Designation" to incorporate the proposed heritage conservation area in the heritage alteration permit process is also included for Council's consideration (attachment A).

#### 2. RECOMMENDATION:

That "Official Community Plan Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (OCP00048)

That Council approve Policy Directive No. G-15 "Heritage Designation", as amended.

Gillian Villeneuve Director of Planning

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

**Chief Administrative Officer** 

# STAFF REPORT ON PROPOSED MOUNTAIN VIEW HERITAGE CONSERVATION AREA (OCP00048)

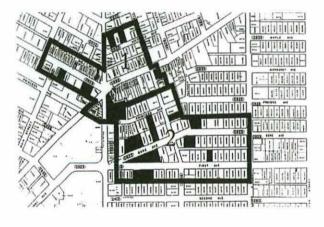
PREPARED BY:	Madelaine Peters	DATE:	June 10, 2025	
POSITION:	Senior Planner	DEPARTMENT:	Planning	

#### BACKGROUND & PURPOSE

The idea of establishing a heritage conservation area (HCA) was first suggested in the 1991 *Heritage Inventory* as this area has a higher concentration of historic buildings than other parts of Chilliwack. It has also been a goal in heritage planning through the City's 2010 *Downtown Land Use and Development Plan* (DLUDP) and more recently in the 2022 *Heritage Strategic Action Plan* (HSAP).

Establishing an HCA would ensure the special heritage values and character of the area are conserved and managed, while still allowing development to occur. The HCA will ensure this development happens in a sensitive manner.

#### 1991 Inventory



#### **Downtown Neighbourhood Plan**



#### 2. HERITAGE CONSERVATION AREAS

Legislated under the *Local Government Act* (LGA), an HCA is a distinct area with special heritage value and/or heritage character, identified for long-term heritage conservation purposes in an Official Community Plan (OCP). As a heritage planning tool, it is focused on an area rather than individual properties that are protected through heritage designation bylaws. Examples of HCA's that have been established by municipalities in BC are Clayburn Village (Abbotsford), Queens Park (New Westminster), Steveston Village (Richmond), and First Shaughnessy (Vancouver).

Relative to other heritage planning tools, an HCA offers moderate protection for properties within the HCA, as shown in the diagram below. The City of Chilliwack has used Heritage Designation Bylaws since 1980, had a Heritage Interest Inventory since 1991, and most recently established a Community Heritage Register in 2024.



#### 2.1 How an HCA works

In the LGA, an HCA works in a similar way to a development permit. A property owner is required to obtain a heritage alteration permit (HAP) prior to conducting the following activity (unless exempted by the local government):

- · subdivision;
- · construction of a new building or structure;
- addition to an existing building or structure; or
- alteration of a building, structure, land, or feature.

Similar to a development permit application, the HAP allows a local government to review a development proposal to ensure it meets the policies and design guidelines of the HCA. The policies and design guidelines help manage change over a long period of time, and what is conserved depends on what is determined to be significant to the character of the area. Generally, HCA policies and design guidelines are less restrictive or not applicable for properties that do not contribute to the character of the area.

#### 3. PROJECT APPROACH

To undertake this work, Planning staff circulated a Request for Quotations in Spring 2024 to retain a heritage consultant and hired Luxton & Associates in partnership with MODUS Planning, Design, & Engagement. The consulting team consisted of heritage planning and urban design experts, an engagement specialist, an architect and graphic facilitator. The project began in June 2024, and included several stages of work over the course of 12 months, broken down into phases:

- Phase 1: Early Ideas and Visioning (Fall 2024)
- Phase 2: Drafting Design Guidelines & Heritage Policies (Winter 2025)
- Phase 3: Finalizing Design Guidelines & Heritage Policies (Spring 2025)

#### 3.1 Research & Engagement

The consulting team has had several touchpoints with the Heritage Advisory Committee (HAC), conducted site visits, undertaken archival research, prepared engagement letters and factsheets for property owners, and hosted two well-attended workshops. The engagement was designed to provide opportunities for property owners and HAC members to be involved in the project, helping create the vision, reviewing and providing feedback on the draft material, and identifying potential challenges, priorities, and solutions. Property owners of the proposed HCA have been kept informed throughout each phase through letters sent by mail, and phone or email when contact information was available.

#### 3.2 Summary of Feedback

Below is a summary of the input received during this engagement, categorized into common themes and ideas that has helped shape the proposed HCA:

#### Neighbourhood Character:

- The area's heritage homes, church, mature trees and quiet streets contribute positively to neighbourhood character
- Proximity to downtown is appreciated by residents; although pedestrian connectivity into Five Corners could be improved
- Some buildings are in poor condition

#### **Hopes and Concerns:**

- Preserving local heritage assets, improving walkability, and increasing property values
- Mitigating financial implications for property owners (i.e., taxes, resale value)

#### This feedback was used to create policies and guidelines that:

- Allow for flexibility
- · Are concise and easy to use
- · Positively impact redevelopment potential
- Act as incentives for neighbourhood improvement
- Support heritage conservation and recognize the local context

#### 4. PROPOSED MOUNTAIN VIEW HERITAGE CONSERVATION AREA

The proposed HCA is summarized below.

#### 4.1 HCA Name

The name of the area in the DLUDP is the "Village Walk Heritage Area". However, using "Village Walk" as the name for the new HCA can be confused with the "Heritage Walk" event that is organized and hosted by the Heritage Chilliwack Society. They also have a downtown self-guided walking tour that does not occur in this neighbourhood. As such, the name of the area has changed to Mountain View to help distinguish it from the heritage walk events and strengthen its historic connection to the original subdivision plan.

#### 4.2 Design Guidelines

The proposed design guidelines have been prepared to promote the conservation and thoughtful evolution of the area so that new development respects and enhances the character-defining aspects of the neighbourhood. In this way, properties with heritage value maintain their prominence along the streetscape, while growth is accommodated in a sensitive and compatible way. The guidelines are focused on general design and heritage context best practices, rather than imposing a single style



or era on new development. This approach is in part a response to how new Provincial legislation impacts the area through the transit-oriented area requirements and small-scale multi-unit zoning that is in place. The guidelines will ensure that new growth contributes positively to the character that makes the area special today.

#### 4.3 Property Categories

The draft HCA includes 34 parcels, featuring 2 properties that are legally protected by heritage designation bylaws and 11 properties listed on the City's updated *Heritage Interest Inventory*. Each property within the HCA boundary is organized into four different categories, depending on its contribution to the heritage character of the HCA (see map). These categories then determine the way design guidelines apply to property, as described below.



Category	Properties	Description
1. Heritage Protected	2	Property with existing legal protection through a Heritage Designation Bylaw
2. Heritage Interest	11	Property on the existing Heritage Interest Inventory
3. Contributory Property	11	Property with notable heritage contribution in the area, added through the HCA project (age, architecture, etc.)
4. Other Property	10	Property within the area that does not have notable heritage attributes

These categories represent today's property conditions, and property owners have the option to change between categories through a development proposal or by request (i.e., voluntarily apply to protect a Heritage Interest or Contributory Property through a heritage designation bylaw).

#### 4.4 Property Owner Impacts

All properties within an HCA are required to obtain a HAP prior to undertaking development, similar to other development permits for multi-family, small-scale housing, or commercial. In order to clearly communicate when a HAP is required, a table is included in the HCA that describes what development activity results in a permit requirement, organized by property category (see table below). For minor activities such as building additions and alterations, only the Heritage Protected and Heritage Interest property categories require a HAP. For major activities such as demolition, new construction, or subdivision, all property categories require a HAP. In addition, certain activities are exempt from a HAP, including maintenance and repairs for routine upkeep.

Property owners have a right to apply to the City to make changes to or demolish structures on their property. When an activity requires a HAP, it does not mean the activity is prohibited. The HAP process supports a review of the proposed activity to ensure changes respect the heritage character and are consistent with the design guidelines.

ACTIVITY TYPE	PROPERTY CATEGORY			
	1. Heritage Protected	2. Heritage Interest	3. Contributory Property	4. Other Property
Demolition, new construction, or subdivision*	Yes	Yes	Yes	Yes
Building additions and alterations	Yes	Yes	No	No
Landscape	Guidelines apply whenever an HAP is required			

subdivision includes any consolidation of parcels that constitutes a subdivision of land under the Land Title Act\*

Staff note a HAP is currently required to proceed with development on the 17 protected sites in Chilliwack with heritage designation bylaws in place. This existing HAP process is described in Policy G-15 (Heritage Designation), which will be amended to incorporate the HAP requirements for the proposed new HCA (attachment A).

#### 4.5 Committee Support

The Heritage Advisory Committee (HAC) was involved throughout the project, including presentations about the consultant's progress at various stages. On May 27<sup>th</sup>, 2025, HAC met to review and discuss the final draft, and passed the following motion:

"That the Heritage Advisory Committee supports in principle the final Mountain View Heritage Conservation Area as presented."

Given the significant design guideline focus of the HCA, the final draft was also shared with the Design Review Advisory Committee on June 10<sup>th</sup>, 2025, for information.

### 5. NEXT STEPS

## 5.1 Implementing the HCA

Once the Mountain View HCA is established, letters will be mailed to the property owners to "close the loop" on the project and let them know what to expect for the HCA moving forward. The Mountain View HCA will also be published on the City's website and mapping for public information. Planning staff also anticipate creating an information brochure and formalizing the HAP application process.

## 5.2 Future Heritage Projects

Future work to further support the Mountain View HCA, and heritage planning in Chilliwack more broadly, could include creating a standards of maintenance bylaw and heritage incentives.

## Heritage Site Standards and Maintenance

The LGA enables local governments to create heritage site maintenance standards that set minimum maintenance requirements to ensure heritage properties are not lost through neglect or lack of maintenance. Municipalities generally use this bylaw as a complementary tool in parallel with heritage protected properties for monitoring purposes and, if necessary, to enforce maintenance requirements.

#### Heritage Incentives

During the project, various example incentives were discussed with property owners (see table below). In conjunction with establishing an HCA, incentives are typically used to support the ongoing repair and maintenance of heritage property and the additional obligation property owners have to obtain a HAP before undertaking development. Offering incentives encourages property owners to conserve the character of a property by helping offset the conservation projects they choose to undertake. Staff note the City currently pays for a Statements of Significance when an owner voluntarily applies to designate their property as a heritage site.

Financial	Administrative	Developmental
Maintenance and/or restoration grants	Application prioritization	Density bonus
Reduced/ waived application fees	Support minor variances	Transfer of development rights
Reduced/ waived development cost charges		***************************************
Tax incentives		

## Thematic Framework and Historic Context Statement

In addition, the HSAP continues to be the primary guide for heritage planning implementation in Chilliwack. This includes developing a Thematic Framework and Historic Context Statement to determine what heritage themes are underrepresented in Chilliwack, and identify additional features that may broaden the list of potential Community Heritage Register sites. The City's Heritage Interest Inventory (updated in 2023) provides a starting point to begin this project.

Each of the above projects continue to support heritage planning in Chilliwack, and staff will consider the necessary next steps to incorporate them into future work plans following the completion of the Chilliwack 2050 OCP update.

### 6. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

That "Official Community Plan Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (OCP00048)

That Council approve Policy Directive No. G-15 "Heritage Designation", as amended.

#### Substantiation:

Establishing the Mountain View HCA is an important step in preserving the area's unique character and heritage as the city grows, responding to Provincial changes impacting the area (transitoriented area and small-scale multi-unit housing). The proposed Mountain View HCA is an action item in the *Heritage Strategic Action Plan* and has been prepared based on research conducted by the consultants and feedback received during the project from property owners and committee members.

### 7. SOURCES OF INFORMATION:

- Design Review Advisory Committee (DRAC) Minutes June 10<sup>th</sup>, 2025
- Heritage Advisory Committee (HAC) Minutes May 27<sup>th</sup>, 2025
- Report to Council Re: HSAP Endorsement and Minutes (item 7-I-4) June 7, 2022

#### Attachment A

Policy Directive No. G-15 "Heritage Designation", as amended



## City of Chilliwack Notice of Public Hearing Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at chilliwack.com/live

## Official Community Plan Bylaw Amendment Bylaw 2025, No. 5489 (OCP00048)

**Applicant:** City of Chilliwack

**Purpose:** The City of Chilliwack continues to implement the City's *Heritage Strategic Action Plan* 

(HSAP), and a Key Strategic Direction is establishing a heritage conservation area in one of Chilliwack's oldest urban residential neighbourhoods. Work to prepare the heritage conservation area involved field reviews, archival research, workshops, and meetings

with property owners and Heritage Advisory Committee members.

This work is now complete and an Official Community Plan amendment has been prepared to designate the Mountain View neighbourhood as a heritage conservation area (as shown in the map below).



## How to share your feedback:



Attend the Public Hearing in person (8550 Young Road)



Mail or email our Legislative Services Department: Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: <a href="mailto:clerks@chilliwack.com">clerks@chilliwack.com</a>

• Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.

- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the
  official record.

Contact our Planning Department between Wednesday, June 18, 2025 and Wednesday, July 2, 2025 for a copy of the proposed bylaw at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.



From:

To: <u>Clerks Dept Email</u>

Subject: Proposed Mountain View Heritage Conservation Area OCP00048 2 [EXTERNAL]

Date: June 22, 2025 9:12:03 PM

Attachments: Proposed Mountain View Heritage Conservation Area OCP00048 2.pdf

## To Chilliwack Mayor and Councillors,

As a current and long time resident on First Avenue, I strongly oppose the proposed Mountain View Conservation Area. While the idea would create an enhanced character neighbourhood, the high costs fall largely on the property owners.

The compensation discussed with city staff is a minuscule percentage of the actual costs (and losses) borne by the property owner. Property values would drop significantly. The pool of prospective buyers would be greatly reduced. Concern over restricted options, increased material and labour costs, lengthened timelines, additional reviews and approvals required all add to the wariness of prospective buyers.

Unlike a designated heritage property, this is not volunteered to by the owner. Being forced upon us is unfair. The community would naturally be favourable to the proposal because there is no financial cost to them. The incentives suggested to the property owner would in no way compensate for their losses.

I welcome the mayor and each councillor to have an open and honest conversation with me before making your decision on this proposed heritage conservation area.

Sincerely, Bruce Tiessen Sharon Tiessen

46028 First Ave

Sent from my iPhone

# schedeles

Schedule A - Regional Context Statement

Schedule B - Form and Character Design Guidelines

Schedule C - Mountain View Heritage Conservation Area

Schedule € D - Neighbourhood Plans

- 1. Downtown Land Use and Development Plan
- 2. Eastern Hillsides Comprehensive Area Plan
- 3. Agricultural Area Plan
- 4. Alder Neighbourhood Plan
- 5. Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- 6. Sardis Neighbourhood Plan
- 7. South Vedder Neighhourhood Plan
- 8. Yarrow Neighbourhood Plan

Schedule DE- Growth Projection Tables

(All Schedules are located at the end of the report.)

## City of Chilliwack

## Bylaw No. 5489

## A bylaw to amend the "Official Community Plan Bylaw 2014, No. 4025"

Tł	ie Co	ounci	l of	f the	$\mathbf{C}$	ity	of	Cł	nill	liwa	ck	in	open	meet	ing	assem	ble	d	enacts	as	fol	low	IS:

- 1. This bylaw may be cited as "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5489".
- 2. "Official Community Plan Bylaw 2014, No. 4025" is hereby amended by deleting the OCP Schedules Table of Contents in its entirety, and substituting with a new OCP Schedules Table of Contents, as attached.
- 3. Said Bylaw is hereby further amended by inserting a new Schedule C Mountain View Heritage Conservation Area, as attached, and re-lettering the existing Schedules accordingly.
- 4. Said Bylaw is hereby further amended throughout the text of the Bylaw where reference is made to section numbers and updated to reflect the new reference numbering.

Received first and second reading on the 17<sup>th</sup> day of June, 2025. Public hearing held on the Received third reading on the

Consultation Process considered by Council on the 3<sup>rd</sup> day of June, 2025.

Received adoption on the

Mayor	•
Corporate Officer	

# schedeles

Schedule A - Regional Context Statement

Schedule B - Form and Character Design Guidelines

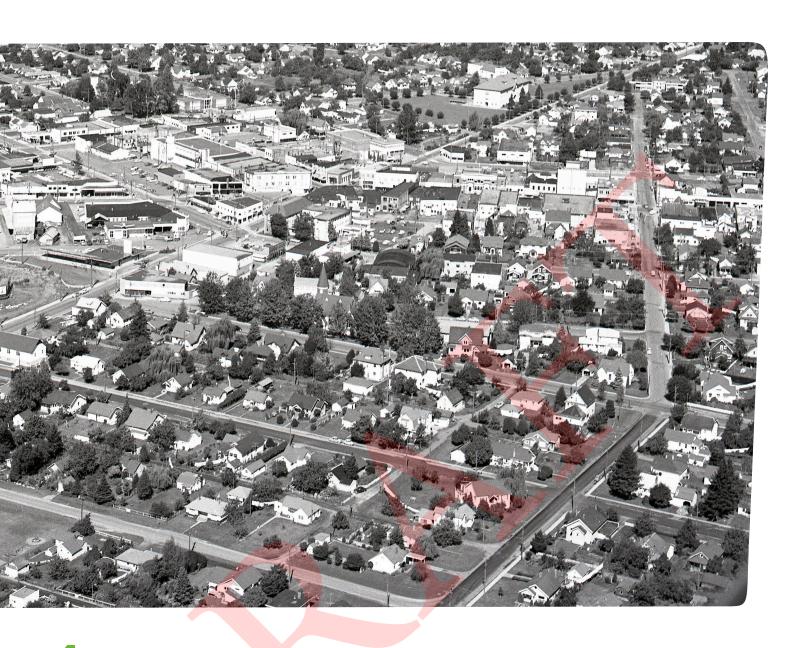
Schedule C - Mountain View Heritage Conservation Area

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Schedule E - Growth Projection Tables

(All Schedules are located at the end of the report.)



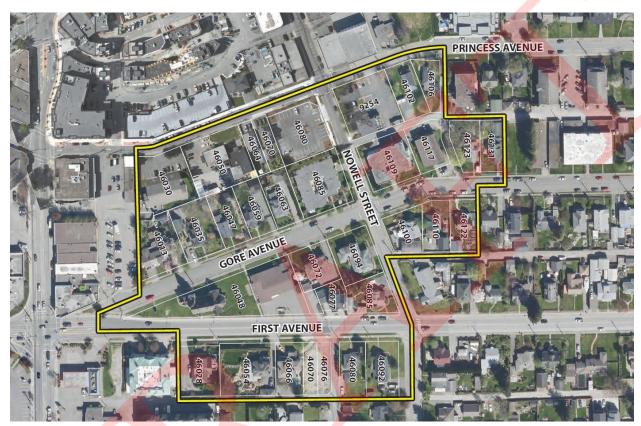
# 1 MOUNTAIN VIEW

HERITAGE CONSERVATION AREA



# Area

All lands within the area as defined in the boundary shown in the map below are designated as Mountain View Heritage Conservation Area, facilitated under sections 614 and 615 of the *Local Government Act*.



Map 1: Mountain View Heritage Conservation Area boundary.

## **Justification**





Figure 1: A two-part panoramic view of the Mountain View area, as seen from the former British Columbia Electric Railway substation at Young Road and Second Avenue, in circa 1911. Chilliwack Museum and Archives PP502113 and PP502114.

Located within the traditional, ancestral, and unceded territory of the Stó:lō Coast Salish Peoples, the boundaries of the Mountain View Heritage Conservation Area (HCA) include several historic subdivisions surveyed between 1890 and 1909. In the preceding years before the First World War, Canada was experiencing unprecedented economic growth, resulting in real estate speculation across the Lower Mainland and Fraser Valley. Concurrently, in 1906, the Vancouver, Fraser Valley & Southern Railway was incorporated with a charter to build an electrified rail line between Vancouver and Chilliwack. This company

was promptly acquired by the British Columbia Electric Railway (BCER), who undertook the construction of the line to Chilliwack.

The fortunate economic situation, and planned arrival of the BCER, prompted business partners Melbourne H. Nelems (1877-1921) and David E. Stevenson (1868-1964) to acquire and subdivide a large portion of land which constitutes the Mountain View area, south of Gore Avenue and west of Nowell Street, which they purchased from the estate of the Reuben Nowell (1829-1907) shortly after his passing. They marketed this subdivision as "Mountain View Addition," an upscale residential neighbourhood, and it was expanded through a subsequent subdivision in 1908 on the land immediately east of Nowell Street, and north of First Avenue, of which Nelems and Stevenson also had previously invested in. The Mountain View area's earliest dwellings date to this initial wave of development sparked by Nelems and Stevenson's promotion of the Mountain View Addition subdivision, and the favourable economic conditions which existed at this time, especially following the completion of the BCER interurban line and terminus in October 1910, the latter of which was only a short distance away (formerly located where the Coast Chilliwack Hotel is presently situated).

In addition to the residential development which was occurring within the Mountain View area boundaries, commercial and industrial activities were established on the south side of Princess Avenue in the 46000-block, including a livery stable, and an automobile garage, the latter of which operated up until the 1970s. The edifice of St. Thomas Anglican Church, originally located at Five Corners since 1897, moved to the Mountain View area in 1909 and has been a landmark in the community since.

Subsequent waves of development occurred in the Mountain View area over the next several decades, principally during the Interwar era, and following the Second World War. Since the 1950s, the Mountain View area has been slowly losing its original buildings and stock of heritage assets to redevelopment, which has primarily consisted of multi-unit residential buildings, as well as a parking lot.

The remaining heritage assets within the Mountain View area collectively express a variety of unique, special values and character-defining elements, including:

- an illustration of the historical, residential development and urbanization of Downtown Chilliwack in the first several decades of the 20th century;
- tangible connections to many of the city's early and working-class inhabitants, as well as notable
  residents, who previously lived, worked, socialized, and contributed to the growth and culture of
  Chilliwack during their time here;
- an eclectic range of domestic architecture from the early 20th- and mid-century, such as: Edwardian
  and Edwardian Foursquare, Colonial Revival, Craftsman, French Storybook, and Minimal Traditional
  styles, all of which contribute to a distinctive heritage character, legacy, and identity of Mountain
  View:
- the diversity of single-family detached dwellings, ranging from workers cottages and bungalows to grand residences;
- a discernable 'gateway' to the community at the intersection of Gore and First Avenues, with the impressive Gothic Revival edifice of St. Thomas Anglican Church serving as landmark at this entrance;

- streetscapes featuring an assortment of open and enclosed private front yards with well-maintained and mature landscaping and gardens; and
- the continued residential, religious, and commercial uses interspersed throughout the area.

## **Objectives**

The Mountain View Heritage Conservation Area is meant to help manage growth and change, not prevent it. It seeks to promote the conservation and thoughtful evolution of the Mountain View area so that new development respects and enhances the heritage values and character-defining elements of the neighbourhood. Design Guidelines are meant to align new construction, subdivision, additions, and alterations to existing heritage assets, with best heritage conservation practices as described in Parks Canada's Standards & Guidelines for the Conservation of Historic Places in Canada. In this way, heritage assets maintain their prominence in the community and along the streetscape, as viewed from the public realm, while growth and change is accommodated in a way that is sensitive to, and compatible with, the Mountain View area's historic landscape.

Additionally, the intentions of the Mountain View Heritage Conservation Area are to:

- Support property owners in the understanding and appreciation of the inherent values of their heritage assets, and incentivize them to conserve their buildings in accordance with these Guidelines;
- Provide property owners and the City with the ability to allow for a greater range of opportunity for
  unique and creative new developments and uses, which are consistent with the character-defining
  elements of the Mountain View area, while promoting the conservation of existing heritage assets;
- Promote environmental sustainability through the conservation of the historic building stock, which
  preserves the embodied carbon in these buildings and mitigates demolition waste in landfills, while
  allowing for the sensitive and appropriate retrofitting of heritage assets to increase their energy
  efficiency;
- Equip the City with tools to better monitor, manage, and mitigate impacts to heritage assets, and allow for thoughtful and appropriate civic improvements in the public realm that support the character-defining elements of the Mountain View area; and
- Foster a sense of community pride among current and future residents of the Mountain View area.

# **Requirements and Exemptions**

All properties in the Heritage Conservation Area require a Heritage Alteration Permit (HAP) for demolition, new construction, or subdivision. Heritage Protected and Heritage Interest properties also require a HAP for building additions and alterations. The map and table below describe when a HAP and review for design guideline compliance is required based on the property's "Category" and proposed "Activity Type".



Map 2: Property Categories within the Mountain View Heritage Conservation Area.

## Heritage Alteration Permit (HAP) Requirement Based on Property Category and Activity Type

		PROPERTY CATEGORIES						
ACTIVITY TYPE	1. Heritage Protected	2. Heritage Interest	3. Contributory Property	4. Other Property				
Demolition, new construction, or subdivision*	Yes	Yes	Yes	Yes				
Building additions and alterations	Yes	Yes	No	No				
Landscape	Gui	Guidelines apply whenever a HAP is required						

<sup>\*</sup>Subdivision includes any consolidation of parcels that constitutes a subdivision of land under the Land Title Act.

### Additional Exemptions:

- An accessory building with a floor area less than 10m<sup>2</sup> for Property Categories 3 "Contributory Property" and 4 "Other Property".
- Demolition permits for Property Category 4 "Other Property".
- Maintenance and like-for-like repairs, including landscaping and painting, for the purposes of routine upkeep that does not affect the character-defining elements of the area, character-defining elements of individual heritage assets, or the heritage values of a particular property.
- Construction and maintenance activities carried out by, or on behalf of, the City.

## Changing Categories:

- A property owner may apply to the City to increase the protection of their property by changing the category from a higher number to lower one (e.g., from 3 "Contributory" to 2 "Interest", or from 2 "Interest" to 1 "Protected").
- This process would require an Official Community Plan amendment and follow other City heritage processes (such as the voluntary heritage designation bylaw), and may result in the property being included on the Heritage Interest Inventory and/or Community Heritage Register.

#### Additional Notes:

- A form and character Development Permit application may also be required in conjunction with the HAP application, based on the proposed development type.
- Replacement of windows and exterior cladding on the front and side elevations of a heritage asset will be considered an alteration and would require a HAP.

# **Heritage Guidelines:**

The following guidelines will be considered when setting Heritage Alteration Permit conditions.

## STRATEGIC SITE

# St. Thomas Anglican Church

Maintain the church site as character-defining in the Mountain View area.



Figure 2: Perspective of the Mountain View area with conceptualized infill developments, with St. Thomas Anglican Church maintaining a prominent situation in the community.

- **MV-1 Visual Prominence** Maintain visual prominence of the church so that it continues to act as a character-defining element of the neighbourhood:
  - Locate new construction or additions to the east of the site, behind the church.
  - b) Establish a public open space on the western edge of the site, with landscaping that maintains views of and frames the church and creates a lively public realm along Gore Avenue with places for people to sit and socialize.

## **NEW CONSTRUCTION AND SUBDIVISION**

Applicable for: ALL properties

# **Site Planning**

The development site reinforces neighbourhood character, builds upon pedestrian connectivity, and maintains the variety and visual interest that is established in the existing pattern of buildings and landscapes in the Mountain View area.

- **MV-2 Walkable Lanes** Orient active uses such as doors, windows, and stoops along lanes that run parallel to rear and side yards to reinforce the pedestrian character, sense of safety, and walkability.
- **MV-3 Floodplain Elevation Response** Extend the material quality and architectural finish to grade to reduce the negative impacts of inactive ground-level uses (such as parking and storage) that result from floodplain responses. Any exposed foundation above grade should be screened from public view using landscaping elements such as plants, landscape beds and trees.
- MV-4 Established Lot and Building Pattern Design buildings (and lot subdivisions, where applicable) to maintain the pattern of the established streetscape, with building massing being punctuated by landscaping.

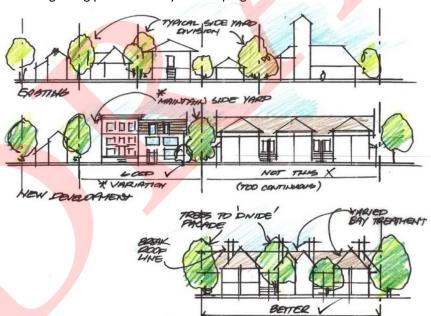


Figure 3: Examples of recommended streetscapes applicable to the Mountain View area.

**MV-5** Relationship to adjacent Heritage Assets – Design buildings that are physically and visually compatible with, subordinate to, and distinguishable from properties with heritage assets. This should be achieved through form, siting, scale, and massing.

- **MV-6 Eclectic Siting** Site buildings with a diversity of setbacks to create a layered appearance from the streetscape and contribute to the eclectic character of the neighbourhood.
- MV-7 Site Access Design the site so that vehicle access is taken from the lane or lowest street class available.

## **Building Design**

The buildings are framed as a backdrop to heritage assets, are distinguished from heritage buildings, and enhance the overall character of the neighbourhood through good design, material quality and finish.

- MV-8 Entrances and Front Stoops Orient entrances and front stoops towards the street to create a welcoming entry and enhance the pedestrian experience.
- MV-9 Tri-partite Division Design the building so the bottom, middle, and top are distinguished using variations in materials, detailing, and architectural elements to create balance, proportion, and visual coherence.



Figure 4: Definition: tripartite division in architecture is a design approach that separates a building's façade into three horizontal sections: the base, the middle, and the top.

**MV-10**Roof Form – The roof design should be clear and balanced, utilizing a main, dominant, roof form along with a secondary, subordinate, roof form to create visual interest. Subordinate roof forms, when different heights or angles are introduced, should be used to highlight important elements of the home, like the front entrance, porch, or areas that extend or are set back from the main structure. In attached developments, including townhouse complexes, each unit should have its own distinct features to distinguish homes from one another, and the overall design should include variation to create an attractive and engaging streetscape.

- **MV-11 Diverse Buildings** Design buildings to reflect, but not replicate, the diversity of house styles and finishes that are present in the Mountain View area.
- **MV-12 Garages** Minimize the visual appearance of garage doors on the public realm.
  - Orient garages internally within the site, to the rear of buildings, or adjacent to the lane.
  - b) Break up the extent of the façade occupied by garage doors and create visual interest by incorporating windows, material variation, and/or architectural elements.
  - c) Recess garage doors when they are located on a front façade.
- MV-13 Solid Corners Locate windows to maintain an expression of 'punched openings' and solid corners.





Figure 5: Examples of 'punched windows' present in the neighbourhood.

- MV-14 Material Finish and Siding Use materials for exterior cladding, trim (e.g. fascia, bargeboards, soffit, cornerboards, and window and door casings), and other finishes that complements the existing heritage assets and character of the Mountain View area while remaining visually distinct, with attention to quality and durability.
  - a) Use high-quality and durable materials for exterior cladding, trim, and other finishes that are compatible to the character of the Mountain View areas, taking inspiration from adjacent buildings in the immediate area.
     Priority to be given to wood, stucco, brick, stone, and cast stone.
  - b) Non-textured fibre cement products, when used to emulate historic wood cladding (such as horizontal siding, shingles, trim, and window casings) can be used as a substitute material for wood.
  - c) Avoid materials that are unpainted or clear-stained wood siding, vinyl and plastic, mirrored or reflective glass, metal, and any type of panel system.

- **MV-15** Roof Cladding Use materials for sloped roof cladding that complements both the existing heritage assets, historical roof claddings which may no longer be present, and the character of the Mountain View area while remaining visually distinct, with attention to quality and durability.
  - a) Use wood shingles for roof cladding, or an engineered product which emulates wood shingles.
  - b) Avoid asphalt shingles and clay tile roof cladding.
  - c) Metal, rubber, and slate are not permitted.
- **MV-16** Robust and Substantive Detailing Incorporate robust detailing, texture, and pattern that is compatible with and in line with character defining elements in the area to prioritize visual interest.



Figure 6: Examples of robust and substantive detailing present in the neighbourhood.

## ADDITIONS AND ALTERATIONS

Applicable for: HERITAGE PROTECTED and HERITAGE INTEREST properties

## **Building Design**

The original design and heritage value of the building is conserved, with new additions and alterations reinforcing the role of the heritage asset as the prominent structure on the property.

- MV-17 Heritage Value Preserve and restore original architectural features and materials that contribute to a building's heritage value to maintain the integrity and authenticity of the structure.
  - a) Repair character-defining elements, rather than replace them.
  - b) Where character-defining elements are too deteriorated to repair, in-kind replacement should be undertaken to match the material, form, and detailing of the original element.
  - c) Original cladding (wood, stucco, etc.) to be repaired, painted and maintained.
- **MV-18 Visual Compatibility and Subordinance** Design additions and alterations so that they are physically and visually compatible with, subordinate to, and distinguishable from the building. This should be achieved through form, siting, scale, and massing. Additions should be located to the rear or side of the heritage asset.
- MV-19 Heritage Integrity Undertake new additions or construction in a way that does not damage the original character-defining elements if the new work was to be removed in the future.
- MV-20 Doors and Architectural Detailing Preserve or restore original door assemblies on heritage assets. Incorporate doors and other architectural elements that are of a similar design, scale and proportion to the historic architectural pattern of the building and designed to support the functional needs of existing and future residents.
- Windows Original window openings, assemblies, sashes, and casings to be preserved and repaired, or restored if missing. Replacement windows on the heritage asset can include multi-pane glazing set in wood sashes. Restoration, or introduction, of exterior wood storms to assist in thermal performance. New windows on additions must be of a similar design, scale and proportion to the historic windows of the building, and designed to support the functional needs of existing and future residents.
- MV-22 Attachments Locate attachments, such as satellite dishes and solar panels, so they are not visible from the fronting street, and/or are screened from view.

MV-23 Colour – Restore original historic colours on-site, where appropriate, to enhance the historical character and maintain visual consistency with the surrounding context. Consider referring to the historic colour palettes in Chilliwack's *Downtown Design Guidelines* to either restore the original colour scheme of the heritage asset, or to apply an historically-appropriate colour scheme.

## **LANDSCAPE**

Applicable for: ONLY properties requiring a HAP

# **Landscape Design**

The landscape design contributes to the streetscape composition with unique and attractive gardens, without obscuring the building.

- MV-24 Landscape Materials and Fencing Incorporate high-quality and durable materials that weather gracefully and enhance the overall image of the neighbourhood.
  - a) Low-height wood, wrought iron, aluminium fencing is encouraged. Chain link fencing along street frontages, visible from the public street, is not permitted.
  - b) Wall materials such as masonry, stone, natural wood, are encouraged.
  - c) Paving materials such as natural stone, precast concrete pavers, cast in place concrete are encouraged.
  - d) Landscape design should preserve existing native vegetation.
- **MV-25** Plant Selection Include climate resilient and drought tolerant species with year-round seasonal interest when selecting plants. Native species are also encouraged.
- **MV-26** Landscape Types and Quality Design of landscapes should establish a coherent, overall composition within each property that:
  - a) Contributes to the streetscape by framing surrounding structures and garden spaces.
  - b) Is layered, rich, and attractive with varied plants and materials for texture, colour, and interest.
  - c) Maintains visibility of the building and yard by keeping landscaping clear of key views.



Figure 7: Examples of landscape type and quality present in the neighbourhood.

## **Glossary:**

Character-defining Elements: Character-defining Elements are the materials, forms, location, spatial configurations, uses, and cultural associations or meanings that contribute to the *Heritage Value* of a place, which must be retained to conserve its *Heritage Value*. In the context of these Guidelines, Character-defining Elements are referred to primarily as they relate to the *Heritage Value* of the Mountain View area as a whole, and a list of Character-defining Elements for Mountain View are provided in the Justification section. Additionally, Character-defining Elements are also commonly used to refer to the tangible and intangible features of individual heritage resources (e.g. buildings) when describing their location, context, architectural and design features, style, uses, landscape, and other characteristics which express the *Heritage Value* of those places.

**Heritage Alteration Permit:** A Heritage Alteration Permit (HAP), enabled under provincial legislation, allows for local governments to require a permit to make alterations (with exception to routine maintenance and like-for-like repairs) to heritage resources that are either legally protected, or within a *Heritage Conservation Area*.

**Heritage Assets:** Heritage Assets is a term used when collectively referring to the heritage resources which comprise the following property categories: *Heritage Protected, Heritage Interest,* and *Contributory Properties*. Heritage Assets in the Mountain View area typically encompass the principal structure on their respective property.

- *Heritage Protected*: Heritage Protected assets are buildings and properties which have been legally protected by the City of Chilliwack through a voluntary application from the property owner at the time of enactment. While provincial legislation enables several methods of protection, common protection tools include Heritage Designation and Heritage Revitalization Agreements, both of which are achieved through the passing of a local government bylaw. Once legal protection is achieved, it is noted on the respective land title for that property.
- Heritage Interest: Heritage Interest assets are buildings and properties which have been previously evaluated and determined to have Heritage Value. The Heritage Interest Inventory was first established in 1991, reviewed in 2024, and it contains 92 heritage resources across the city. Several of the heritage resources identified on this list have been legally protected, but most of the heritage resources on this list are not protected. The Heritage Interest Inventory is not an exhaustive list of all heritage resources within the city, only those which have been evaluated by the City.
- Contributory Properties: Contributory Properties are heritage assets within the Mountain View area which have not been evaluated or protected, but contribute to the overall Heritage Value of the Mountain View Heritage Conservation Area due to their age, era of development, aesthetic, and/or past associations. Many of these heritage resources have their own intrinsic Heritage Value as well.
- Other Properties: These are properties that support the Mountain View neighbourhood without notable Heritage Value, and do not fall into one of the above property categories.

**Heritage Conservation Area:** A Heritage Conservation Area (HCA) is a distinct, geographically-defined area with *Heritage Value*, identified for heritage conservation purposes in an Official Community Plan. Individual properties within an HCA may exhibit their own *Heritage Value*, but it is the overall *Heritage Value* that

distinguishes an HCA. In establishing an HCA, a local government is recognizing the significance of the collective structures, along with the total environment, landscape, streetscape, spatial elements, vistas and views, and the relationships of buildings to each other and their context. An HCA is not a tool to prevent demolition or construction, and it is not intended to discourage property owners from upgrading and improving properties, but instead is a strong and flexible tool to encourage the conservation of heritage resources in the area.

**Heritage Value:** A place or heritage resource, whether it be a building, group of buildings, a geographical area, landscape, or archaeological site, may have *Heritage Value*. The *Heritage Value* of a place are the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The *Heritage Value* of a place are embodied in its *Character-defining Elements*.

		AGENDA ITEM NO:	7.15			
		MEETING DATE:	June 17, 2025			
	STAFF REPORT	– COVER SHEET				
SUBJECT:	City of Chilliwack Rezoning / 9392 Young Road	DATE:	June 6, 2025			
DEPARTMEN	Planning Department IT: RZ001795	PREPARED BY:	Shamim Bahri / rk			
1. SUN	MARY OF ISSUE:					
The City is proposing to amend the 2040 Official Community Plan designation of the subject property from "Residential 4 – Mid-High Rise Apartment" to "Civic/Institutional" as per the Downtown Land Use and Development Plan and rezone the property from an RC (Commercial						

Conversion) Zone to a CP (Commercial Parking) Zone to facilitate construction of a parking lot.

adoption to the Bylaw with respect to the property located at 9392 Young Road.

Once the Bylaw has been to Public Hearing, staff recommend that Council give third reading and

## 2. RECOMMENDATION:

Recommendation that:

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 – Mid-High Rise Apartment" to "Civic/Institutional" as per the Downtown Land Use and Development Plan; and,

"Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone;

be given first and second reading; and further; that a Public Hearing be called for July 2, 2025.

Gillian Villeneuve Director of Planning

# 3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

#### STAFF REPORT ON REZONING APPLICATION RZ001795

PREPARED BY:	Shamim Bahri	DATE:	June 5, 2025
POSITION:	Planner I	DEPARTMENT:	Planning Department

#### 1. PROPOSAL

In 2024, the City purchased the subject property to develop additional public parking to serve the downtown. As redevelopment and population growth continues, demand on the existing City parking lots and available on-street parking in this area is increasing. Construction of a new public parking lot within two adjacent properties to the south (46017 and 46029 Victoria Road) has already been completed with the subject property and adjacent property at 9381 Young Road (already within the CP Zone) proposed to be developed as an expansion to the existing parking area.

As shown in the attached concept plan, the design of the parking area complies with City Bylaws. The proposed parking lot will include appropriate landscaping throughout and provide screening between adjacent residential zones. Electric vehicle charging stations will also be incorporated into the design.

### 2. FACTORS:

## 2.1 2040 Official Community Plan (OCP) / Land Use / Community Engagement / OCP Pre-Consultation

Official Community Plan: "Residential 4 - Mid-High Rise Apartment" as designated in the

Downtown Land Use & Development Plan. An amendment to the OCP designation to "Civic/Institutional" is proposed and further

detailed within Section 1 of this report.

Land Use: Single detached dwelling (to be demolished).

Community Engagement: The City's Corporate Officer sent letters to all affected properties

within a 30m radius of the property explaining the proposal and provided contact information to invite any additional questions or concerns. As of the date of this report, no responses have been received. A copy of the engagement summary has been included as

part of the official record.

OCP Pre-Consultation: As considered appropriate under Section 475 of the Local

Government Act, and at the direction of Council, OCP preconsultation with outside agencies was not deemed to be necessary as the proposed amendment is not anticipated to lead to any impacts

on the interests of these organizations.

## 2.2 Neighbourhood Character

The subject property is located downtown, off of Young Road between Victoria Avenue and Bole Avenue. The property is surrounded by a mix of residential and commercial uses including:

North: Apartment buildings and single detached dwellings in R6 (Mid-Rise

Apartment) Zone and R1-A (Urban Residential) Zone.

South: Varied commercial uses and associated parking within the C3

(Downtown Commercial) and CP (Commercial Parking) Zones.

East: Apartment buildings in R6 (Mid-Rise Apartment) Zone.

West: A mix of commercial and residential uses within the C3 (Downtown

Commercial) Zone and Central Community Park.

2.3 Technical Issues

Floodplain: The subject property is located within the protected floodplain and is

subject to the Floodplain Regulation Bylaw.

Watercourses: There are no known watercourses within, or in the immediate vicinity

of, the subject property.

Geotechnical: The property is not subject to any known geotechnical hazards or

earthquake-related risks.

## 3. RECOMMENDATION & SUBSTANTIATION:

#### **Recommendation:**

Recommendation that:

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 — Mid-High Rise Apartment" to "Civic/Institutional" as per the Downtown Land Use and Development Plan; and,

"Zoning Bylaw Amendment Bylaw 2025, No. 5491', which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone;

be given first and second reading; and further; that a Public Hearing be called for July 2, 2025.

## **Substantiation:**

The proposed parking lot will supplement the available downtown parking for current and future development, providing residents and visitors access to downtown amenities and businesses. Furthermore, as appropriate landscaping and screening will be provided, the parking lot is not anticipated to impact neighbouring properties.

## 4. SOURCES OF INFORMATION:

- Rezoning Application (RZ001795) February 26, 2025
- Development Application Review Team (DART) Minutes May 29, 2025

## **Attachments**

Schedule A – Public Engagement Letter

## **Site Photos**

## **Elevations from Bole Avenue**







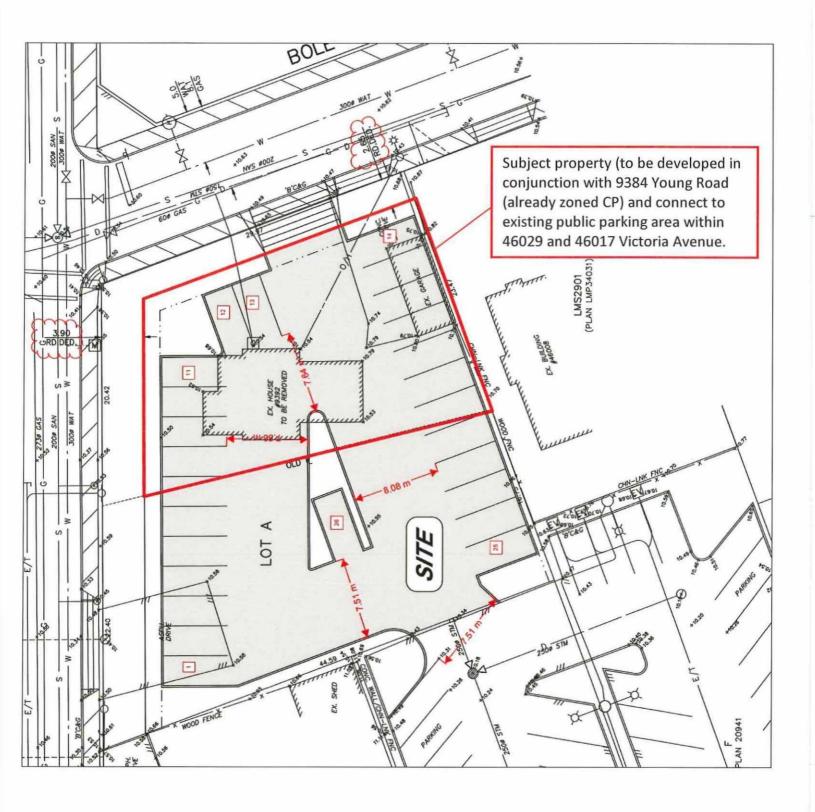
## **Location Map**



**Ortho Photo** 



## Conceptual Site Plan (as provided by the applicant)



## Schedule A: Public Engagement Letter



File No: 0890.20

Engineering - Property Management

Date: May 29, 2025

«Name\_1» «Name\_2» «Address»

Dear Property Owner:

Re: Public Engagement – Downtown Parking Lot Civic Address: 9392 Young Road, Chilliwack BC

This letter is to inform you about a proposed rezoning application for the above-noted property. The City is planning to construct additional parking for the downtown area at this location.

#### Rezoning and Official Community Plan:

To amend the 2040 Official Community Plan designation from "Residential 4" to "Institutional and Civic Use" and rezone the subject property from a RC (Commercial Conversion Zone to a CP (Commercial Parking) Zone, to facilitate construction of a City, public parking lot."

#### Plan of Parking Lot:

Attached to this letter is a copy of the plan for the proposed parking area.

#### Your Input:

As the City holds itself to the same high standards as the development community, a public engagement process outside of a Public Hearing for the proposed parking area is necessary. Therefore, we invite you to share your thoughts and concerns.

#### **How to Participate:**

Please email the Engineering Department, Attention: Leah Knutson at <a href="mailto:engineeringinfo@chilliwack.com">engineeringinfo@chilliwack.com</a> or if you prefer you can reach us by phone at 604.793.2907.

The Public Hearing for the rezoning application is tentatively scheduled for Tuesday, June 17, 2025. A formal notice of application will be sent to you from the Planning Department, explaining your options to participate in the rezoning process.

Sincerely,

Leah Knutson Property Manager

Encl.

8550 Young Road Chilliwack, BC V2P 8A4 Phone: 604.792.9311 Fax: 604.795.8443 www.chilliwack.com



# City of Chilliwack Notice of Public Hearing Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at chilliwack.com/live

# Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490 Zoning Bylaw Amendment Bylaw 2025, No. 5491 (RZ001723)

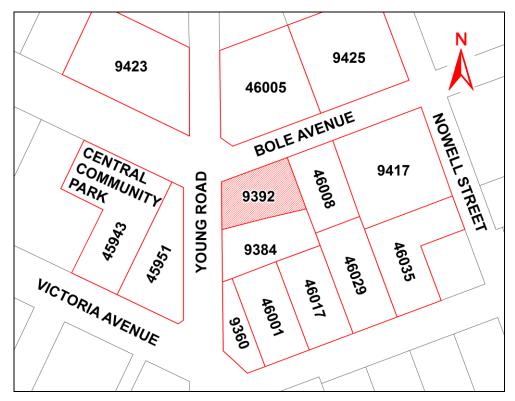
**Location:** 9392 Young Road

**Applicant:** City of Chilliwack

Purpose: To amend the 2040 Official Community Plan designation of the subject property

from "Residential 4 – Mid-High Rise Apartment" to "Civic/Institutional" as per the Downtown Land Use and Development Plan; and, to rezone the property from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone, to facilitate

construction of a City public parking lot, as shown on the included map.



## How to share your feedback:



Attend the Public Hearing in person (8550 Young Road)



Mail or email our Legislative Services Department:

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: <a href="mailto:clerks@chilliwack.com">clerks@chilliwack.com</a>

- Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the
  official record.

Contact our Planning Department between Wednesday, June 18 and Wednesday, July 2, 2025 for a copy of the proposed bylaws at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.

Jacqueline Morgan, CMC Corporate Officer

From:

To: <u>Clerks Dept Email</u>

Subject:9392 Young Road [EXTERNAL]Date:June 23, 2025 5:26:54 PM

I understand you are putting in a parking lot. Just recently I went to the City Hall to pay my taxes. I was so impressed with the landscaping! I would like to see trees and landscaping in the new parking lot. Could you install a flashing cross walk sign on Young and Bole Ave?

Thank you Joanne Hartung 262 First Avenue Cultus Lake, BC V2R 4Z4 From:

To: <u>Clerks Dept Email</u>
Subject: [EXTERNAL]

**Date:** June 24, 2025 8:23:45 AM

## parking lots

I do not think that more land taken up for parking is the best idea. Why not triple deck the existing lots and let the new lots, where the houses were just torn down, into Community Gardens. We need more green space, not more asphalt. Thank you.

(Mrs.) Pamel H. Evans 304-9417 Nowell Street, Chilliwack, B.C., V2P 7M4

## City of Chilliwack

## Bylaw No. 5490

## A bylaw to amend the "Official Community Plan Bylaw 2014, No. 4025"

The Council of the City of Chilliwack in open meeting assembled enacts as follow	The Council of	the City of	f Chilliwack in or	oen meeting ass	sembled enacts	as follows:
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- 1. This bylaw may be cited as "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490".
- 2. "Official Community Plan Bylaw 2014, No. 4025", is hereby further amended by redesignating property described as PID: 001-722-387, Lot 12 Division "E" New Westminster District Plan 41054, from "Residential 4 Mid-High Rise Apartment" to "Civic/Institutional".

Received first and second reading on the 17<sup>th</sup> day of June, 2025. Public hearing held on the Received third reading on the

Consultation Process considered by Council on the 3<sup>rd</sup> day of June, 2025.

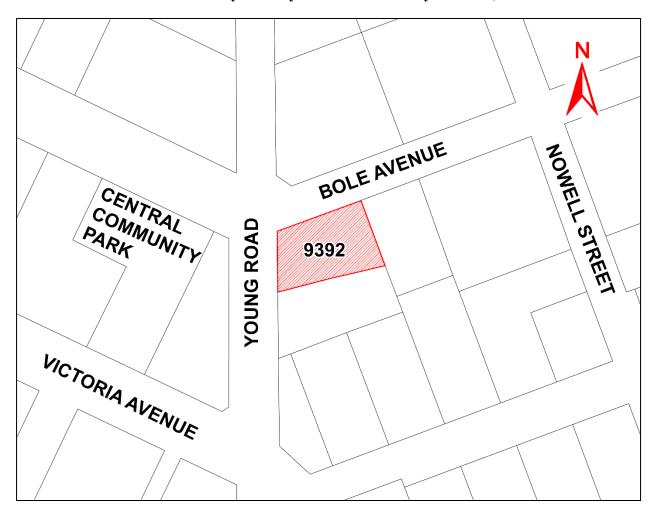
Received adoption on the

Mayor
Corporate Officer

NOTE: This bylaw refers to property located at 9392 Young Road.



## "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490"





### City of Chilliwack

# Bylaw No. 5491

# A bylaw to amend the "Zoning Bylaw 2020, No. 5000"

	The	C	ouncil	of	the	City	of	Chil	liwack	in	open	meeting	g asseml	oled	enacts	as	foll	lows:
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- 1. This bylaw may be cited as "Zoning Bylaw Amendment Bylaw 2025, No. 5491".
- 2. "Zoning Bylaw 2020, No. 5000" is hereby amended by rezoning property described as PID: 001-722-387, Lot 12 Division "E" New Westminster District Plan 41054, from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone.

Received first and second reading on the 17th day of June, 2025. Public hearing held on the Received third reading on the Received adoption on the

Mayor
 0.00
Corporate Officer

NOTE:

This bylaw refers to property located at 9392 Young Road.



# "Zoning Bylaw Amendment Bylaw 2025, No. 5491"



	AGENDA ITEM NO:	7.16
	MEETING DATE:	June 17, 2025
STAFF REPOR	RT – COVER SHEET	
Wedler Engineering LLP		
Rezoning / 7715 Nixon Road	DATE:	June 6, 2025
Planning Department		
RZ001723	PREPARED BY:	Stacy Johnson / rk

### SUMMARY OF ISSUE:

SUBJECT:

DEPARTMENT:

The applicant wishes to amend the text of the Eastern Hillsides Comprehensive Area Plan to expand Development Cell 6 to include a portion of the subject property and to amend the 2040 Official Community Plan designation of a portion of the subject property from "Rural Hillside" to "Residential – Low Density" as per the Eastern Hillsides Comprehensive Area Plan.

Once the Bylaws have been to Public Hearing, staff recommend the rezoning application be held at 3<sup>rd</sup> reading pending registration of a highway reservation agreement to the title of the subject property.

### 2. RECOMMENDATION:

Recommendation that "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494", which proposes to add a portion of the subject property located at 7715 Nixon Road to Development Cell 6 and add a notation to the Cell 6 Subdivision Development Concepts map within the Eastern Hillsides Comprehensive Area Plan, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

Recommendation that "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495", which proposes to redesignate a portion of the property located at 7715 Nixon Road from "Rural Hillside" to "Residential - Low Density" as per the Eastern Hillsides Comprehensive Area Plan, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

Gillian Villenduve Director of Planning

# 3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

#### STAFF REPORT ON REZONING APPLICATION RZ001723

PREPARED BY:	Stacy Johnson	DATE:	June 6, 2025
POSITION:	Senior Planner	DEPARTMENT:	Planning Department

### PROPOSAL/BACKGROUND:

The proposal is to amend the text of the Eastern Hillsides Comprehensive Area Plan (EHCAP) to expand Development Cell 6 to include a portion of the subject property and redesignate that portion to "Residential – Low Density" to support the construction of up to 27 residential units in the future. The remainder of the property will retain the current designation of "Environmental Conservation". The applicant does not intend to subdivide and/or develop at this time and as such, a rezoning application will be required at a future date to pursue the proposed residential development which will be subject to Council consideration and approval. Although preliminary geotechnical and environmental reports have been provided to ensure the property is suitable for future residential development, a comprehensive review of technical considerations including provision of servicing sewer), drainage/stormwater (water, sanitary management, road upgrades and geotechnical/environmental considerations will be required at time of rezoning.

Currently, the EHCAP envisions a portion of Nixon Road, between Falls Boulevard and Ruddock Road, to be abandoned as this section is narrow and has steep inclines both uphill and downhill of the roadway. Due to this, upgrading Nixon Road to urban standards to support the existing residents and future development of Development Cell 6 would require significant retaining structures and modifications to the hillside. Constructing Falls Boulevard to connect to Ruddock Road instead of maintaining the existing Nixon Road alignment provides a route that is less impactful to the hillside with the added benefit of having lower future maintenance costs and geohazard risks.

As per the EHCAP, the original location of the proposed Nixon Road alignment was intended to pass through the Falls Golf Course and reconnect to Nixon Road through the property at 7775 Nixon Road. As a house was recently constructed on this lot, the planned alignment is no longer viable. As an alternative to the previously contemplated alignment and to support the proposal, the applicant has agreed to register a highway reservation agreement on title to secure the future realignment of Nixon Road through the subject property, as shown on the attached conceptual plan. As the proposed OCP amendment and expansion of Development Cell 6 includes a specific, defined benefit to the City through the relocation of a portion of Nixon Road, the inclusion of a portion of the subject property into Development Cell 6 and allocation of 27 residential units from the existing 960 units assigned to Cell 6 as proposed is considered appropriate in this instance.

In addition to the above, based on the conceptual site plan which illustrates the proposed road alignment, in order to construct the proposed road, an existing single detached dwelling will likely be required to be removed. The house was constructed in 1912 and is identified on the City's Heritage Interest Inventory List as the *Nixon Log House*. As such, in support of the Chilliwack Heritage Strategic Action Plan, staff recommend that the applicant explore options for the house be moved and

preserved at the time of development; though, as the house is not officially protected through a heritage designation bylaw there is no obligation for the property owner to preserve the house at the time of development.

### 2. FACTORS:

### 2.1 2040 Official Community Plan (OCP) / Land Use / OCP Pre-consultation / Public Consultation

Official Community Plan: "Environmental Conservation" and "Rural Hillside" as specified in the

Eastern Hillsides Comprehensive Area Plan.

The proposal includes an amendment to the OCP designation of a portion of the property from "Rural Hillside" to "Residential – Low Density". Further information regarding the OCP amendment is

provided in Section 1 of this report.

Land Use: Single detached dwelling, a detached shop and a secondary residence

(Nixon Log House), operating as a short-term rental with an approved

Business Licence.

OCP Pre-consultation: As considered appropriate under Section 475 of the Local Government

Act and at the direction of Council, OCP pre-consultation with outside agencies was not deemed to be necessary as the proposal is not anticipated to directly impact those agencies due to the location of the

property.

Public Consultation: The applicant sent letters to property owners within 30m of the

subject property detailing the proposal and inviting feedback. A copy of the engagement summary has been included as part of the official

record.

### 2.2 Neighbourhood Character

The property is located within the Eastern Hillsides, adjacent to the Falls Golf Course and residential development within the CD-25 (Comprehensive Development - 25) Zone to the northwest. Vacant lots within the RS-CWA (Community Water Supply Area) Zone are located to the south and west and large rural residential lots within the RH (Rural Hillside) and RR (Rural Residential) Zones are located to the northeast.

The future proposed development will fit into the vision for the ultimate build out of Development Cell 6 of approximately 960 residential units, including development pockets along Falls Boulevard to the new Nixon Road connection. The site is expected to develop comprehensively and be included within the master planning process for Cell 6 at the time of rezoning.

### 2.3 Technical Issues

Floodplain: The subject property is not located within the floodplain.

Watercourses: Elk Creek, a Class "A" primary drainage watercourse, is located along the

southern property line. Any proposed future development will be outside the minimum required setbacks. Further, the area surrounding the watercourse will remain within the "Environmental Conservation" designation within the Eastern Hillsides Comprehensive Area Plan to reinforce the riparian area

protections.

Geotechnical: The subject property is within the geotechnical "potential" and "significant"

areas indicating a moderate and/or significant hazard from steep slopes. The subject property is located within Development Permit Areas No. 2 (Hillside and Upland Areas) and No. 8 (Hillside Development) and, as such,

Development Permits for both areas will be required at time of rezoning.

A preliminary geohazard site assessment report has been prepared by *GeoWest Engineering* including a review of the proposed residential lots, approximately 300m of road, and the relocated driveway for the existing house. The report has been reviewed by the Land Development Department and it indicates that the site is suitable for residential development. The final lot layout and building envelopes will be determined at time of subdivision once a subsurface investigation and slope stability analysis is completed

though a comprehensive geotechnical review.

Environmental: The southeast portion of property has mapped critical habitat for Coastal

Giant Salamander and northwest corner has proposed critical habitat for Oregon Forest Snail. The applicant has submitted an environmental assessment prepared by *Redcedar Environmental Consulting* which details the critical habitat for coastal giant salamander is below the top of bank of the watercourse, thus no impacts are expected to this species. The Land Development Department has reviewed the report and determined that as no development is currently proposed and additional environmental review will be required at the time of rezoning, there is no concern with the proposal at

this time.

### 3. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

Recommendation that "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494", which proposes to add a portion of the subject property located at 7715 Nixon Road to Development Cell 6 and add a notation to the Cell 6 Subdivision Development Concepts map within the Eastern Hillsides Comprehensive Area Plan, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

Recommendation that "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495", which proposes to redesignate a portion of the property located at 7715 Nixon Road from "Rural Hillside" to "Residential - Low Density" as per the Eastern Hillsides Comprehensive Area Plan, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025.

### **Substantiation:**

The requested OCP amendment to expand Development Cell 6 to include a portion of the subject property and to amend the designation of a portion of the property to "Residential – Low Density" is consistent with future development within Cell 6 as envisioned by the EHCAP and will secure a viable location for the future relocation of Nixon Road. As the applicant does not intend to commence development imminently and a rezoning application, subject to Council's consideration and approval as part of a master planning process for Cell 6 will be submitted along with a conceptual site plan and complete technical review at a later date, the preliminary technical reports provided for the purposes of this application support the intended development.

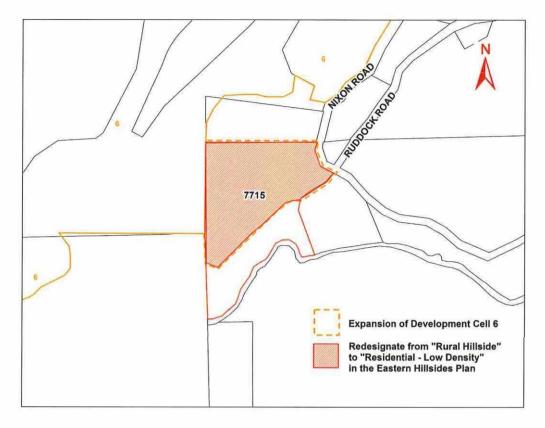
#### 4. SOURCES OF INFORMATION:

- Rezoning Application (RZ001723) July 4, 2023
- Development Application Review Team (DART) Minutes October 31, 2024
- Preliminary Geohazard Site Assessment Report, GeoWest Engineering March 27, 2023
- Preliminary Environmental Assessment, RedCedar Environmental Consulting April 13, 2023

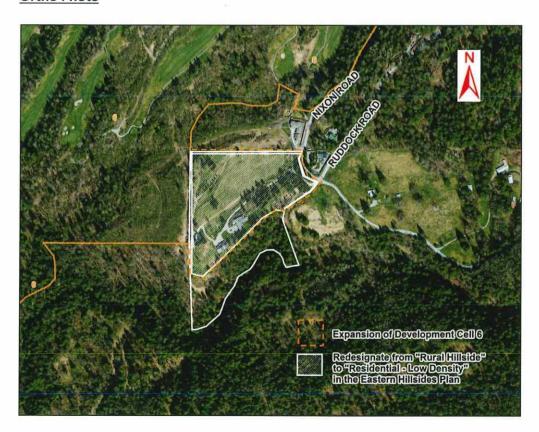
### **Attachment**

Applicant Public Engagement Summary

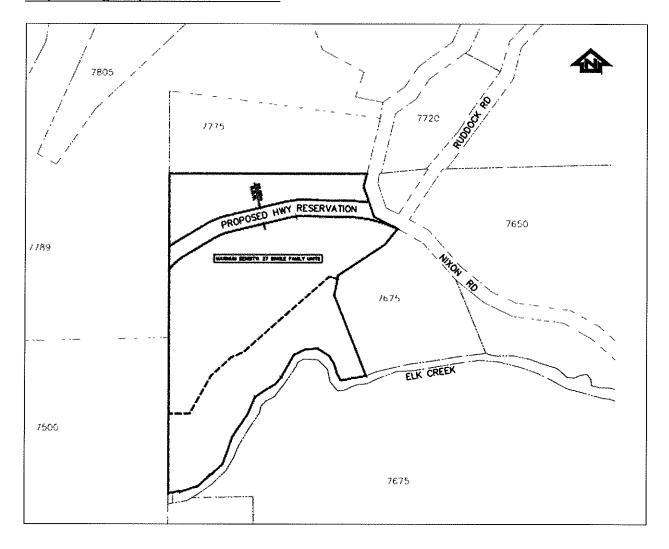
# **Location Map**



# **Ortho Photo**



# **Proposed Highway Reservation Location**



### **Applicant Engagement Summary**

# 7715 Nixon Road, Chilliwack

# Rezoning Application to Amend the Eastern Hillsides Comprehensive Area Plan (EHCAP) and Official Community Plan (OCP)

Attention: Homeowner

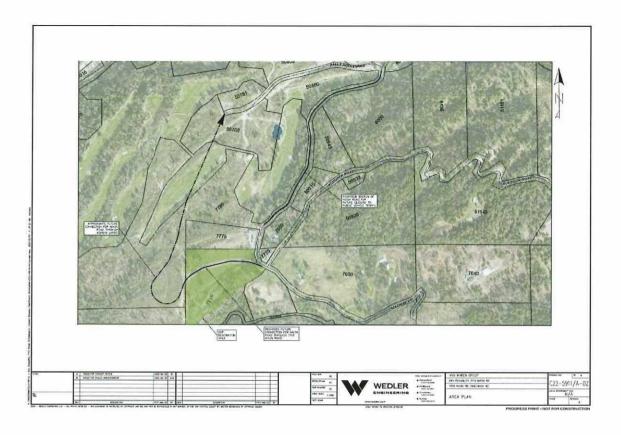
This application is to designate the above property from Rural Hillside to Residential – Low Density. This will allow for 27 single family lots along the future connection for Nixon Road. The balance of the lands with the existing house and shop will remain undeveloped. The application is for the land use amendment only; the actual road and development are subject to future development applications with the timing dependent (likely many years in the future) on the road being completed to the property at the west end from the Aquilini Falls Development Lands. Cell 6 in the EHCAP has limited development due to City sewer, water and road capacity in this area. See attached information plans.

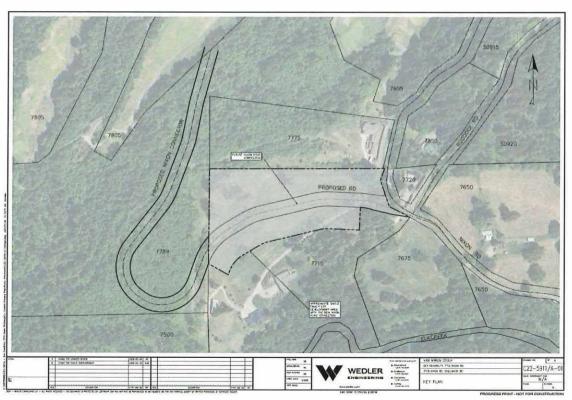
The significant community benefit will be a safe municipal standard road to access the upper Nixon and Ruddock Road area. The existing narrow and rather unsafe section of Nixon Road would be closed to public vehicle access once the new connection road is complete. This new connection road, once constructed, will allow for a paved municipal road (curb, sidewalk, pavement, streetlights) from the intersection of Ruddock Road all the way to where the pavement presently ends (at Boulder Springs).

Please call Bernie VanMaren 604-847-0701 or Andre Gagne at Wedler Engineering LLP 604-792-0651 with any questions.

# **NIXON/PATTERSON ROAD MAILING LIST**

Property Address	Owner's Name	Mailing Address
7500 Patterson Road	1135183 B.C. Ltd.	Suite 4 ~ 6631 Main Street Vancouver, B.C. V5X 3H3
<del>-7450 Nixon Road</del> →	No legal description or title search available for this property	
7650 Nixon Road	Rosevale Farms Ltd.	8301 Gibson Road, Chilliwack, B.C. V2P 6H3
7675 Nixon Road	Hyland Commercial Inc.	110 – 33973 Gladys Avenue Abbotsford, B.C. V2S 2E8
7715 Nixon Road	Stonewater Ventures (No. 249) Ltd. (this is Bernie and Eric Peter's property)	202- 45793 Luckakuck Way Chilliwack, B.C. V2R 5S3
7720 Nixon Road	Josep Joe Cable and Catherine Marie Legere	7720 Nixon Road Chilliwack, B.C. V4Z 1L3
7775 Nixon Road	Brian Dale Arabsky and Deborah Lynn Arabsky	7775 Nixon Road Chilliwack, B.C. V4Z 1L3
7789 Nixon Road	Blackburn Developments Ltd.	2800 – 666 Burrard Street Vancouver, B.C. V6C 2Z7
7850 Nixon Road	Scott Warren Mitchell and Karol Lee Mitchell	7850 Nixon Road, Chilliwack, B.C. V4Z 1L3







# City of Chilliwack Notice of Public Hearing Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at chilliwack.com/live

# Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494 Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495 (RZ001723)

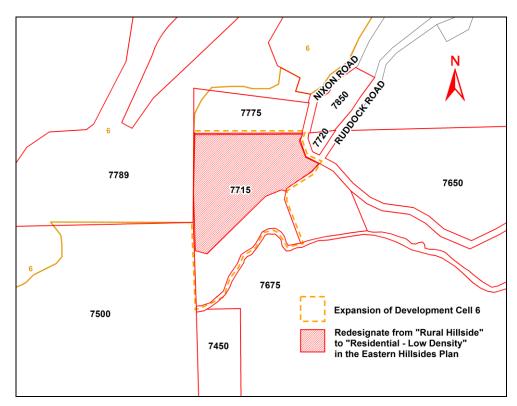
**Location:** 7715 Nixon Road (a portion of)

Applicant: Wedler Engineering LLP

Purpose: To amend the text of the Eastern Hillsides Comprehensive Area Plan to expand

Development Cell 6 to include a portion of the subject property; and, to amend the 2040 Official Community Plan designation for a portion of the property from "Rural Hillside" to "Residential – Low Density" as per the Eastern Hillsides

Comprehensive Area Plan, as shown on the included map.



### How to share your feedback:



Attend the Public Hearing in person (8550 Young Road)



Mail or email our Legislative Services Department:

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: <a href="mailto:clerks@chilliwack.com">clerks@chilliwack.com</a>

- Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the
  official record.

Contact our Planning Department between Wednesday, June 18 and Wednesday, July 2, 2025 for a copy of the proposed bylaws at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.

Jacqueline Morgan, CMC Corporate Officer

# Kandasamy, Rachel

From:

Johnson, Stacy

Sent:

June 4, 2025 1:10 PM

To:

Benz, Melissa; Kandasamy, Rachel

Subject:

FW: Support for Rezoning and Road Improvements - 7715 Nixon Road - RZ001723

*[EXTERNAL]* 

Hello,

Please forward to clerks in support of RZ1723.

Thanks,

Date Received: JUNE 4 2025

Received From: BRIAN ARABSKY

Folder Number: RZ001723

Subject Property: 7715 NIXON ROAD

Council Date:

Stacy Johnson (she/her) | Senior Planner | Planning Department

P: 604.793.2783 | F: 604.793.2285 | E: sjohnson@chilliwack.com

City of Chilliwack | 8550 Young Road, Chilliwack, BC, Canada V2P 8A4 | www.chilliwack.com

The City of Chilliwack acknowledges that we are honoured to live, work, and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

We're updating our Official Community Plan!

Sign up for project updates: engagechilliwack.com/chwk2050



From: Brian Arabsky

Sent: June 4, 2025 12:34 PM

To: Planning Dept <planning@chilliwack.com>; Johnson, Stacy <sjohnson@chilliwack.com>

Subject: Support for Rezoning and Road Improvements - 7715 Nixon Road - RZ001723 [EXTERNAL]

Dear Stacy Johnson,

My name is Brian Arabsky, and my family lives at 7775 Nixon Road, directly adjacent to the proposed rezoning at 7715 Nixon Road.

I'm writing to express my support for the redevelopment in this area. I believe it's an excellent use of the property. More importantly, I want to emphasize the urgent need to replace the existing gravel portion of Nixon Road. The current one-lane gravel section is extremely unsafe and poses a serious hazard. Personally, I have thought of moving because of that road. In the five years I've lived here, I've already witnessed two vehicles over the steep hillside embankment.

It feels like only a matter of time before a tragedy occurs. Any steps you can take to help expedite the construction of the newly proposed road would be greatly appreciated.

Thank you for your efforts on this important matter.

Sincerely,

Brian Arabsky

Page 2 of 2

# Kandasamy, Rachel

From:

Johnson, Stacy

Sent:

June 9, 2025 8:50 AM

To:

Kandasamy, Rachel; Benz, Melissa

Subject:

FW: Van Maren OCP Amendment [EXTERNAL]

Hello,

Please forward to clerks to form part of the public record for RZ1723.

Thanks,

Stacy Johnson (she/her) | Senior Planner | Planning Department

P: 604.793.2783 | F: 604.793.2285 | E: sjohnson@chilliwack.com City of Chilliwack | 8550 Young Road, Chilliwack, BC, Canada V2P 8A4 | www.chilliwack.com The City of Chilliwack acknowledges that we are honoured to live, work, and play on the traditional, ancestral and unceded territory of the Stó:lō Coast Salish peoples.

We're updating our Official Community Plan!

Sign up for project updates: engagechilliwack.com/chwk2050

----Original Message----

From: Bill Dickey

Sent: June 9, 2025 7:44 AM

To: Johnson, Stacy <sjohnson@chilliwack.com> Subject: Van Maren OCP Amendment [EXTERNAL]

Dear Ms Johnson,

I am the longstanding owner of the property at 50920 Ruddock Road. I would like to express my strong support for the OCP amendment of the Van Maren property at 7715 Nixon Road. The relocation of Nixon Road through the Van Maren property would be a great improvement to our area. The existing road is seriously substandard and a danger to anyone using it. I believe this change would be beneficial to the local residents and the City of Chilliwack. Thank you for considering my submission,

Bill Dickey

Date Received: JUNE 9, 2025

Received From: BILL DICKEY

Folder Number: RZ001723

Subject Property: \_\_

Council Date:

### City of Chilliwack

### Bylaw No. 5494

### A bylaw to amend the "Official Community Plan Bylaw 2014, No. 4025"

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

- 1. This bylaw may be cited as "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494".
- 2. "Official Community Plan Bylaw 2014, No. 4025", is hereby amended by deleting Figure 6 Development Cells (For Potential Development Considerations) in its entirety, and substituting with a new Figure 6 Development Cells (For Potential Development Considerations), as attached.
- 3. Said Bylaw is hereby further amended by deleting Cell 6 Subdivision Development Concept in its entirety, and substituting with a new Cell 6 Subdivision Development Concept, as attached.

Received first and second reading on the 17<sup>th</sup> day of June, 2025. Public hearing held on the Received third reading on the

Consultation Process considered by Council on the 3<sup>rd</sup> day of June, 2025.

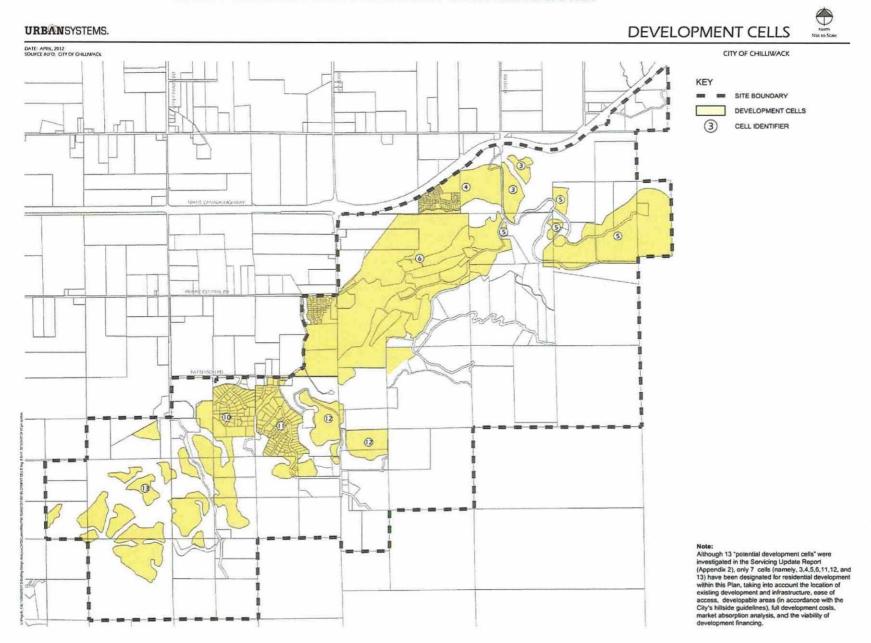
Received adoption on the

Mayor
Corporate Officer

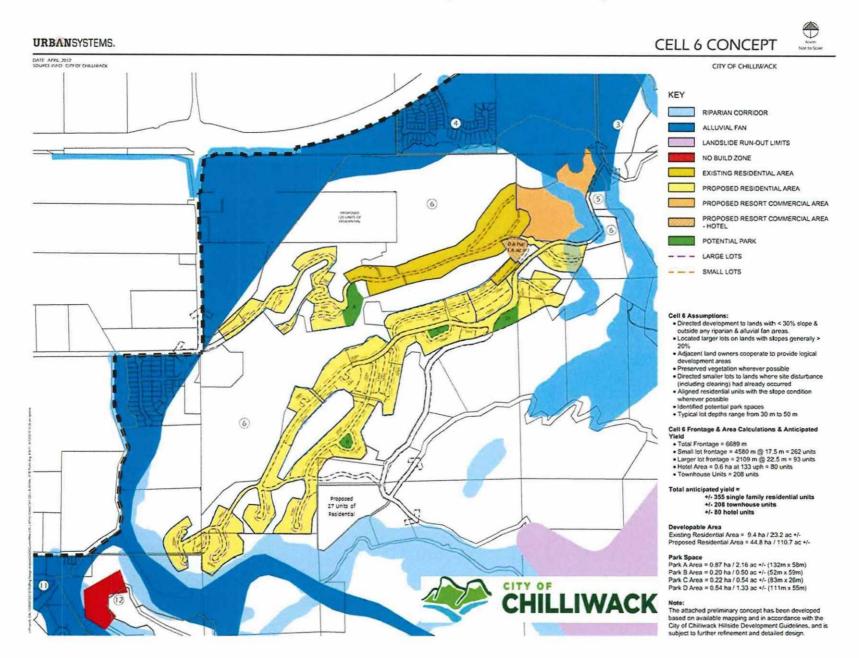


# **Figure 6 Development Cells**

# (For Potential Development Considerations)



# **Cell 6 Subdivision Development Concepts**





### City of Chilliwack

# Bylaw No. 5495

# A bylaw to amend the "Official Community Plan Bylaw 2014, No. 4025"

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- 1. This bylaw may be cited as "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495".
- 2. "Official Community Plan Bylaw 2014, No. 4025", is hereby further amended by redesignating a portion of property described as PID: 008-692-246, Lot 2 Section 21 Township 2 Range 29 West of the Sixth Meridian New Westminster District Plan 26491, as shown on Schedule "A" attached hereto and forming part of this bylaw, from "Rural Hillside" to "Residential Low Density".

Received first and second reading on the 17<sup>th</sup> day of June, 2025. Public hearing held on the Received third reading on the

Consultation Process considered by Council on the 3<sup>rd</sup> day of June, 2025.

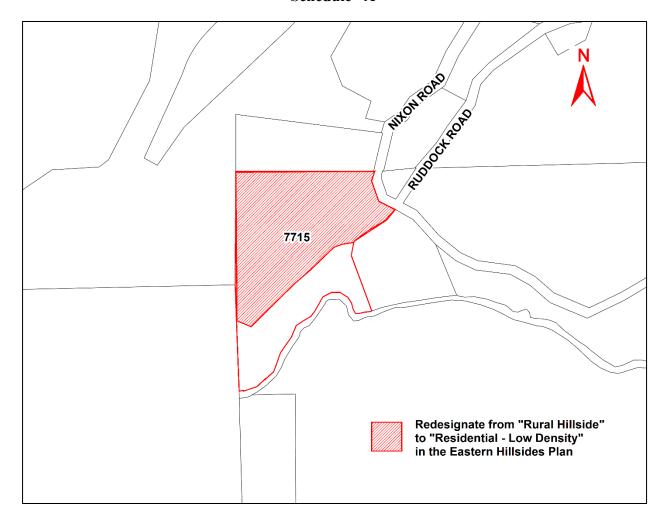
Received adoption on the

Mayor
Corporate Officer

NOTE: This bylaw refers to a portion of property located at 7715 Nixon Road.



# "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495" Schedule "A"





		AGENDA ITEM NO:	11.3.5
		MEETING DATE:	July 2, 2025
	STAFF REPORT –	COVER SHEET	
SUBJECT:	Twin Maple Produce Ltd. Temporary Use Permit 4540 & 4535 Simmons Road	DATE:	June 18, 2025
DEPARTMENT:	Planning TUP00261	PREPARED BY:	poty Rai / mb

### SUMMARY OF ISSUE:

The applicant is seeking to approve the operation of a one day annual 'Barn Burner BBQ & Car Show' community event within the AL (Agricultural Lowland) Zone of the subject property. As the AL Zone does not permit this use, a Temporary Use Permit is required.

After three years, a renewal of the TUP will be required to continue to use the site for an additional three years. Once the proposed Temporary Use Permit has been to Public Hearing, staff recommend that Council approve Temporary Use Permit TUP00261 with respect to properties located at 4540 and 4535 Simmons Road.

A TUP can be renewed only once. After which, rezoning or relocation to an appropriate zone is recommended or a new TUP application must be submitted.

### 2. RECOMMENDATION:

Recommendation that, Council approve the issuance of Temporary Use Permit (TUP00261), with respect to properties located at 4540 and 4535 Simmons Road, subject to the recommendations as stipulated within the draft Temporary Use Permit. (Presentation)

Gillian Villeneuve Director of Planning

# 3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

### STAFF REPORT ON TEMPORARY USE PERMIT TUP00261

PREPARED BY:	Joty Rai	DATE:	June 18, 2025
POSITION:	Planner I	DEPARTMENT:	Planning

### 1. BACKGROUND:

In March 2025, Council considered an Agricultural Land Reserve (ALR) application (ALR00436) for a Non-Farm Use pertaining to the 'Barn Burner BBQ & Car Show' annual event which was forwarded to the Agricultural Land Commission (ALC) with support. In May 2025, the ALC approved the Non-Farm Use application for the one-day event, including a car show, for a period of six consecutive years under Resolution #325/2025, subject to conditions related to siting, temporary nature of proposed structures and the submission of an agrologist report to the ALC. A copy of the resolution is attached for information. A Temporary Use Permit (TUP) is required to ensure the event also aligns with City Bylaws. If approved, the TUP would be valid for up to 3 years with the option to renew (at Council's discretion) for an additional 3 years.

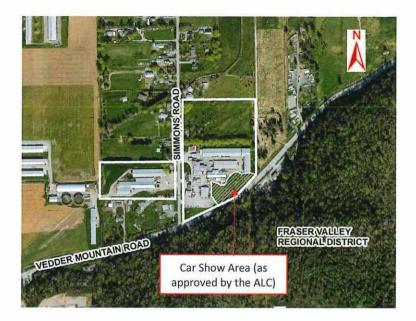
### 2. PROPOSAL:

In summary the proposal includes:

- One-day annual BBQ event serving farm products (poultry) from Fraser Valley Specialty Poultry;
- A car show featuring approximately 115 cars;
- A stage for live music performances;
- · Activities such as duck races, face painting, a mechanical bull, games, and a climbing wall;
- A market featuring local food, beverage, craft, and merchandise vendors; and,
- Charitable fundraising.

The event occurs once annually, with this year's event scheduled for July 19, 2025. The applicant has stated that the event is intended to promote farm products and will not impact the agricultural operations on the properties. The main event will be located outdoors at 4540 Simmons Road and does not utilize any permanent structures or buildings. The car show will be located on approximately 0.5ha of area along the frontage of 4540 Simmons Road, as shown below. The proposed site plan and layout are also attached for information.

The applicant expects approximately 1500-2500 attendees with parking for attendees and vendors provided on 4540 Simmons Road and neighbouring parcel 4535 Simmons Road. The applicant has confirmed that for each annual event, management protocols including professional traffic control, security services, liability insurance, portable washrooms, and notification to neighbouring parcels will be implemented. No complaints have been received to date with regards to the past annual events.



### FACTORS:

### 3.1 2040 Official Community Plan (OCP) / Land Use

OCP:

"Agriculture" as per the Yarrow Neighbourhood Plan.

Land Use:

Fraser Valley Specialty Poultry farm and related infrastructure such as barns, *The Farm Store in Yarrow* farm retail business, and a single detached dwelling.

### 3.2 Neighbourhood Character

The subject properties are located within the north east corner of the Yarrow neighbourhood adjacent to the City boundary and are within the ALR. Adjoining parcels are also zoned AL, within the ALR, and are predominantly rural in nature containing single detached dwellings or small to mid-sized agricultural operations. The neighbouring property across Vedder Mountain Road to the south is vacant and zoned RS-GSA (Geologically Sensitive Area).

### 3.3 Technical Considerations

Floodplain:

The subject properties are located within the Yarrow area of the protected floodplain and are subject to the Floodplain Regulation Bylaw.

Watercourses:

Stewart Creek, a Class "A" watercourse, runs along the southern property line of 4540 Simmons Road and Simmons Road Ditch, a Class "C" watercourse, runs along the western property line. Simmons Ditch, a Class "A" watercourse runs along the western property line of 4535 Simmons Road. As no development is proposed, riparian review is not required.

Geotechnical Issues:

The southern portion of 4540 Simmons Road is identified as having potential geotechnical hazards or earthquake related risks while the remainder of that property and entirety of 4535 Simmons Road is not subject to any known geotechnical hazards. As no development is proposed, geotechnical review is not required.

### 3.4 Conditions of Issuance of Temporary Use Permit

Staff support the requested use as proposed by the applicant and recommend approval of the draft Temporary Use Permit subject to the following conditions:

- 1. The use of the lands shall consist of a one-day annual agri-tourism event including a car show in accordance with Agricultural Land Commission Resolution #325/2025; and,
- 2. That a traffic management plan be submitted to the City for review and approval 1 month in advance of each annual event.

### 4. RECOMMENDATION & SUBSTANTIATION:

### Recommendation:

Recommendation that, Council approve the issuance of Temporary Use Permit (TUP00261), with respect to properties located at 4540 and 4535 Simmons Road, subject to the recommendations as stipulated within the draft Temporary Use Permit. (Presentation)

### **Substantiation:**

The proposal is supportable as it is not anticipated to impact agricultural operations on the properties and is permitted by the ALC through a Non-Farm Use approval. Further, the proposed event management protocols and TUP conditions will ensure that the event is functional and safe.

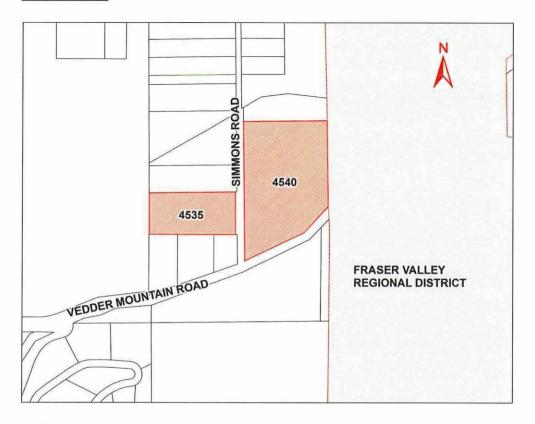
### 5. SOURCES OF INFORMATION:

- ALC Applicant Submission (ID 102230) October 31, 2024
- ALR Application (ALR00436) November 20, 2024
- Development Application Review Team (DART) Minutes January 16, 2025
- Temporary Use Permit Application June 5, 2025
- Agricultural Land Commission File 102230 Reasons for Decision (Resolution #325/2025) May 22, 2025

### Attachments:

Agricultural Land Commission File 102230 Reasons for Decision – Resolution #325/2025

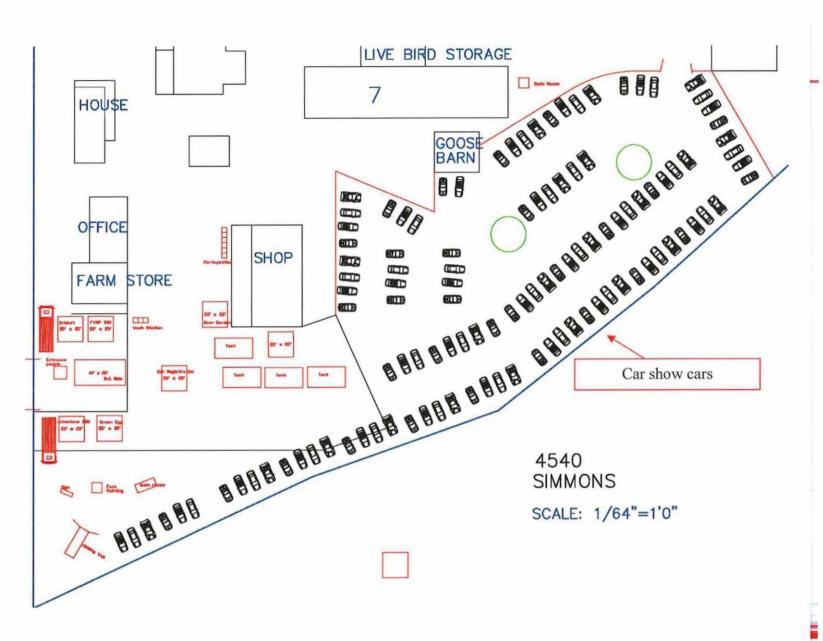
# **Location Map**



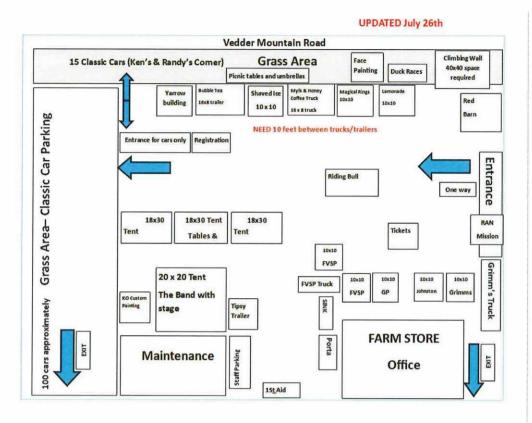
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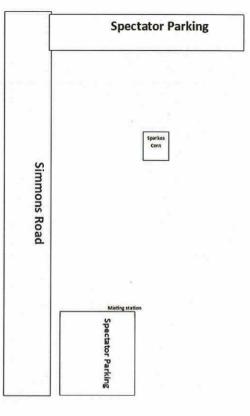


### Proposed Site Plan (as submitted by the applicant)



# Main Event Area Layout (as submitted by the applicant)





Agricultural Land Commission File 102230 Reasons for Decision – Resolution #325/2025



T: 604-660-7000

E: ALCBurnaby@Victoria1.gov,bc,ca

201 – 4940 Canada Way Burnaby, BC, Canada V5G 4K6

May 22, 2025

ALC File: 102230

Karen Ketting-Olivier Fraser Valley Specialty Poultry/Twin Maple Produce Ltd. Delivered by e-mail

Dear Karen Ketting-Olivier:

Re: Reasons for Decision - ALC Application 102230

Please find attached the Reasons for Decision of the South Coast Panel for the above noted application (Resolution #325/2025). As the agent, it is your responsibility to notify the applicant accordingly.

Please note that the submission of a \$150 administrative fee may be required for the administration, processing, preparation, review, execution, filing or registration of documents required as a condition of the attached Decision in accordance with section 11(2)(b) of the ALR General Regulation.

Under section 33.1 of the *Agricultural Land Commission Act* ("ALCA"), the Chair of the Agricultural Land Commission (the "Commission") has 60 days to review this decision and determine if it should be reconsidered by the Executive Committee in accordance with the ALCA. You will be notified in writing if the Chair directs the reconsideration of this decision. The Commission therefore advises that you consider this 60 day review period prior to acting upon this decision.

Under section 33 of the ALCA, a person affected by a decision (e.g. the applicant) may submit a request for reconsideration. A request to reconsider must meet the following criteria:

- No previous request by an affected person has been made, and
- The request provides either:
  - Evidence that was not available at the time of the original decision that has become available, and that could not have been available at the time of the original decision had the applicant exercised due diligence, or

alc gov.bc.ca

o Evidence that all or part of the original decision was based on evidence that was in error or was false.

The time limit for requesting reconsideration of a decision is one year from the date of the decision's release, as per ALC Policy P-08: Request for Reconsideration.

Please refer to <u>ALC Information Bulletin 08 – Request for Reconsideration</u> for more information.

Please direct further correspondence with respect to this application to ALC.SouthCoast@gov.bc.ca

Yours truly,

James & Charactery

Sarah Clements, Land Use Planner

Enclosure: Reasons for Decision (Resolution #325/2025)

cc: City of Chilliwack (File: ALR00436). Attention: Erin Leary

102230d1



# Agricultural Land Commission File 102230 Reasons for Decision of the South Coast Panel

Non-Farm Use Application Submitted Under s.20(2) of the *Agricultural Land*Commission Act

**Applicant:** Twin Maple Produce Ltd., Inc. No. 0803848

**Agent:** Karen Ketting-Olivier, Fraser Valley Specialty

Poultry/Twin Maple Produce Ltd.

**Properties:** Property 1:

Parcel Identifier: 030-199-212

Legal Description: Lot B, Section 33, Township 22,

New Westminster District, Plan EPP71099 Civic: 4540 Simmons Road, Chilliwack, BC

Area: 5.1 ha

Property 2:

Parcel Identifier: 026-079-526

Legal Description: Lot 2, BCP13177, Section 33, Township 22, New Westminster Land District Civic: 4535 Simmons Road, Chilliwack, BC

Area: 1.9 ha

Panel: Ione Smith, South Coast Panel Chair

Susan Gimse

Holger Schwichtenberg



### **OVERVIEW**

- [1] The Properties are located within the Agricultural Land Reserve ("ALR") as defined in section 1 of the *Agricultural Land Commission Act* ("ALCA").
- [2] The Applicant has hosted an annual BBQ event called the "Barn Burner BBQ" showcasing poultry products produced on the Properties since 2017. The Application submits that previous BBQ events were considered "agritourism" under the ALC's regulations and thus, did not required approval from the ALC. However, the Applicant wishes to add a car show (the "Car Show") to this year's event and thus requires approval from the Commission through a non-farm use application.
- [3] The Applicant is applying to the Agricultural Land Commission (the "Commission" or "ALC") under s. 20(2) of the ALCA to host an annual one-day public event on Property 1 (the "Event") with activities including: a BBQ serving poultry products produced on the Properties; a market featuring local food vendors, craft, and merchandise vendors; the Car Show featuring 115 cars; a stage with live music performances; charitable fundraising; and entertainment activities including duck races, face painting, a mechanical bull, and a climbing wall (the "Proposal"). Event parking will take place on both Property 1 and Property 2. This year's event will take place on July 19, 2025, from 10:00 am to 4:00 pm.
- [4] The Application submits that the event is intended to promote farm products and will not impact agricultural operations.



- [5] The Proposal was considered in the context of the purposes and priorities of the Commission set out in section 6 of the ALCA:
  - 6 (1) The following are the purposes of the commission:
    - (a) to preserve the agricultural land reserve;
    - (b) to encourage farming of land within the agricultural land reserve in collaboration with other communities of interest; and,
    - (c) to encourage local governments, first nations, the government and its agents to enable and accommodate farm use of land within the agricultural land reserve and uses compatible with agriculture in their plans, bylaws and policies.
  - (2) The commission, to fulfill its purposes under subsection (1), must give priority to protecting and enhancing all of the following in exercising its powers and performing its duties under this Act:
    - (a) the size, integrity and continuity of the land base of the agricultural land reserve;
    - (b) the use of the agricultural land reserve for farm use.

### **EVIDENTIARY RECORD**

[6] The Proposal, along with related documentation from the Applicant, Agent, local government, and Commission is collectively referred to as the "Application". All documentation in the Application was disclosed to the Agent in advance of this decision.



### **BACKGROUND**

- [7] Agricultural infrastructure on Property 1 includes poultry barns, a lairage facility, a processing plant, an office and retail sales building, a farm maintenance shop, an asphalt retail sales parking lot, a gravel staff parking lot, storage sheds, and a farm store (the Farm Store in Yarrow).
- [8] Agricultural infrastructure on Property 2 includes barns and a parking lot used by employees of the Business. There is a principal residence that has historically been used for foreign workers but is now vacant.
- [9] The Trans Mountain Pipeline intersects the northwest corner of Property 1 (ALC Application ID 54188, Resolution #188/2017). There has been recent construction on Property 1 associated with the Trans Mountain Pipeline expansion project that is now complete. The disturbed area has been restored with gravel and grass.

### **ANALYSIS AND FINDINGS**

[10] The Panel first considered if components of the Proposal meet the criteria for agri-tourism as set out in section 12 of the ALR Use Regulation.

Section 12(1) of the ALR Use Regulation states that the use of agricultural land for conducting agri-tourism activities is designated as a farm use if the following conditions are met:



- a) The activity is conducted on agricultural land that is classified as a farm under the Assessment Act;
- b) Members of the public are ordinarily invited to the activity,
   whether or not a fee or other charge is payable;
- No permanent facilities are constructed or erected in connection with the activity.

Section 12(2) of the ALR Use Regulation clarifies that agri-tourism activities are:

- d) an agricultural heritage exhibit displayed on the agricultural land;
- e) a tour of the agricultural land, an educational activity or demonstration in respect of all or part of the farm operation conducted on that agricultural land, and activities ancillary to any of these;
- f) cart, sleigh and tractor rides on the agricultural land;
- g) subject to section 9 [horse facilities], activities that promote or market livestock raised or kept on the agricultural land, whether or not the activity also involves livestock raised or kept elsewhere, including shows, cattle driving and petting zoos;
- h) dog trials held on the agricultural land;



- i) harvest festivals and other seasonal events held on the agricultural land for the purpose of promoting or marketing farm products produced on that agricultural land;
- j) corn mazes prepared using corn produced on the agricultural land on which the activity is taking place.
- [11] Both Property 1 and 2 are classified as a farm under the *Assessment Act*. The Application states that the event is a public event with expected attendance between 1,500 and 2,500 people. The Application further states that the event will take place entirely outdoors and that no permanent structures will be constructed or erected.
- [12] The Panel considered section 12(2)(i) which states that 'harvest festivals and other seasonal events held on the agricultural land for the purpose of promoting or marketing farm products produced on that agricultural land' is an agri-tourism activity. The Application submits that the primary purpose of the event is to promote farm products including BBQ poultry products produced by the agricultural business, Fraser Valley Specialty Poultry that is operated on the Properties. The Panel finds that the intent of the event is to promote farm products produced on the Properties; however, the Panel considered that while some of the activities meet section 12(2)(i) of the ALR Use Regulation, there are certain activities (such as the Car Show) that do not.



- [13] The Panel referred to *ALC Policy L04: Agri-tourism Activities in the ALR* ("ALC Policy L-04") which states that services ancillary to agri-tourism activities are services "that support or enhance the activity including services such as food product sales (temporary concessions or temporary food trucks/stands), portable washrooms, ticket booths, temporary stages, eating areas. All of the foregoing must be temporary for the event only". The Panel considered that the Event's stages, local vendors and market, face painting, fundraiser, duck races, etc. are used only for a 1-day event, there are no permanent structures, the uses are clustered on a primarily gravelled area, and the activities are secondary to the main BBQ event. As such, the Panel finds that those activities appear to be ancillary to the main agritourism activity (the BBQ and promotion of products from the Applicant's farm). However, the Panel finds that the Car Show is not an ancillary activity to the main agritourism activity, and the non-farm use application has been correctly submitted.
- [14] The Panel next considered the impact of the 115-car Car Show on the agricultural use of the Properties. The Car Show will take place in a grass field on in the southeast corner of Property 1. The Panel considered that the Car Show is temporary, clustered with the rest of the Event activities, away from the agricultural buildings, and would not have lasting impacts on the Property if conducted appropriately. However, the Panel expresses concern regarding soil degradation due to compaction and/or rutting from the Car Show. To mitigate the risk of soil degradation, the Panel requires the Applicant to submit a one-time pre-event baseline report prepared by a registered professional agrologist for the Car Show area prior to this year's



Event. Subsequently, the Panel further requires the submission of annual post-event reports prepared by a registered professional agrologist submitted to the Commission within 90 days of each annual event to assess the impact of the Car Show on the Car Show area. Lastly, the Panel restricts the conditional approval for the Car Show to a period of six-years to further ensure no long-term adverse impacts to the Property.

#### **DECISION**

[15] For the reasons given above, the Panel conditionally approves the Proposal to hold a Car Show on ~ 0.5 ha of Property 1 (PID: 030-199-212) at an annual Event (Barn Burner BBQ) subject to the following conditions:

## General

- (a) The Barn Burner BBQ remains consistent with section 12 of the ALR Use Regulation – Agritourism;
- (b) The Car Show is approved for a period of six consecutive years commencing in 2025 and expiring in 2031;
- (c) Approval is granted for the sole benefit of the Applicant and is non-transferable;
- (d) Siting of the non-farm use is in accordance with Schedule A of this decision;
- (e) No permanent structures are erected associated with the event;
- (f) This approval does not imply approval for any other event;

## Due by July 7, 2025



- (g) The submission of a one-time pre-event baseline report prepared by a registered professional agrologist for review and approval by the Commission prior to this year's event taking place on July 19, 2025 in accordance with Schedule A of this decision;
- (h) The pre-event baseline report should include:
  - i. A baseline assessment of current site conditions for the Car Show area;
  - ii. A mitigation and reclamation plan to address any potential impacts such as litter, soil compaction, soil erosion, soil drainage, rutting, introduction of noxious weeds or invasive species.

# Due Annually 90 days post-Event

- (i) The submission of an annual post-event report prepared by a registered professional agrologist for review and approval by the Commission within 90 days of concluding each annual event in accordance with Schedule A of this decision;
- (j) The post-event report should include:
  - i. Post-event site conditions for the Car Show area;
  - Description of reclamation measures taken for impacts such as litter, soil compaction, soil erosion, soil drainage, rutting, introduction of noxious weeds or invasive species;
  - iii. Identifying any outstanding issues or impacts.

ALC

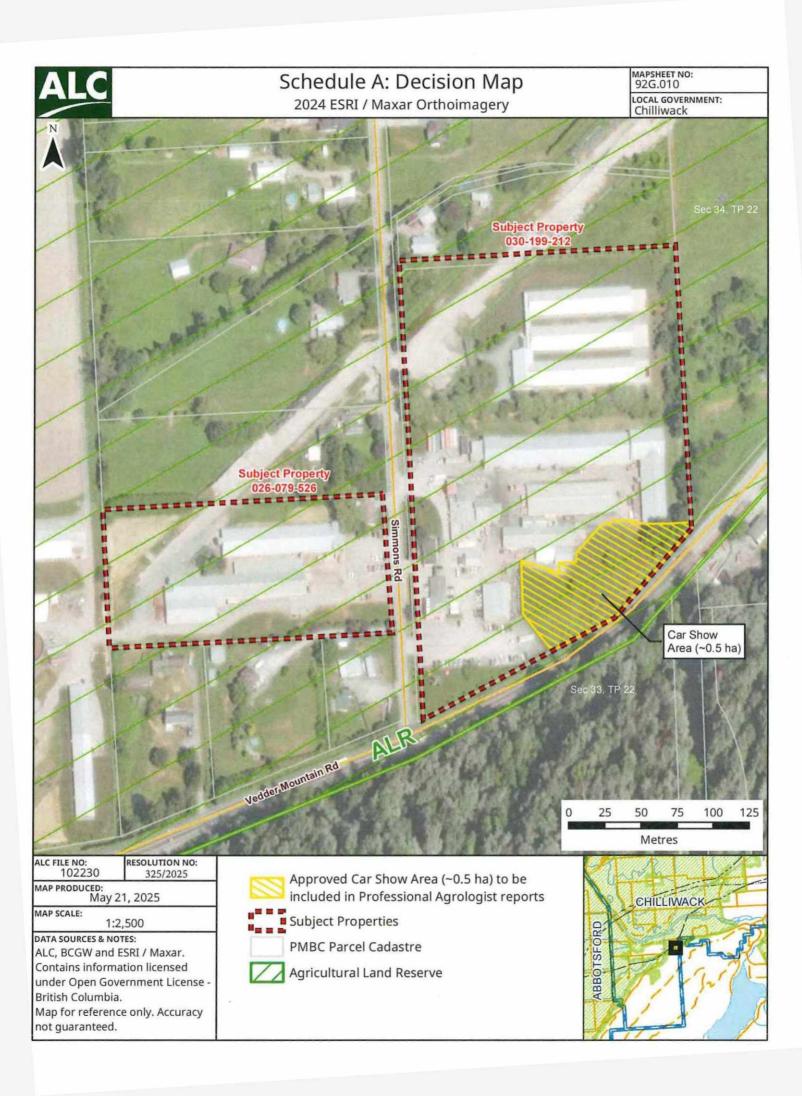
- [16] Should the above conditions of approval not be completed to the satisfaction of the ALC within the timeframe(s) specified, the approval will expire and a new application may be required.
- [17] This decision does not relieve the owner or occupier of the responsibility to comply with applicable Acts, regulations, bylaws of the local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.
- [18] These are the unanimous reasons of the Panel.
- [19] A decision of the Panel is a decision of the Commission pursuant to s. 11.1(3) of the ALCA.

[20] Resolution #325/2025 Released on May 22, 2025

Ione Smith, Panel Chair

On behalf of the South Coast Panel

Enclosures: Schedule A: Decision Map





# **City of Chilliwack Notice of Public Hearing Council Chambers** 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at Chilliwack.com/live

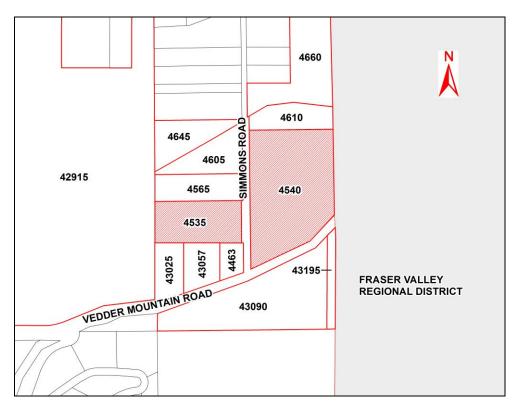
# **Temporary Use Permit (TUP00261)**

**Locations:** 4535 and 4540 Simmons Road

**Applicant:** Fraser Valley Specialty Poultry

To approve the operation of a one-day annual "Barn Burner BBQ & Car Show" **Purpose:** 

community event within the subject properties, as shown on the included map.



# How to share your feedback:



Attend the Public Hearing in person (8550 Young Road)

Mail or email our Legislative Services Department:

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: clerks@chilliwack.com

- Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the official record.

Contact our Planning Department between Wednesday, June 18, 2025 and Wednesday, July 2, 2025 for a copy of the proposed permit at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.

Jacqueline Morgan, CMC **Corporate Officer** 



# CITY OF CHILLIWACK TEMPORARY USE PERMIT NO. TUP00261

- WHEREAS Section 493 of the Local Government Act permits the issuance of Temporary Use Permits; and WHEREAS the Council of the City of Chilliwack in an open meeting assembled is prepared to issue such a permit on the terms and conditions set out below.
- 2. IT IS HEREBY RESOLVED that a Temporary Use Permit be issued as affecting the following:

Parcel Identifier No.

026-079-526

**Legal Description:** 

LOT 2 SECTION 33 TOWNSHIP 22 NEW

**WESTMINSTER DISTRICT PLAN BCP13177** 

Address:

4535 SIMMONS ROAD

Parcel Identifier No.

030-199-212

**Legal Description:** 

**LOT B SECTION 33 TOWNSHIP 22 NEW** 

**WESTMINSTER DISTRICT PLAN EPP71099** 

Address:

**4540 SIMMONS ROAD** 

## 3. General Intent of Permit

To approve a one-day annual agri-tourism event including a car show in accordance with Agricultural Land Commission Resolution #325/2025.

#### 4. Validity of Permit

Three calendar years from the date of issuance of this Permit.

#### 5. Renewal of Permit

In accordance with Section 497(2), this permit may be renewed once only, following application to and at the pleasure of the Council of the City of Chilliwack, following observance of due procedure.

#### 6. Terms and Conditions of Permit

 The use of the lands shall consist of a one-day annual agri-tourism event including a car show in accordance with Agricultural Land Commission Resolution #325/2025;



- 2. That a traffic management plan be submitted to the City for review and approval 1 month in advance of each annual event;
- 3. For sake of clarity, this Permit constitutes a temporary Official Community Plan designation for a Temporary Use area.

SUED THIS DAY OF, 2025.		CORPORATE OFFICER
SUED THIS DAY OF, 2025.		
SUED THIS DAY OF, 2025.		
SUED THIS DAY OF, 2025.		
	SSUED THIS DAY OF, 2025.	
	PPROVED BY COUNCIL ON THE DAY OF, 2025.	



		AGENDA ITEM NO:	11.4.1
		MEETING DATE:	July 2, 2025
	STAFF REPOR	RT – COVER SHEET	
SUBJECT:	Triple B Industries Development Variance Permit & Development Permit / 44361 & 44387 Simpson Road	DATE:	June 18, 2025
DEPARTMENT:	Planning DVP01493 & DP001821	PREPARED BY:	Sean Roufosse / mb

#### SUMMARY OF ISSUE:

The applicant is seeking to vary Zoning Bylaw standards to reduce the interior side lot line setback to facilitate a loading bay, increase the maximum percentage of any building to be used as an accessory office to permit a proposed accessory office on site, as well as waive screening between the two properties and vary landscaping standards to use of both lots as one, ultimately to facilitate an industrial development on the subject properties.

The applicant is seeking approval of the form and character of a new industrial development within the subject properties. As the properties are within Development Permit Area No. 7 (Industrial), a Development Permit is required.

#### 2. RECOMMENDATION:

Recommendation that, subject to public representation, Council approve the issuance of Development Variance Permit DVP01493 with respect to properties located at 44361 and 44387 Simpson Road, subject to the recommendations as stipulated within the draft Development Variance Permit. (Presentation)

Recommendation that Council approve the issuance of Development Permit DP001821 with respect to properties located at 44361 and 44387 Simpson Road subject to the conditions as stipulated within the draft Development Permit. (Presentation)

Gillian Villeneuve Director of Planning

# CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

#### STAFF REPORT ON DEVELOPMENT VARIANCE PERMIT DVP01493 AND DEVELOPMENT PERMIT DP001821

PREPARED BY:	Sean Roufosse	DATE:	June 18, 2025
POSITION:	Planner I	DEPARTMENT:	Planning

#### 1. PROPOSAL:

In summary, the proposal includes:

- three new buildings, including an office building, covered storage building, and a fabric tent;
- a loading dock structure with a raised ramp;
- retention of an existing building (512m²) with a simple industrial building design, including vertical metal siding and a neutral colour scheme;
- new free-standing and fascia signage;
- 2192m<sup>2</sup> open storage (14% of site area);
- 39 trees provided (38 required); and,
- 13 parking spaces (13 required) and 1 bicycle rack (1 required).

A separate Development Variance Permit (DVP01493) application has been submitted to vary the following standards within the Zoning Bylaw:

- reduce the required interior side lot line (ISLL) setback in the M3 Zone from 6m to 0.1m for a ramp and loading dock;
- increase the maximum gross floor area for an accessory office and sales use from 20% to 100% within one building on 44387 Simpson Road;
- waive the requirement for 2.5m tall screening for open storage areas between the subject properties;
- reduce the required landscaping within the front lot line setback of 44361 Simpson Road from 40% to 31%;
- reduce the overall site landscaping requirement for 44387 Simpson Road from 10% to 3%;
   and,
- reduce the extensive landscape requirement for 44387 Simpson Road from 5% to 1.7%.

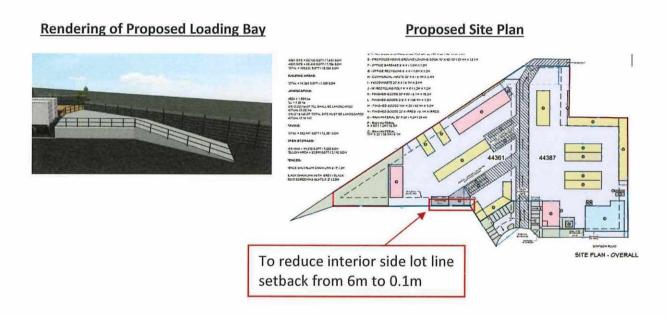
Although the overall development site exceeds the minimum number of trees required (39 proposed, 38 required); as the properties are not consolidated, each property must meet the minimum bylaw requirement based on its individual lot area. As a result, the applicant is requesting that Council not enforce the Tree Management Bylaw for 44361 Simpson Road in order to provide only 12 of the 19 required trees for this property; 27 trees will be provided on 44387 Simpson Road.

As the properties have been designed to function as a single development, a covenant to guarantee reciprocal access between the two lots, including the shared use of parking as well as vehicle and pedestrian access, will be required to be registered to the titles of both properties prior to issuance of a Building Permit to ensure that the 13 required parking spots and site access are maintained between the two properties. This has been included as a recommended condition within the draft Development Permit.

#### 2. DISCUSSION REGARDING VARIANCES:

#### **Interior Side Lot Line Setback**

The applicant seeks to reduce the ISLL setback for buildings and structures at 44361 Simpson Road from 6m to 0.1m along the southern property line, as shown in the site plan below, to facilitate the construction of a ramp and elevated loading dock. The proposed structure will be 1.3m tall, as shown in the elevation below, and its placement allows for more effective site utilization and vehicle circulation patterns, consistent with the guidelines of DPA 7. The proposed loading bay will also be screened from the adjacent property by 2.5m high fencing. Further, the applicant has engaged with the property owner of the affected property to the south (44360 Simpson Road) as well as the property to the east (44368 South Sumas Road) and received verbal support for the request from both property owners. Based on the above factors, the proposed setback reduction is considered minor in this instance and is therefore supportable.



#### **Accessory Office and Sales**

The applicant is requesting a variance to allow an increase to the gross floor area permitted for accessory office and sales within 1 of the 4 buildings on 44387 Simpson Road from 20% to 100%, as it is intended to be used exclusively as office space. The proposed office building is  $202m^2$  and the building will contain supporting uses for the proposed business including a reception area, board room and offices as well as facilities for workers on-site, including a lunch room, first aid room, washrooms and a locker room.

Given that the site will be used for storage and general manufacturing associated with Linwood Homes, and the office building takes up just 15% of the gross floor area of all buildings between the two properties, the variance is considered supportable in this instance.

In support of the proposal and to ensure the construction of a standalone office building does not result in commercial creep into an established industrial area, the applicant has confirmed the

In support of the proposal and to ensure the construction of a standalone office building does not result in commercial creep into an established industrial area, the applicant has confirmed the property will be occupied by a single tenant (Linwood Homes). As such, the applicant has registered a restrictive covenant on title limiting the use of 44387 Simpson Road to a single tenant to ensure the proposed office space is used specifically in association with an industrial business operating on site, thereby preventing the office being used as a standalone commercial office space.

#### Screening and Landscaping:

The applicant requests the following variances to the landscaping and screening standards within the Zoning Bylaw:

- waive the screening requirement for open storage areas between the subject properties;
- reduce the front lot line setback landscaping requirement for 44361 Simpson Road from 40% to 31%;
- reduce the overall site landscaping requirement for 44387 Simpson Road from 10% to 3%;
   and.
- reduce the extensive landscape requirement for 44387 Simpson Road from 5% to 1.7%.

The proposed variances, as detailed above, are only required as a result of the applicant's choice to maintain the development as 2 separate properties. As the site is designed to function as one property, and the Zoning Bylaw landscaping and screening standards are achieved based on a review of the overall development, the proposed reductions are considered to be minor in nature and will result in no impact on the appearance or function of the site or surrounding area.

#### 3. DEVELOPMENT PERMIT CONSIDERATIONS:

As demonstrated by the attached checklist evaluation for DPA 7, the proposed development complies with the majority of the Industrial Design Guidelines, although specific departures have been noted and are further detailed below. For information, a copy of the proposed site plan, landscape plan, colour elevations is attached.

The Design Guidelines for DPA 7 are intended to facilitate an attractive industrial development through the use of high-quality materials and attractive design. In this instance, of the three proposed buildings, one is a pre-fabricated fabric structure, comprised of white fabric over a metal frame and anchored to concrete blocks. Another is comprised of black and grey finished metal. Both include uninterrupted roof lines and minimal surface articulation. While the designs of these structures are inconsistent with the Design Guidelines, these buildings are located to the rear of the development, screened from view from the street by ample landscaping and the proposed office building.

The proposed office building at the front of the lot incorporates high-quality materials and contains significant building articulation. This structure and the proposed front lot line landscaping contribute to an attractive streetscape and effectively divert attention away from the buildings to the rear of the site. The fabric and metal buildings are further screened from view by the adjacent rail line to the north and 2.5m screening on all property lines. For these reasons, the proposed departures to the Design Guidelines for the structures located to the rear of the site can be supported.

## **Summary and CPTED Review**

In support of the application, the applicant has also submitted a CPTED (Crime Prevention Through Environmental Design) report prepared by *AMR Systems Ltd.* A summary of the CPTED assessment is shown in the table below:

Recommendations					
✓ included in the design	× not included in the design				
<ul> <li>Landscaping, fencing, and clearly defined parking stalls alo frontage of Simpson Road easily directs visitors to the appraire areas on site.</li> <li>Signage to direct truck access to the appropriate entrance for vehicles and deliveries.*</li> </ul>					
while driving by, increasing the se  Windows and glazing in new buil the street" and increase the effect	ldings support the sense of "eyes on				
<ul> <li>✓ Landscaping will instill a sense of p</li> <li>✓ Fencing also helps create a sense loitering and vandalism.</li> </ul>	oride and ownership over the space. se of ownership, which will reduce				
1	operty management, including the pair of vandalism, will help reduce t property.***				
	<ul> <li>✓ included in the design</li> <li>✓ Landscaping, fencing, and clear frontage of Simpson Road easiliareas on site.</li> <li>✗ Signage to direct truck access to vehicles and deliveries.*</li> <li>✓ Attractive landscaping will cause while driving by, increasing the set will will will will will will be sufficiently lighter the street" and increase the effect Buildings should be sufficiently lighter unwanted users.**</li> <li>✓ Landscaping will instill a sense of proceeding and vanidalism.</li> <li>✓ Continued maintenance and proupkeep of landscaping, and representations.</li> </ul>				

<sup>\*</sup> A recommended condition that signage be included directing trucks to the appropriate location on site has been included.

<sup>\*\*</sup> A recommended condition to provide a detailed lighting plan at the time of Building Permit has been included.

<sup>\*\*\*</sup> To be maintained by the property owner.

#### 4. DESIGN REVIEW ADVISORY COMMITTEE:

The Design Review Advisory Committee (DRAC) reviewed the subject Development Permit application and associated variances on February 18, 2025, and made the following recommendations:

There was no quorum during the time DP001821 was reviewed. Those members present had a discussion and noted no concerns with the staff recommendations and suggested additional conditions for Council consideration:

- 1. that a detailed lighting plan be submitted, prior to the issuance of a Building Permit, to ensure adequate lighting is provided for all walkways, parking areas, and elevations of the building;
- 2. that all open storage uses shall be bound by screening not less than 2.5m in height, except for points of access or egress or where bounded by a building;
- 3. that a reciprocal parking and access agreement for vehicle/pedestrian access and movement between properties, be registered to the titles of the properties at 44361 and 44387 Simpson Road in advance of Building Permit issuance;
- 4. that signage be included directing trucks to the appropriate location on the subject properties;
- that all utility equipment be screened from public view through installation of landscaping fencing, or vinyl wrapping; and,
- 6. that an irrigation system be included into the landscaped areas along the front lot line of the site.

The applicant was present at the meeting and agreeable to the conditions.

#### 5. FACTORS:

## 5.1 2040 Official Community Plan (OCP) / Land Use / Community Engagement

OCP: "General Industrial".

Land Use: One existing industrial building on 44387 Simpson Road (to be

retained), and open storage of building materials on both properties

(to be screened).

Community Engagement: The applicant spoke with affected properties outlining the proposed

redevelopment and variance to ISLL setbacks. The applicant has received support from 44360 Simpson Road, the property most affected by the variance. A copy of the engagement summary has

been included as part of the official record.

#### 5.2 Neighbourhood Character

The subject properties are located within the Legacy Pacific industrial park near the Vedder and Sardis neighbourhoods. They are bordered to the northwest by the southern rail line right of way and by industrial properties in the M3 (General Industrial) Zone to the south and east. The industrial park itself is primarily surrounded by properties in the AL (Agricultural Lowland) Zone, within the Agricultural Land Reserve (ALR).

#### 5.3 Technical Issues

Floodplain: The subject properties are located outside of the floodplain and

are not subject to the Floodplain Regulation Bylaw.

Watercourses: There are no known watercourses within, or in the immediate

vicinity of, the subject properties.

Geotechnical: The subject properties are not subject to any known geotechnical

hazards or earthquake-related risks.

Ministry of Environment (MOE): On May 20, 2025, MOE provided a limited approval to permit the

issuance of Development Permit (DP001821). Prior to issuance of the associated Building Permit, further MOE review and/or

approval will be required.

#### 6. CONDITIONS OF ISSUANCE:

Staff support the requested variances as proposed by the applicant and recommend approval of the draft DVP and DP, subject to the conditions as stipulated within the draft Development Variance Permit and Development Permit.

#### 7. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

Recommendation that, subject to public representation, Council approve the issuance of Development Variance Permit DVP01493 with respect to properties located at 44361 and 44387 Simpson Road, subject to the recommendations as stipulated within the draft Development Variance Permit. (Presentation)

Recommendation that Council approve the issuance of Development Permit DP001821 with respect to properties located at 44361 and 44387 Simpson Road subject to the conditions as stipulated within the draft Development Permit. (Presentation)

#### **Substantiation:**

The requested variances are supportable in this instance, as the proposed setback variance has received support from the affected neighbour and is expected to have minimal impact. Further, relating to the use of a building entirely for an accessory office, the applicant has registered a covenant limiting the use of 44387 Simpson Road to a single tenant, which limits any potential commercial encroachment into industrial areas. The remaining variances to screening and landscaping pose no impact to the surrounding area as the sites will function as one, and when viewed overall, the development meets landscaping and screening Zoning Bylaw standards.

Further, the proposed industrial development is largely consistent with the Design Guidelines for Development Permit Area No. 7 through consideration of the relationship between buildings and open space, circulation patterns, design compatibility with surrounding buildings and streets, effective integration of open space and buildings and by locating open storage areas behind landscaping and buildings.

#### 8. DEVELOPMENT PERMIT AREA NO. 7 DESIGN GUIDELINE CHECKLIST:

Design Guidelines		Yes/No	Comments
1.	Building form and character		
1.1	All structures are comprehensively planned and architecturally coordinated	Yes	Structures on the property are comprehensively planned in relation to the site layout, and architectural coordination is consistent with other industrial sites.
1.2	Consideration is given to relationship between buildings and open space, circulation patterns, and design compatibility with surrounding buildings and streets	Yes	Buildings, storage, open space, and maneuvering aisles are well planned and compatible with surrounding buildings and streets.
1.3	Buildings are oriented toward the street with an emphasis on glazing, and designed to create visually enhanced streetscapes	Yes	The main office building is oriented towards the street, with large, peaked windows for a proposed board room facing Simpson Road. An existing building, not subject to this application, also frames the street. The remaining buildings are oriented towards the center of the site to facilitate easy access and clear natural access control.
1.4	Building design, materials, exterior finishes and landscaping support the creation of an attractive, high quality estate industrial environment	Partial	The proposed site office offers a high-quality fronting façade, including coloured accents, finished metal, wood and stone. Landscaping along the street also enhances the overall visual appeal of the development.  The proposed storage buildings, comprised of finished metal and weatherproof fabric, will be screened by 2m high screening. The orientation of the proposed office building
		TO PROVIDE THE PRO	and existing industrial building act to screen these buildings from the front lot line.
1.5	Building design, layout, siting, landscaping, screening and buffering are designed to mitigate noise from Hwy#1 and between industrial/commercial uses	Yes	Landscaping and screening is expected to limit noise between industrial uses.
1.6	Buildings on corner lots, or fronting more than one road, give design consideration to each frontage	N/A	
1.7	Low profile building designs are incorporated, particularly adjacent to Hwy#1	Yes	The proposed buildings are low profile and are not adjacent to Highway 1.

1.8	Box-like structures with little surface articulation and long expanses of uninterrupted roof lines are avoided	Partial	The main office building on site offers significant surface articulation and a high-quality design
m	uninterrupteu roor inies are avoideu	***************************************	The existing building along the front lot line, consists of finished metal, which offers texture to the façade; however, includes uninterrupted roof lines and minimal surface articulation.
**************************************			Proposed storage buildings do not have significant surface articulation and contain long expanses of uninterrupted roof lines; however, they are in keeping with the overall architecture of the neighbourhood and are sufficiently screened as to not detract from the visual appeal of the property from the street
1.9	Loading bays and service compounds are screened or minimally visible from the public view	Yes	2.5m tall screening will be provided to limit exposure to loading bays.
1.10	Materials are of high quality, untreated or unfinished concrete, metal and/or prefabricated metal structures are not used	Partial	The proposed office building uses high-quality materials, light grey stone, grey panel siding, "Old Cherry" lap siding and stained timber.
7.767400.5			However, the proposal also includes a white prefabricated structure, anchored to concrete blocks, and a structure comprised mainly of black and grey treated metal. As the two buildings are screened from view by the surrounding landscaping, and are sited at the rear of the property, the proposed materials will not have an impact on the visual appeal of the property from the street.
1.11	Roof top equipment is positioned to minimize exposure or properly screened	N/A	No roof top equipment is proposed.
1.12	Public entrance is clearly identified and accessible from the street	Yes	The proposed office building has a clear public entrance which is accessible from the street.
	Garish or neon colours are not used	Yes	Garish and neon colours are not used.
2.	General		
2.1	Buildings and open space are well integrated, Minimize untreated space	Yes	All space is treated with paving, and open space is integrated through the incorporation of designated areas for open storage.
2.2	Vehicle and pedestrian routes are clearly defined	Yes	Pedestrian routes are defined in the parking lot, including with crosswalks and clear pathways, while vehicle routes are designated within the site. Pedestrian paths are not designated throughout the rear of the site; however, the storage buildings are not expected to receive large numbers of public pedestrian traffic.
2.3	Garbage and recycling facilities located away from street and screened from public view	Yes	Garbage and recycling facilities are located away from the street and screened from public view as the whole site is screened

3.	Parking		
3.1	Parking provided at back and side of property	Yes	Parking is provided along the side of the proposed office. Due to the nature of the site, providing parking within the back and side of the site is impractical.
3.2	Parking and loading areas facilitate safe and efficient vehicle and pedestrian movement	Yes	Clear vehicle aisles on site offer a clear pathway for commercial vehicles and prevent pedestrian—vehicle conflicts
3.3	Parking areas screened from street	Partial	The proposed landscaping seeks to soften the impact of parking along the fronting road, however, no formal screening is provided between parking areas and the street
4.	Screening & Landscaping		
4.1	Berms, shrubs, beds, low walls and plantings used to screen unaesthetic features	Yes	Shrubs and landscape beds are used along the front lot line to reduce the impact of unaesthetic features
4.2	Landscaping creates visual interest along the street frontage and entire development with variety throughout the year	Yes	Landscaping contains a variety of species of plants, including some deciduous and coniferous trees, and an array of grasses and shrubs
4.3	Landscaping creates an attractive high- quality development	Yes	Street frontage contains considerable amounts of high-quality landscaping features, including trees and shrubs.
4.4	Street trees along road frontage are in compliance with the Tree Management Bylaw	Yes	All trees, including street trees, comply with the Tree Management Bylaw.
4.5	Landscaping includes decorative fence design (black chain-link fencing hidden within landscaping may be provided, plain chain-link fencing along street frontage is avoided)	Yes	Black chain-link fencing including privacy slats is provided along the road frontage to provide the required screening for open storage
4.6	Natural vegetation or berming adjacent to Hwy#1 not removed unless approved by Development Permit	N/A	
4.7	Adjacent to Hwy#1, where no vegetation exists of, vegetation that is permitted to be altered, is replaced by a combination of landscaping and berming	N/A	
4.8	Outside storage areas are screened Screening along Hwy#1 does not compromise the visibility of the building(s) on site	Yes	The subject property will be surrounded by chain-link fences, including privacy slats to provide the 2.5m tall screening required for open storage.
5.	Lighting		
5.1	Adequate lighting of all pedestrian and vehicle movement areas to ensure security and public safety	Yes	A recommended condition has been included to require a detailed lighting plan prior to the issuance of a Building Permit.
6.	Crime Prevention Through Environmental Design (CEPTD)		
6.1	Application of CEPTD principals for building design, lighting, signage, etc	Yes	A recommended condition has been included to require a detailed lighting plan prior to the issuance of a Building Permit.

7.	Public Open Space and Recreational Pathways		
7.1	Open space areas should be designed for passive and active recreational opportunities for employees	Yes	A gazebo and small woodlot has been incorporated into the design and will be beneficial for employee use.
7.2	Outside employee amenity area provided (an encouragement)	Yes	As above.
7.3	Secure bicycle storage provided (an encouragement)	Yes	Bicycle storage in the form of a bike rack has been provided
8.	Outdoor Storage		
8.1	Outdoor storage areas should be located at the rear or side of the building and visually buffered.	Yes	Outdoor storage areas are in the center of the property and at the rear of the site office. 2.5m screening in the form of a chain-link fence with privacy slats will be included as part of the development.
9.	Signage		
9.1	Signage is architecturally coordinated with the overall design of the building and landscaping	Yes	Signage is attractive and coordinated with the overall design of the building and landscaping. A recommended condition has been included that requires signage be included directing trucks to the appropriate location on the subject property.
9.2	Complies with the Sign Bylaw	Yes	Proposed free standing signage is compliant with the Sign Bylaw. Fascia signage is not regulated within the Sign Bylaw or DPA 7.

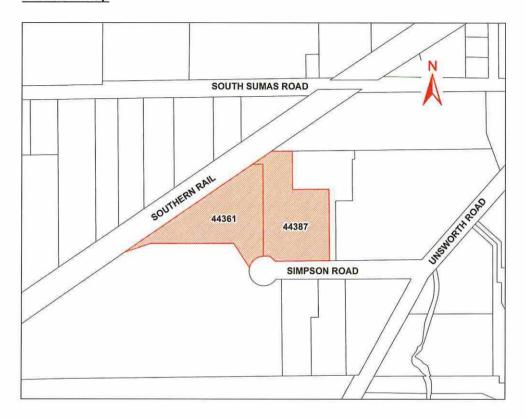
# 9. SOURCES OF INFORMATION:

- Development Permit Application (DP001821) May 6, 2024
- Development Application Review Team (DART) Minutes August 1, 2024
- Development Variance Permit Application (DVP01493) March 5, 2025

# <u>Attachments</u>

Applicant's Public Engagement Summary

# **Location Map**



# Ortho Photo



# **Applicant's Engagement Summary**

Development Application – Public Eng	gement Summary	Page of
Application Number: DP 001821		
Property Address(es): 44361 Simpson Rd	Chilliwack, BC V2R 5M3	
Applicant Contact Information: Linwood Ho	omes - Dylan Read 604 946 5430 ext.126 - drea	ad@linwoodhomes.com
Purpose: The purpose of this application is to	To reduce the setback for buildings and structures from 6m	to 0m to facilitate a raised loading bay and ramp
The above-required application number, property add.	ess, applicant contact information, and purpose statement must be i	included on each page of the summary chart.

Name	Address	Method of Contact	Support	Oppose	Comments/Responses	Date
Tim Ludwig - Bradner Cold Storage	44368 South Sumas Resit, Chilmson BC V2R SM3	verbal/email	V		advised would like to assist	03/04/2025
William Tams - Rogers Foods	44360 Simpson Rd. Chiliwack BC V2K 4B7	verbal/email	V		advised will not stand in the way	03/04/2025
					pro-Roceived: March b, 2005	
				1	Received From: Dylco Read	
					older Number: DVPP4B + DP1821	
				.5	Subject Property: 4434+44687 Simpson 24.	
					ouncil Date: May 6, 2025	
					P5-1 & 1	

This summary will be submitted to the City of Chilliwack, to be included within the public record, for the above-noted application. By providing personal information on this document you are providing your consent to permit all information provided therein to be viewed by the public.



# City of Chilliwack Notice of Public Information Meeting Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at Chilliwack.com/live

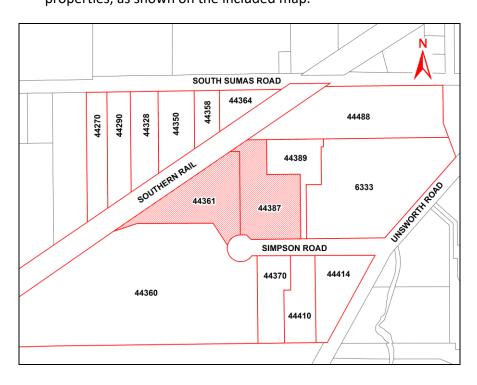
## **Development Variance Permit (DVP01493)**

**Locations:** 44361 and 44387 Simpson Road

**Applicant:** Linwood Homes Ltd.

**Purpose:** 

To vary Zoning Bylaw standards to reduce the interior side lot line setback to facilitate a loading bay, increase the maximum percentage of any building to be used as an accessory office to permit a proposed accessory office on site, as well as waive screening between the two properties and vary landscaping standards to use of both lots as one, ultimately to facilitate an industrial development on the subject properties, as shown on the included map.



# How to share your feedback:



Attend the Public Information Meeting in person (8550 Young Road)

Mail or email our Legislative Services Department:

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Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: <a href="mailto:clerks@chilliwack.com">clerks@chilliwack.com</a>

- Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the official record.

Contact our Planning Department between Wednesday, June 18, 2025 and Wednesday, July 2, 2025 for a copy of the proposed permit at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.

Jacqueline Morgan, CMC Corporate Officer

Development	Application	- Public	Engagement	Summary
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Page	of	_

Application Number: DP 001821

Property Address(es): 44361 Simpson Rd. Chilliwack, BC V2R 5M3

Applicant Contact Information: Linwood Homes - Dylan Read

Purpose: The purpose of this application is to To reduce the setback for buildings and structures from 6m to 0m to facilitate a raised loading bay and ramp

The above-required application number, property address, applicant contact information, and purpose statement must be included on each page of the summary chart.

Name	Address	Method of Contact	Support	Oppose	Comments/Responses	Date
Tim Ludwig - Bradner Cold Storage	44368 South Sumas Road, Chilliwack BC V2R 5M3	verbal/email	~		advised would like to assist	03/04/2025
William Tams - Rogers Foods	44360 Simpson Rd. Chilliwack BC V2K 487	verbal/email	V		advised will not stand in the way	03/04/2025
					pate Roceived: March b, 2025	
			-		Received From: Dylco Read	
					older Number: DPR43 + DP1821	
					subject Property: 443d + 44687 Simpson Rd.	
				C	puncil Date: May 6, 2025	
					P5-1 & 1	

This summary will be submitted to the City of Chilliwack, to be included within the public record, for the above-noted application. By providing personal information on this document you are providing your consent to permit all information provided therein to be viewed by the public.



#### SCHEDULE "A"

#### CITY OF CHILLIWACK

#### **DEVELOPMENT VARIANCE PERMIT NO. DVP01493**

 This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of Chilliwack applicable thereto, except as specifically varied or supplemented by this Permit.

 This Development Variance Permit applies only to those lands within the City of Chilliwack described below, to facilitate an industrial development, and does not apply to any additions or subsequent replacement of any and all buildings and structures and other development thereon:

Parcel Identifier No.

025-490-320

**Legal Description:** 

LOT 8 DISTRICT LOT 373A GROUP 2 NEW WESTMINSTER

**DISTRICT PLAN BCP1225** 

Address:

44361 SIMPSON ROAD

Parcel Identifier No.

026-975-408

**Legal Description:** 

LOT 9 DISTRICT LOT 373A GROUP 2 NEW WESTMINSTER

**DISTRICT PLAN BCP28469** 

Address:

44387 SIMPSON ROAD

3. In accordance with the provisions of Section 498 of the *Local Government Act* the following sections of "Zoning Bylaw 2020, No. 5000" are varied as stated:

Section 10.04(7)(a) within the M3 (General Industrial) Zone is varied by reducing the interior side lot line setback from 6m to 0.1m to facilitate the construction of a loading bay and ramp.

Section 4.06(4)(a)(i) within the General Provisions is varied by increasing the maximum percentage of the gross floor area within a building, allocated to accessory office and sales, from 20% to 100% for one building within 44387 Simpson Road.

Section 4.09(3)(a) within the General Provisions is varied by waiving the requirement for 2.5m tall screening between 44387 and 44361 Simpson Road.

Section 4.09(2)(c)(i)(A)(I) within the General Provisions is varied by reducing the required landscaping within the front lot line setback of 44361 Simpson Road from 40% to 31%.

Section 4.09(2)(c)(i)(B)(I) within the General Provisions is varied by reducing the overall site landscaping requirement for 44387 Simpson Road from 10% to 3%.

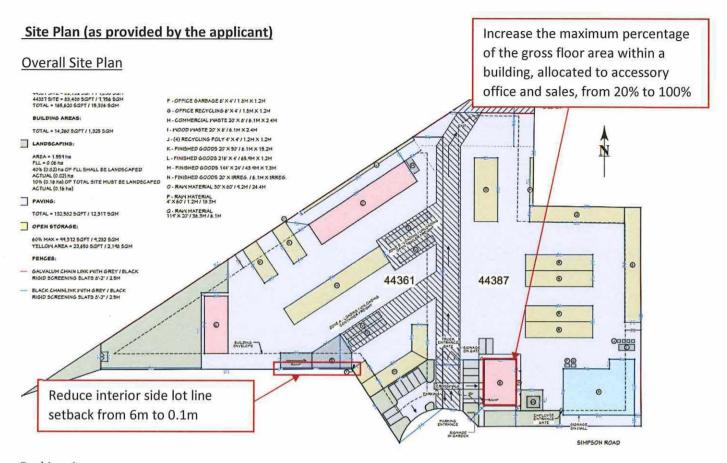


Section 4.09(2)(c)(i)(B)(II) within the General Provisions is varied by reducing the area extensively planted with trees and shrubs for 44387 Simpson Road from 5% to 1.7%.

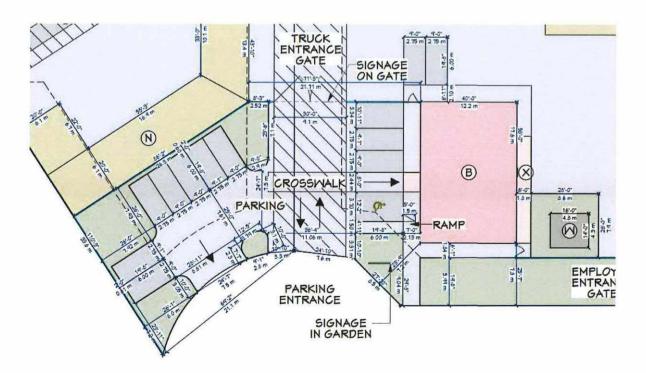
- 4. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and the plans and information contained within the application. The following condition applies:
  - a) that the development be in accordance with the plans found in Schedule "A".
- 5. Pursuant to Section 504 of the *Local Government Act*, if the permittee does not substantially start any construction permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.
- 6. This Permit is not a Building Permit.

APPROVED BY COUNCIL ON THE DAY OF, 2025.	
ISSUED THIS DAY OF, 2025	
	CORPORATE OFFICER





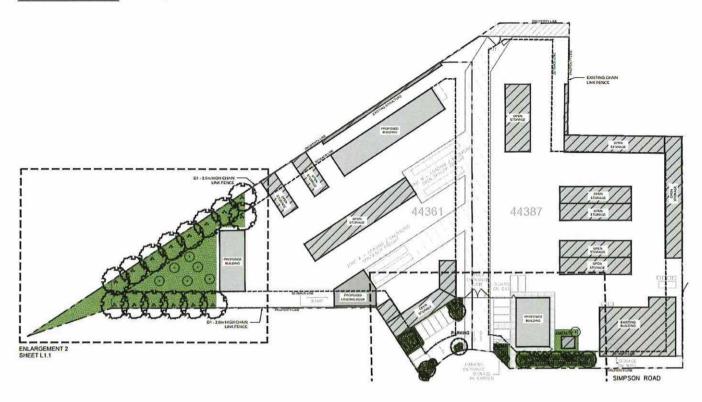
# Parking Area



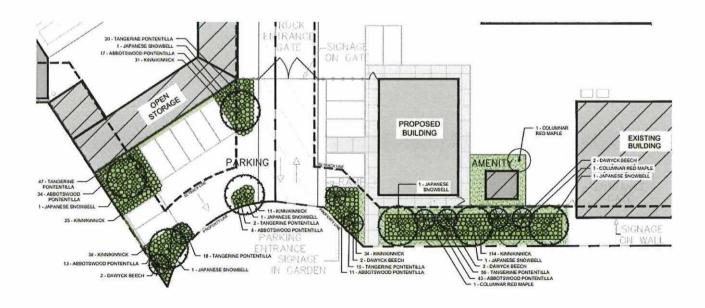


# **Landscape Plan**

# Overall Site Plan



# Parking Area







#### CITY OF CHILLIWACK

## **DEVELOPMENT PERMIT NO. DP001821**

(Portion of Development Permit Area No. 7 of the Official Community Plan)

<ol> <li>This Development Permit applies to the formula.</li> </ol>	llowing properties:
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Parcel Identifier No. 02

025-490-320

**Legal Description:** 

LOT 8 DISTRICT LOT 373A GROUP 2 NEW WESTMINSTER DISTRICT

PLAN BCP1225

Address:

44361 SIMPSON ROAD

Parcel Identifier No.

026-975-408

**Legal Description:** 

LOT 9 DISTRICT LOT 373A GROUP 2 NEW WESTMINSTER DISTRICT

PLAN BCP28469

Address:

Official Community Plan.

44387 SIMPSON ROAD

2.	Devel	opment of the subject properties shall be substantially in conformance to the following:
		Development shall be in accordance with the approved site plan and elevations attached with Schedule "A";
		That a detailed lighting plan be submitted, prior to the issuance of a Building Permit, to ensure adequate lighting is provided for all walkways, parking areas, and elevations of the building;
		That all open storage uses be bound by screening not less than 2.5m in height, except for points of access or egress or where bounded by a building;
		That a reciprocal parking and access agreement for vehicle/pedestrian access and movement between properties, be registered to the titles of the properties at 44361 and 44387 Simpson Road in advance of Building Permit issuance;
		That signage be included directing trucks to the appropriate location on the subject properties;
		That all utility equipment be screened from public view through installation of landscaping fencing, or vinyl wrapping;
		That an irrigation system be included into the landscaped areas along the front lot line of the site; and,

N.B. The above technical information is retained on file in the Planning Department.

Specifications of Development Permit Area No. 7 (Industrial) of the City of Chilliwack

This Development Permit is not a Building Permit and does not constitute approval of any proposed subdivision.



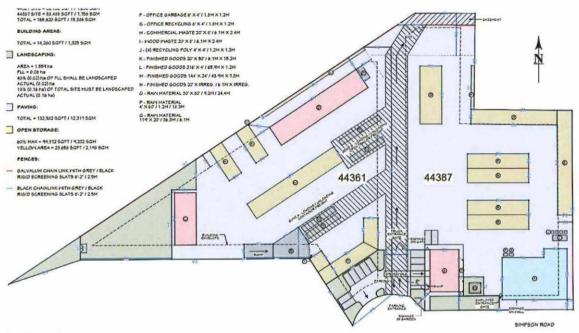
start any construction permitted by this Permit within this Permit shall lapse.	· · · · · · · · · · · · · · · · · · ·
APPROVED BY COUNCIL ON THE DAY OF, 2025.  ISSUED THIS DAY OF, 2025.	
	CORPORATE OFFICER



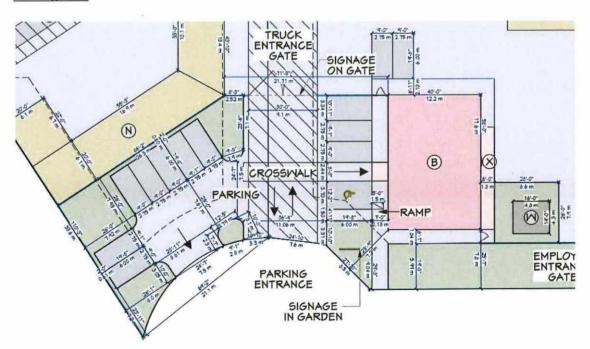
# Schedule "A"

#### Site Plan

## Overall Site Plan

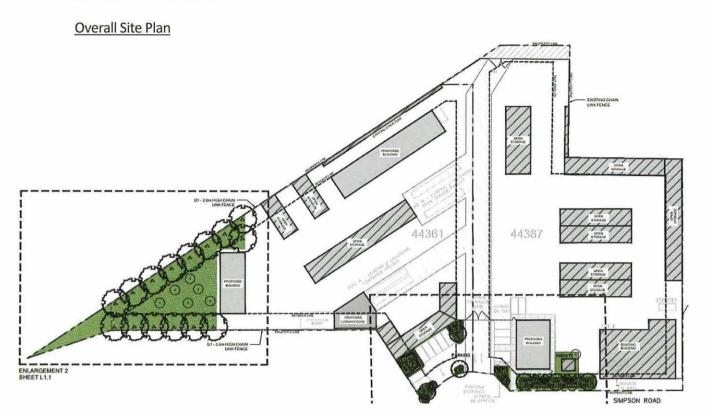


#### Parking Area

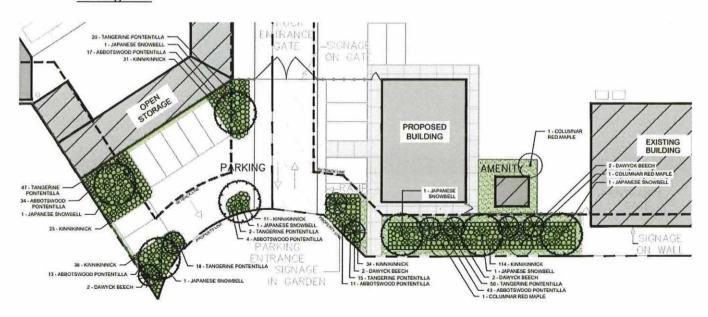




# **Proposed Landscape Plan**

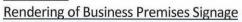


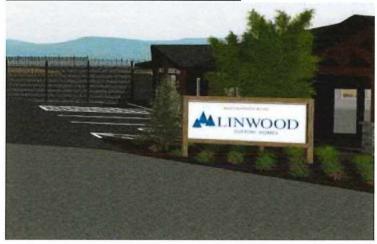
# Parking Area





Elevations





**Proposed Site Office** 



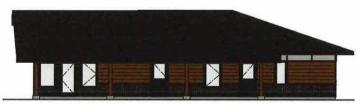




REAR ELEVATION



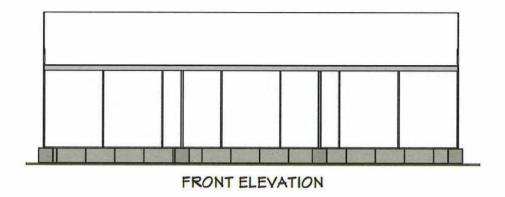
LEFT ELEVATION

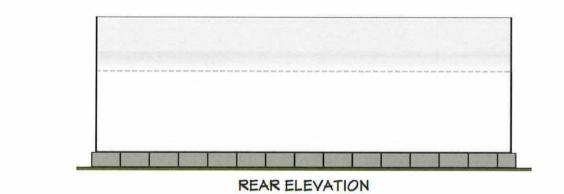


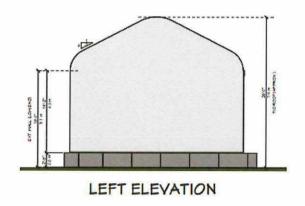
RIGHT ELEVATION

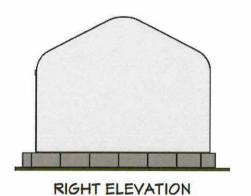


# Pre-Fabricated Tent Structure



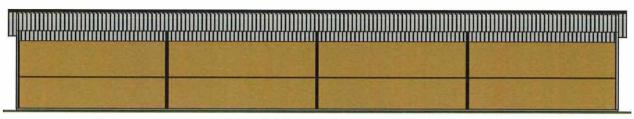








# Covered Storage Shed



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

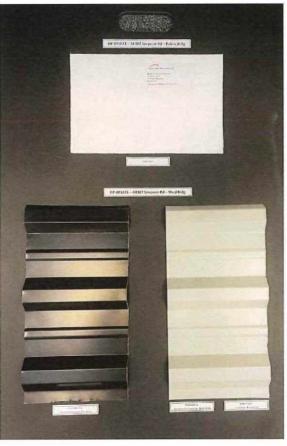


# **Colour and Material Samples**

Office Building



Tent Structure and Metal Building





	AGENDA ITEM NO:	11.4.2
	MEETING DATE:	July 2, 2025
STAFF REPORT –	COVER SHEET	
Cody Voorhorst Development Variance Permit / 4268 Stewart Road	DATE:	June 18, 2025
Planning DVP01518	PREPARED BY:	Shamim Bahri / mb
	Cody Voorhorst Development Variance Permit / 4268 Stewart Road Planning	STAFF REPORT – COVER SHEET  Cody Voorhorst Development Variance Permit / 4268 Stewart Road  DATE:

#### 1. SUMMARY OF ISSUE:

The applicant requests to reduce the minimum number of off-street parking spaces required to facilitate retention of the existing gymnasium assocated with the elementary school currently located on the subject property.

#### 2. RECOMMENDATION:

Recommendation that, subject to public representation, Council approve the issuance of Development Variance Permit DVP01518 with respect to property located at 4268 Stewart Road, subject to the recommendations as stipulated within the draft Development Variance Permit. (Presentation)

Gillian Villeneuve Director of Planning

# 3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

#### STAFF REPORT ON DEVELOPMENT VARIANCE PERMIT DVP01518

PREPARED BY:	Shamım Bahri	DATE:	June 18, 2025
POSITION:	Planner I	DEPARTMENT:	Planning Department

#### 1. BACKGROUND:

The Canadian Reformed School Society of Abbotsford has operated *John Calvin School* on the subject property for over 60 years. The property has received multiple 'Non-Farm Use' approvals from the Agricultural Land Commission (ALC) in the past. Most recently, an 1150m² expansion of the school building for new classrooms and gymnasium was approved with a condition that the existing gym be demolished (Resolution #163/2022). Upon completion of construction of the addition, the applicant determined that the original gymnasium was in better condition than originally assumed and as such, requested to retain this portion of the building. An ALR application (ALR00372) was submitted to the ALC to request the retention of the existing 430m² gymnasium and was approved with a condition that the siting remain in accordance included site plan. A copy of the decision is attached for information (Resolution #205/2025).

#### 2. PROPOSAL:

In order to meet the minimum off-street parking requirements, as per the Zoning Bylaw, for the retention of the gymnasium, 62 spaces are required. Although there are 62 parking spaces available for use by the school, 15 of the existing parking spaces are located within the City right-of-way (ROW) along Stewart Road and do not count towards the overall parking provided on-site. As such, a Development Variance Permit application to reduce the off-street parking requirement from 62 spaces to 47 spaces is required.

The Land Development has reviewed the proposal and advised that there are no concerns regarding the use of the 15 pre-existing parking spaces within the road right-of-way given the long-term use of the existing parking area and there are no plans for road expansion or improvements along Stewart Road at this time. Should road expansion occur in the future, these spaces may be impacted.

#### 3. FACTORS:

#### 3.1 2040 Official Community Plan (OCP) / Land Use

OCP: "Institutional" designated in the Yarrow Neighbourhood Plan

Land Use: John Calvin School

#### 3.2 Neighbourhood Character

The subject property is situated within the Yarrow Neighbourhood and is surrounded by rural properties with varying property sizes from 0.06ha to 4.4ha in area. To the north is an M2 (Service

Industrial) Zoned property with rural properties within the AL (Agricultural Lowland) Zone to the east, west, and south.

The neighbouring property to the east and south, 4230 Stewart Road, contains a single detached dwelling and serves as a recreational field associated with John Calvin School.

#### 3.3 Technical Issues

Floodplain: The subject property is located within the Yarrow Area of the

protected floodplain and is subject to the Floodplain Regulation

Bylaw.

Watercourses: A Class "A" watercourse known as Sharon Ditch is located to the

north of the property and requires a 30m setback for riparian

protection. The proposal is not affected by the watercourse.

Geotechnical: The subject property is not subject to any known geotechnical

hazards or earthquake related risks.

#### 3.4 Conditions of Issuance

Staff support the requested variance as proposed by the applicant and recommend approval or the draft Development Variance Permit, subject to the condition as stipulated within the draft Development Variance Permit.

#### 4. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

Recommendation that, subject to public representation, Council approve the issuance of Development Variance Permit DVP01518 with respect to property located at 4268 Stewart Road, subject to the recommendations as stipulated within the draft Development Variance Permit. (Presentation)

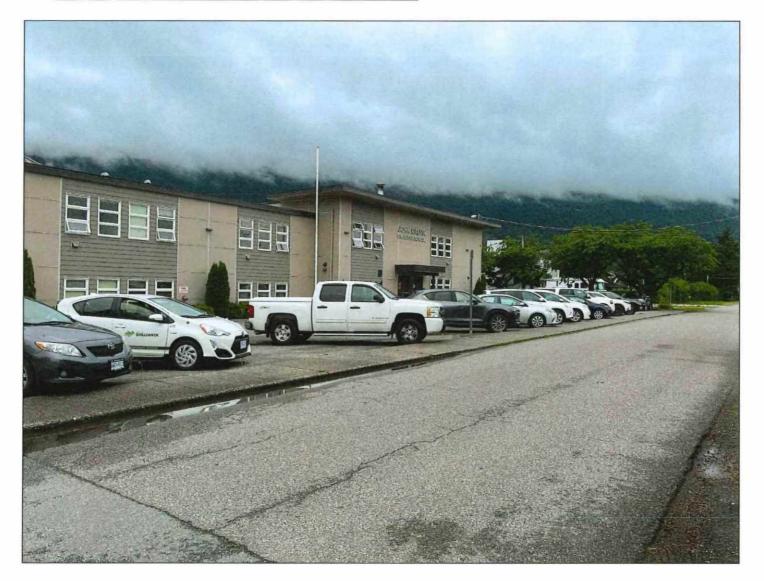
#### **Substantiation:**

The proposal is considered supportable as the school has been operating for a number of years within the subject property while utilizing the existing parking spaces without any issues. Approval of the requested parking variance will allow for the retention of both of the gymnasiums, legitimize the existing parking area within the City right-of-way and recognize its contribution to the overall required parking for the site.

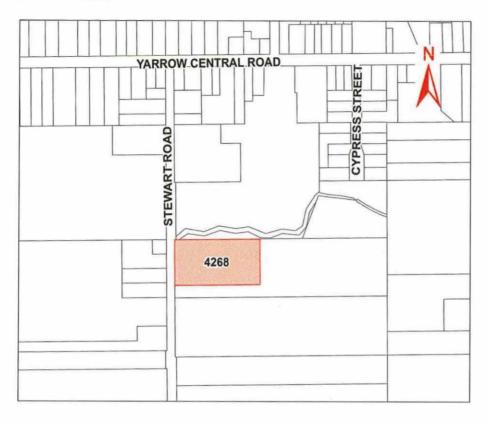
#### 5. SOURCES OF INFORMATION:

- Development Variance Permit Application (DVP01518) May 9, 2025
- Agricultural Land Reserve Application (ALR00434) August 21, 2024 (Resolution #205/2025)
- Agricultural Land Reserve Application (ALR00372) March 24, 2021 (Resolution #163/2022)

Site Photo – Existing parking area within City right-of-way



#### **Location Map**



#### **Ortho Photo**



# Attachment ALC Decision Resolution #205/2025



T: 604-660-7000

E: ALCBurnaby@Victoria1.gov bc ca

201 – 4940 Canada Way Burnaby, BC, Canada V5G 4K6

March 21, 2025

ALC File: 101517

# John Vankammen The Canadian Reformed School Society of Abbotsford BC Delivered by e-mail

Dear John Vankammen:

#### Re: Reasons for Decision - ALC Application 101517

Please find attached the Reasons for Decision of the South Coast Panel for the above noted application (Resolution #205/2025). As the agent, it is your responsibility to notify the applicant accordingly.

Please note that the submission of a \$150 administrative fee may be required for the administration, processing, preparation, review, execution, filing or registration of documents required as a condition of the attached Decision in accordance with section 11(2)(b) of the ALR General Regulation.

Under section 33.1 of the *Agricultural Land Commission Act* ("ALCA"), the Chair of the Agricultural Land Commission (the "Commission") has 60 days to review this decision and determine if it should be reconsidered by the Executive Committee in accordance with the ALCA. You will be notified in writing if the Chair directs the reconsideration of this decision. The Commission therefore advises that you consider this 60 day review period prior to acting upon this decision.

Under section 33 of the ALCA, a person affected by a decision (e.g. the applicant) may submit a request for reconsideration. A request to reconsider must now meet the following criteria:

- No previous request by an affected person has been made, and
- The request provides either:

alc.gov.bc ca

- Evidence that was not available at the time of the original decision that has become available, and that could not have been available at the time of the original decision had the applicant exercised due diligence, or
- Evidence that all or part of the original decision was based on evidence that was in error or was false.

The time limit for requesting reconsideration of a decision is one year from the date of the decision's release, as per <u>ALC Policy P-08</u>: Request for Reconsideration.

Please refer to <u>ALC Information Bulletin 08 – Request for Reconsideration</u> for more information.

Please direct further correspondence with respect to this application to ALC.SouthCoast@gov.bc.ca.

Yours truly,

Jennifer Carson, Land Use Planner

Enclosure: Reasons for Decision (Resolution #205/2025)

cc: City of Chilliwack (File: ALR00434) Attention: Erin Leary

101517d1



# Agricultural Land Commission File 101517 Reasons for Decision of the South Coast Panel

Non-Farm Use Application Submitted Under s.20(2) of the

\*Agricultural Land Commission Act\*

Applicant:

The Canadian Reformed School Society of

Abbotsford BC

Agent:

John Vankammen, The Canadian Reformed

School Society of Abbotsford BC

Property:

Parcel Identifier: 011-078-316

Legal Description: Parcel "A" (Explanatory Plan 13598), Lot 53, District Lot 83, Group 2,

New Westminster District, Plan 4373 Civic: 4268 Stewart Rd, Chilliwack, BC Area: 1.2 ha (Entirely within the ALR)

Panel:

Ione Smith, South Coast Panel Chair

Susie Gimse

Holger Schwichtenberg



#### **OVERVIEW**

- [1] The Property is located within the Agricultural Land Reserve (ALR) as defined in section 1 of the *Agricultural Land Commission Act* (ALCA).
- [2] The Applicant is applying to the Agricultural Land Commission (the "Commission" or "ALC") under s. 20(2) of the ALCA to retain an existing ~430 m² gymnasium that was required to be demolished when the Commission approved expansion of the school and construction of a new gymnasium through Resolution #163/2022 (the "Proposal").
- [3] The Proposal was considered in the context of the purposes and priorities of the Commission set out in section 6 of the ALCA:
  - 6 (1) The following are the purposes of the commission:
    - (a) to preserve the agricultural land reserve;
    - (b) to encourage farming of land within the agricultural land reserve in collaboration with other communities of interest; and,
    - (c) to encourage local governments, first nations, the government and its agents to enable and accommodate farm use of land within the agricultural land reserve and uses compatible with agriculture in their plans, bylaws and policies.
  - (2) The commission, to fulfill its purposes under subsection (1), must give priority to protecting and enhancing all of the following in exercising its powers and performing its duties under this Act:



- (a) the size, integrity and continuity of the land base of the agricultural land reserve;
- (b) the use of the agricultural land reserve for farm use.

#### **EVIDENTIARY RECORD**

[4] The Proposal, along with related documentation from the Applicant,
Agent, local government, and Commission is collectively referred to as
the "Application". All documentation in the Application was disclosed to
the Agent in advance of this decision.

#### BACKGROUND

- [5] The Property has been occupied by John Calvin School (the "School") since 1952, prior to the establishment of the ALR. The original 1952 structure has had small additions approved through applications to the ALC. The Property also contains a parking lot, a playground structure and playing fields. The school expansion and gymnasium approved by Resolution #163/2022 and have been constructed.
- [6] The Applicant also owns the 2.7 ha parcel to the south and east of the Property of which the majority is currently being used as a grass playing field for the School.



- [7] In 1994, Application 28830 was submitted to the Commission to expand and upgrade the school facilities by 564 m<sup>2</sup>. The Commission approved the application by Resolution #332/1994.
- [8] In 2019, Application ID 54518 was submitted to the Commission to construct an eight classroom, two storey addition with a building footprint of totalling approximately 557 m<sup>2</sup>. The Commission approved the application by Resolution #218/2016.
- [9] In 2022, Application ID 61649 was submitted to the Commission to construct a 1,150 m² gymnasium with a second storey classroom for the School to replace the existing gymnasium on the Property. This application explained that the existing gymnasium is around 70 years in age and required replacement to meet the current BC building code including earthquake and seismic engineering loads. The Commission approved the application by Resolution #163/2024 subject to the existing gymnasium being demolished.
- [10] The City of Chilliwack (the "City") confirms that the Proposal is consistent with the Property's 'Civic Assembly' designation under the City's Zoning Bylaw 2020, No. 5000 and the 'Institutional' designation City's Official Community Plan Bylaw No. 675.
- [11] City Staff have indicated that if the Proposal is approved by the Commission, a development variance permit is required to reduce the required off street parking.



- [12] The City's Agricultural and Rural Advisory Committee supported the Proposal as it was noted that the "retention of the existing gymnasium will not have an impact on agriculture as it has been in place on the property for a number of years without incident."
- [13] At its meeting on December 17, 2024 the City Council resolved to forward the application to the ALC with support.

#### ANALYSIS AND FINDINGS

- [14] The most recent 2022 Application (61649) proposed demolishing the old gymnasium as it was too small and at the time was believed to be in need of significant repairs. The Application notes that after a comprehensive construction review it was discovered that the old gymnasium, initially proposed for demolition, was in better condition than was initially believed. Further, the Application argues that the Applicant has since decided that updating the existing structure is preferable.
- [15] The Application notes that it is unlikely that the area in which the gymnasium is located will be converted to farmland. Alternatively, the Application argues that the Applicant prefers to preserve the gymnasium as usable space. The Panel understands that circumstances change and finds that the non farm use impact on the Property has not changed. As such, the Panel is amenable to the Applicant retaining the older gym for school use.



#### DECISION

- [16] For the reasons given above, the Panel approves the Proposal to retain the existing ~430 m<sup>2</sup> gymnasium that was required to be demolished by Resolution #163/2022 subject to the following conditions:
  - (a) Siting of the non-farm use remains in accordance with Schedule A and cannot expand without permission from the Commission; and;
  - (b) The non-farm use of the Property is non-transferable without explicit permission from the Commission through the application process.
- [17] This decision does not relieve the owner or occupier of the responsibility to comply with applicable Acts, regulations, bylaws of the local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.
- [18] These are the unanimous reasons of the Panel.
- [19] A decision of the Panel is a decision of the Commission pursuant to s. 11.1(3) of the ALCA.



[20] Resolution #205/2025

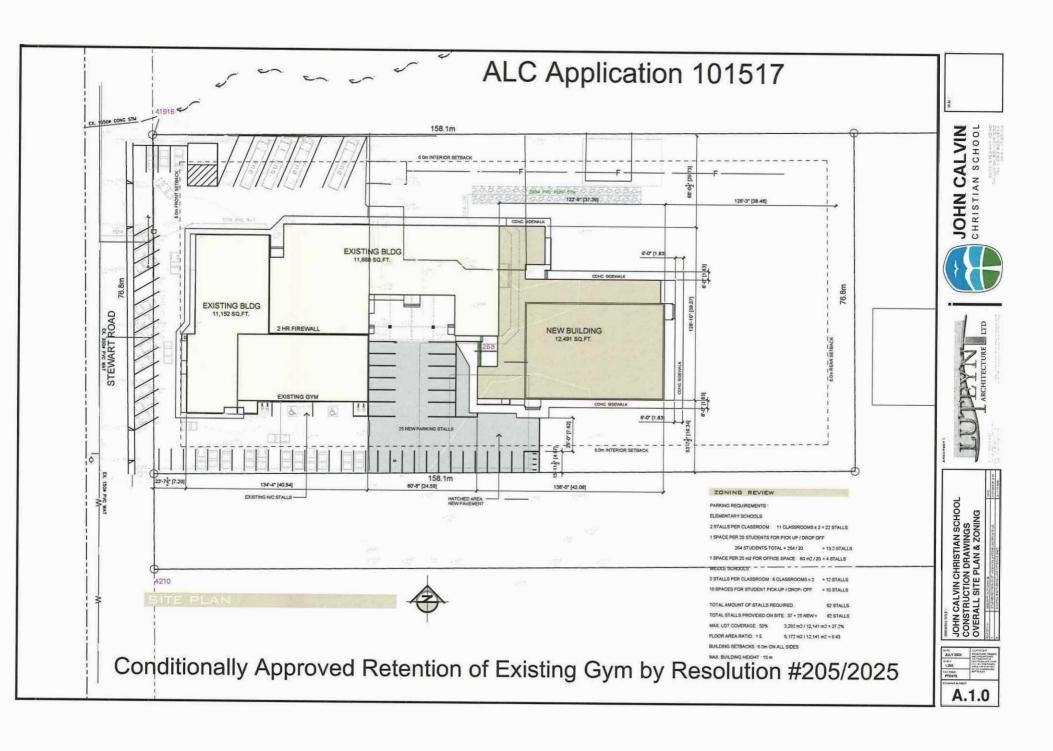
Released on March 21, 2025

Ione Smith Panel Chair

On behalf of the South Coast Panel

Enclosure:

Schedule A: Decision Map





## **City of Chilliwack Notice of Public Information Meeting Council Chambers** 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at Chilliwack.com/live

#### **Development Variance Permit (DVP01518)**

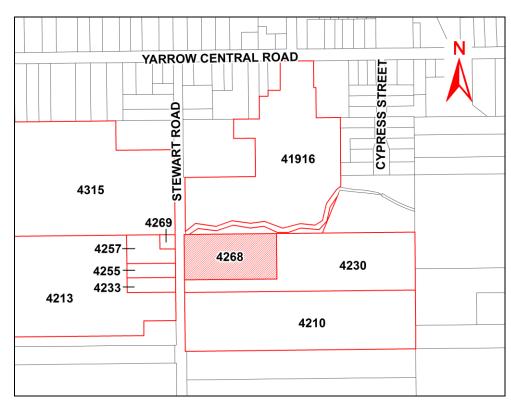
Locations: 4268 Stewart Road

Applicant: **Cody Voorhorst** 

**Purpose:** 

To reduce the minimum number of off-street parking spaces required to facilitate retention of the existing gymnasium associated with the elementary school currently

located on the subject property, as shown on the included map.



#### How to share your feedback:



Attend the Public Information Meeting in person (8550 Young Road)

Mail or email our Legislative Services Department:

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: <a href="mailto:clerks@chilliwack.com">clerks@chilliwack.com</a>

- Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the official record.

Contact our Planning Department between Wednesday, June 18, 2025 and Wednesday, July 2, 2025 for a copy of the proposed permit at <a href="mailto:planning@chilliwack.com">planning@chilliwack.com</a> or 604-793-2906.

Jacqueline Morgan, CMC **Corporate Officer** 



#### SCHEDULE "A"

#### CITY OF CHILLIWACK

#### **DEVELOPMENT VARIANCE PERMIT NO. DVP01518**

- This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of Chilliwack applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Variance Permit applies only to those lands within the City of Chilliwack described below, to facilitate the retention of two school gyms within the existing school building, as per Agricultural Land Commission Resolution #205/2025, and does not apply to any additions or subsequent replacement of any and all buildings and structures and other development thereon:

Parcel Identifier No.

011-078-316

**Legal Description:** 

PARCEL "A" (EXPLANATORY PLAN 13598) LOT 53 DISTRICT

**LOT 83 GROUP 2 NEW WESTMINSTER DISTRICT PLAN 4373** 

Address:

4268 Stewart Road

3. In accordance with the provisions of Section 498 of the *Local Government Act* the following section of "Zoning Bylaw 2020, No. 5000" is varied as stated:

Section 5.04 Minimum Off-Street Parking Space Requirements is varied by reducing the minimum off-street parking requirement from 62 to 47 spaces.

- 4. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and the plans and information contained within the application. The following condition applies:
  - a) that the development be in accordance with the plans found in Schedule "A".
- Pursuant to Section 504 of the Local Government Act, if the permittee does not substantially start any construction permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.
- 6. This Permit is not a Building Permit.

APPROVED BY	COUNCIL ON	THE	DAY OF _	, 2025
ISSUED THIS _	DAY OF	2025 ر		

Site Plan (as provided by the applicant

Parking spaces located on the city right- of-way (not included in total parking requirement)





		AGENDA ITEM NO:	11.4.3
		MEETING DATE:	July 2, 2025
	STAFF REPORT – C	OVER SHEET	
SUBJECT:	Thinkspace Architecture Planning Interior Design Ltd. Development Variance Permit / 10125 McGrath Road	DATE:	June 18, 2025
DEPARTMENT:	Planning DVP01522	PREPARED BY:	Joty Rai / mb
The appli	RY OF ISSUE:  icant is seeking to increase the maximum ) Zone from 15m to 17.2m to facilitate t	. A	

#### 2. RECOMMENDATION:

subject property.

Recommendation that, subject to public representation, Council approve the issuance of Development Variance Permit DVP01522 with respect to property located at 10125 McGrath Road, subject to the recommendations as stipulated within the draft Development Variance Permit. (Presentation)

Gillian Villeneuve Director of Planning

# 3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

#### STAFF REPORT ON DEVELOPMENT VARIANCE PERMIT DVP01522

PREPARED BY:	Joty Raı	DATE:	June 18, 2025
POSITION:	Planner I	DEPARTMENT:	Planning Department

#### 1. BACKGROUND:

Rosedale Elementary School previously operated on the subject property from 1914 to 2011 when it was demolished as the building was no longer viable for continued use. In 2019, the Agricultural Land Commission (ALC) approved a Non-Farm Use for the construction of a new elementary school on the subject property (Resolution #257/2019), subject to conditions related to siting and required buffering between agricultural parcels.

#### 2. PROPOSAL:

The applicant is seeking to increase the maximum permitted building height within the P1 (Civic Assembly) Zone from 15m to 17.2m to facilitate the construction of a new elementary school on the subject property. The increase in building height is requested to accommodate the minimum flood construction level, the provision of parking and conditions of the ALC Non-Farm Use approval while ensuring that the proposed school meets the capacity needs of the School District.

The ALC Non-Farm Use approval restricts the footprint of the elementary school and associated parking and play areas to 0.85ha of the 2ha subject property, which constrains the buildable area. Further, the subject property is located within the floodplain, which requires the proposed building to meet the required flood construction level. As such, the building includes an at-grade parking structure which is approximately 3m in height. The overall proposed building height is approximately 16.5m with an elevator parapet that projects to 17.2m, which is required for accessibility and safety purposes.

The applicant requests a 2.2m increase to the maximum building height to accommodate the constraints as discussed above. The impact of the proposed height is anticipated to be mitigated through substantial landscape buffering which is required along all property lines as well as trees and shrubs which are proposed throughout the site and adjacent to the parkade walls. The proposed increase in building height, which results in an increase in floor area, also allows for the inclusion of a daycare facility which will provide convenient access to child care for the community.

#### 3. FACTORS:

#### 3.1 2040 Official Community Plan (OCP) / Land Use

OCP: "Agriculture".

Land Use: Vacant.

#### 3.2 Neighbourhood Character

The subject property is located in the Rosedale neighbourhood and is within the Agricultural Land Reserve (ALR). The area is characterized by a mix of land uses, including large, actively farmed parcels that are within the AL (Agricultural Lowland) Zone and the ALR, and smaller residential properties within the R1-A (Urban Residential) and RR (Rural Residential) Zones. As the proposed school is sited adjacent to agricultural fields along three property lines, the requested variance is not anticipated to impact neighbouring properties.

#### 3.3 Technical Issues

Floodplain: The subject property is within the protected floodplain and is subject to the

Floodplain Regulation Bylaw.

Watercourses: There are no known watercourses within, or in the immediate vicinity of,

the subject property.

Geotechnical: The property is not subject to any known geotechnical hazards or

earthquake-related risks.

#### 3.4 Conditions of Issuance

Staff support the requested variance as proposed by the applicant and recommend approval of the draft Development Variance Permit subject to the following conditions being met:

- That the development be in accordance with the applicable Agricultural Land Commission Non-Farm Use approvals; and,
- That the development be in accordance with the plans found in Schedule "A".

#### 4. RECOMMENDATION & SUBSTANTIATION:

#### Recommendation:

Recommendation that, subject to public representation, Council approve the issuance of Development Variance Permit DVP01522 with respect to property located at 10125 McGrath Road, subject to the recommendations as stipulated within the draft Development Variance Permit. (Presentation)

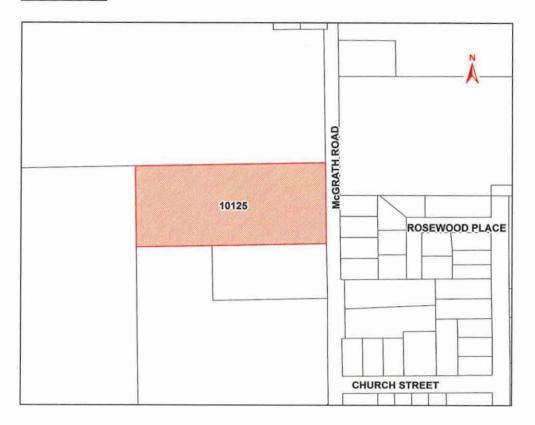
#### **Substantiation:**

The requested variance to building height is supportable in this instance as it accommodates localized building constraints to facilitate a valuable service for the community. Further, ample plantings surrounding the parkade have been proposed to ensure that the increased height will not have a significant impact on the privacy or function of the surrounding properties.

#### 5. SOURCES OF INFORMATION:

- ALC Non-Farm Use Decision 58015d1 (Resolution #257/2019) July 26, 2019
- ALC Non-Farm Use Decision 58015d2 (Resolution #460/2019) December 4, 2019
- ALC Non-Farm Use Decision 58015d3 (Resolution #126/2022) April 6, 2022
- ALC Non-Farm Use Decision 58015d4 (Resolution #224/2025) March 27, 2025
- Building Permit Application (BP035448) November 5, 2024
- Development Variance Permit Application (DVP01522) June 10, 2025

### **Location Map**



## Ortho Photo





## City of Chilliwack Notice of Public Information Meeting Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at Chilliwack.com/live

### **Development Variance Permit (DVP01522)**

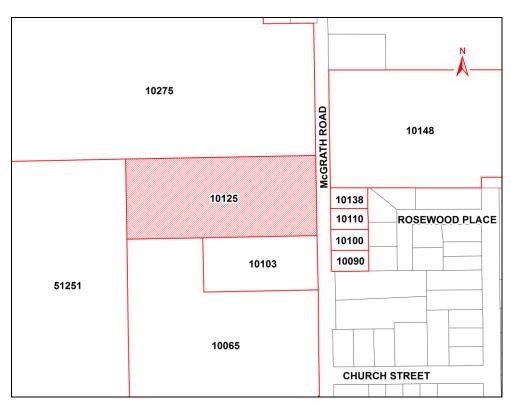
**Locations:** 10125 McGrath Road

**Applicant:** Thinkspace Architecture Planning Interior Design

Purpose: To increase the maximum permitted building height within the P1 (Civic Assembly)

Zone, to facilitate the construction of a new elementary school on the subject

property, as shown on the included map.



#### How to share your feedback:



Attend the Public Information Meeting in person (8550 Young Road)

Mail or email our Legislative Services Department:

 $\bowtie$ 

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: <a href="mailto:clerks@chilliwack.com">clerks@chilliwack.com</a>

- Submissions will be accepted until 4:00 PM on July 1, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the official record.

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Jacqueline Morgan, CMC Corporate Officer



#### SCHEDULE "A"

# CITY OF CHILLIWACK DEVELOPMENT VARIANCE PERMIT NO. DVP01522

- This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City of Chilliwack applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Variance Permit applies only to those lands within the City of Chilliwack described below, to facilitate the construction of a school, and, does not apply to any additions or subsequent replacement of any and all buildings and structures and other development thereon:

Parcel Identifier No.

008-767-726

**Legal Description:** 

LOT 3 DISTRICT LOT 467 GROUP 2 NEW WESTMINSTER

**DISTRICT PLAN 25610** 

Address:

10125 MCGRATH ROAD

3. In accordance with the provisions of Section 498 of the *Local Government Act* the following section of "Zoning Bylaw 2020, No. 5000" is varied as stated:

Section 11.01(9)(B) within the P1 (Civic Assembly) Zone is varied by increasing the maximum permitted building height for all other buildings and structures from 15m to 17.2m.

- 4. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and the plans and information contained within the application. The following conditions apply:
  - a) That the development be in accordance with the applicable Agricultural Land Commission Non-Farm Use approvals; and,
  - b) That the development be in accordance with the plans found in Schedule "A".
- 5. Pursuant to Section 504 of the *Local Government Act*, if the permittee does not substantially start any construction permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.
- 6. This Permit is not a Building Permit.

APPROVED BY COUNCIL ON THE DAY OF, 2025.	
ISSUED THISDAY OF, 2025.	
	CORPORATE OFFICER

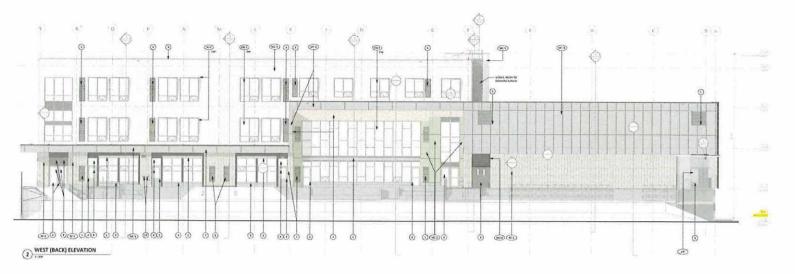


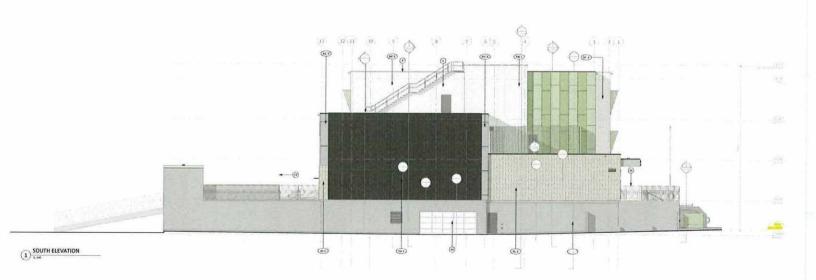
#### Elevations (as provided by the applicant)





## **Elevations (as provided by the applicant)**







	AGE	NDA ITEM NO:	12.1	
	MEI	ETING DATE:	July 2, 2025	
STAFF REPORT - COVER SHEET				
SUBJECT:	Bylaws from Public Hearing	Date:	June 30, 2025	
DEPARTMENT:	Clerk's	Prepared by:	Jacqueline Morgan	

#### 1. **SUMMARY OF ISSUE:**

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487", which proposes to update the design guidelines for mixed-use, residential, commercial, and industrial development, supported with a reformatting of the design guidelines for downtown; and,

"Zoning Bylaw Amendment Bylaw 2025, No. 5488", which proposes to ensure zoning aligns with the updated form and character design guidelines;

have been to Public Hearing and are now presented for Council's consideration.

Council may choose to:

- (1) Allow the application to proceed by giving the bylaws third reading and adoption;
- Deny the application; or, (2)
- (3) Refer the application back to staff.

#### 2. **RECOMMENDATION:**

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given third reading.

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be adopted.

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given third reading.

> Jacqueline Morgan, CMC Manager of Legislative Services/

Corporate Officer

AGENDA ITEM NO:	12.2
MEETING DATE:	July 2, 2025

#### STAFF REPORT - COVER SHEET

SUBJECT:	Bylaws from Public Hearing	Date:	June 30, 2025
DEPARTMENT:	Clerk's	Prepared by:	Jacqueline Morgan

#### 1. SUMMARY OF ISSUE:

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5489", which proposes to designate the Mountain View neighbourhood as a heritage conservation area, has been to Public Hearing and is now presented for Council's consideration.

Council may choose to:

- (1) Allow the application to proceed by giving the bylaw third reading and adoption;
- (2) Deny the application;
- (3) Refer the application back to staff.

#### 2. RECOMMENDATION:

That "Official Community Plan Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be given third reading.

That "Official Community Plan Amendment Bylaw 2025, No. 5489", a proposed text amendment to include the "Mountain View Heritage Conservation Area" as a new Schedule C in the 2040 Official Community Plan, and associated text changes, be adopted.

AGEND	OA ITEM NO:	12.3
MEETIN	NG DATE:	July 2, 2025
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#### STAFF REPORT - COVER SHEET

SUBJECT:	Bylaws from Public Hearing	Date:	June 26, 2025
DEPARTMENT:	<u>Clerk's</u>	Prepared by:	Jacqueline Morgan

#### 1. SUMMARY OF ISSUE:

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 - Mid-High Rise Apartment" to "Civic/Institutional" as per the Downtown Land Use and Development Plan; and,

"Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone said property from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone, to facilitate the construction of a parking lot;

have been to Public Hearing and are now presented for Council's consideration.

Council may choose to:

- (1) Allow the application to proceed by giving the bylaws third reading and adoption;
- (2) Deny the application; or,
- (3) Refer the application back to staff.

#### 2. RECOMMENDATION:

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 - Mid-High Rise Apartment" to "Civic/Institutional", be given third reading.

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5490", which proposes to amend the designation of property located at 9392 Young Road from "Residential 4 - Mid-High Rise Apartment" to "Civic/Institutional", be adopted.

"Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone, be given third reading.

"Zoning Bylaw Amendment Bylaw 2025, No. 5491", which proposes to rezone property located at 9392 Young Road from an RC (Commercial Conversion) Zone to a CP (Commercial Parking) Zone, be adopted.

> Jacqueline Morgan, CMC Manager of Legislative Services/

**Corporate Officer** 

AGENDA ITEM NO:		ENDA ITEM NO:	12.4
MEETING DATE:		ETING DATE:	July 2, 2025
STAFF REPORT - COVER SHEET			
SUBJECT:	Bylaws from Public Hearing	Date:	June 26, 2025
DEPARTMENT:	Clerk's	Prepared by:	Jacqueline Morgan

#### 1. **SUMMARY OF ISSUE:**

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494", which proposes to amend the text of the Eastern Hillsides Comprehensive Area Plan to expand Development Cell 6 to include a portion of property located at 7715 Nixon Road; and,

"Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495", which proposes to amend the 2040 Official Community Plan designation of a portion of said property from "Rural Hillside" to "Residential - Low Density" as per the Eastern Hillsides Comprehensive Area Plan;

have been to Public Hearing and are now presented for Council's consideration.

Council may choose to:

- (1) Allow the application to proceed by giving the bylaws third reading;
- (2) Deny the application; or,
- (3) Refer the application back to staff;

As per the Staff Report dated June 6, 2025, it is recommended that the application be held at third reading pending registration of a highway reservation agreement to the title of the subject property.

#### 2. RECOMMENDATION:

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5494", which proposes to add a portion of property located at 7715 Nixon Road to Development Cell 6 and, add a notation to the Cell 6 Subdivision Development Concepts map within the Eastern Hillsides Comprehensive Area Plan, be given third reading.

That "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5495, which proposes to redesignate a portion of property located at 7715 Nixon Road from "Rural Hillside" to "Residential - Low Density" as per the Eastern Hillsides Comprehensive Area Plan, be given third reading.

Jacqueline Morgan, CMC

Manager of Legislative Services/

**Corporate Officer** 

	AGENDA ITEM NO:	13.1	
	MEETING DATE:	July 2, 2025	
STAFF REPORT - COVER SHEET			

SUBJECT: <u>Application Reports</u> Date: <u>June 25, 2025</u>

DEPARTMENT: <u>Legislative Services</u> Prepared by: <u>Jacqueline Morgan</u>

#### 1. SUMMARY OF ISSUE:

Temporary Use Permit TUP00261, which proposes to permit the operation of a one-day annual "Barn Burner BBQ and Car Show" community event located at 4535 and 4540 Simmons Road within the AL (Agricultural Lowland) Zone, has been to Public Hearing and is now presented for Council's consideration.

Council may choose to:

- (1) Approve the permit as presented;
- (2) Approve the permit, with amendments;
- (3) Deny the application; or,
- (4) Refer the application back to staff.

#### 2. RECOMMENDATION:

That Council approve the issuance of Temporary Use Permit TUP00261 with respect to properties located at 4535 and 4540 Simmons Road, subject to the recommendations as stipulated within the draft Temporary Use Permit.

AGENDA ITEM NO:	13.2	
MEETING DATE:	July 2, 2025	

#### STAFF REPORT - COVER SHEET

SUBJECT:	Application Reports	Date:	June 25, 2025
DEPARTMENT:	Legislative Services	Prepared by:	Jacqueline Morgan

#### 1. SUMMARY OF ISSUE:

Development Variance Permit DVP01493, which proposes to vary standards of the Zoning Bylaw, has been to a Public Information Meeting and is now presented for Council's consideration.

As the properties are located within Development Permit Area No. 7 (Industrial), a Development Permit for form and character is required.

Council may choose to:

- (1) Approve the permits as presented;
- (2) Approve the permits, with amendments;
- (3) Deny the application; or,
- (4) Refer the application back to staff.

#### 2. RECOMMENDATION:

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01493 with respect to properties located at 44361 and 44387 Simpson Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

That Council approve the issuance of Development Permit DP001821 with respect to properties located at 44361 and 44387 Simpson Road, subject to the conditions as stipulated within the draft Development Permit.

		AGENDA ITEM NO:	13.3	
		MEETING DATE:	July 2, 2025	
STAFF REPORT - COVER SHEET				
SUBJECT:	Application Reports	Date:	June 26, 2025	
DEPARTMENT:	Legislative Services	Prepared by:	Jacqueline Morgan	

#### 1. **SUMMARY OF ISSUE:**

Development Variance Permit DVP01518, which proposes to vary standards of the Zoning Bylaw, has been to a Public Information Meeting and is now presented for Council's consideration.

Council may choose to:

- (1) Approve the permit as presented;
- (2) Approve the permit, with amendments;
- (3) Deny the application; or,
- (4) Refer the application back to staff.

#### 2. **RECOMMENDATION:**

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01518 with respect to property located at 4268 Stewart Road, subject to the recommendations as stipulated within the draft Development Variance Permit.

		AGENDA ITEM NO:	13.4	
		MEETING DATE:	July 2, 2025	
STAFF REPORT - COVER SHEET				
SUBJECT:	Application Reports	Date:	June 26, 2025	
DEPARTMENT:	Legislative Services	Prepared by:	Jacqueline Morgan	

#### 1. SUMMARY OF ISSUE:

Development Variance Permit DVP01522, which proposes to vary standards of the Zoning Bylaw, has been to a Public Information Meeting and is now presented for Council's consideration.

Council may choose to:

- (1) Approve the permit as presented;
- (2) Approve the permit, with amendments;
- (3) Deny the application; or,
- (4) Refer the application back to staff.

#### 2. RECOMMENDATION:

That, subject to public representation, Council approve the issuance of Development Variance Permit DVP01522 with respect to property located at 10125 McGrath Road, subject to the recommendations as stipulated within the draft Development Variance Permit.