		AGENDA HEM NO:	7.13	_
		MEETING DATE.	June 17, 2025	_
	STAFF REPORT -	- COVER SHEET		
SUBJECT:	Updated Form and Character Design Guidelines (OCP00047 / RZ001805)	DATE:	June 10, 2025	
DEPARTMENT:	Planning	PREPARED BY:	Madelaine Peters / rk	_

1. SUMMARY OF ISSUE:

In Spring 2024, Planning staff began a process to review and update the form and character design guidelines in the Official Community Plan (OCP) to improve their clarity and create a more predictable review process. This project was led by Urban Systems Ltd. in partnership with BÜRO47 architecture Inc, and involved site tours, analysis, and robust engagement with impacted Advisory Committees, key stakeholders, and the development community. As a result of this work, an OCP amendment has been prepared to update the design guidelines for mixed-use, residential, commercial, and industrial development, supported with a reformatting of the design guidelines for downtown. A concurrent text amendment to the Zoning Bylaw is also proposed to ensure zoning aligns with the updated form and character design guidelines. A transition period is also proposed to ensure in-stream form and character development permit applications will not be impacted by these changes.

2. RECOMMENDATION:

That "Official Community Plan Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (OCP00047)

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (RZ001805)

Gillian Villeneuve
Director of Planning

3. CHIEF ADMINISTRATIVE OFFICER'S RECOMMENDATION/COMMENTS:

Supports recommendation.

David Blain

Chief Administrative Officer

STAFF REPORT ON UPDATED FORM AND CHARACTER DESIGN GUIDELINES (OCP00047 / RZ001805)

PREPARED BY:	Madelaine Peters	DATE:	June 10, 2025	
POSITION:	Senior Planner	DEPARTMENT:	Planning	

BACKGROUND

Planning staff identified the importance of reviewing and updating the City's form and character design guidelines and circulated a Request for Quotations in Spring 2024 to retain a consultant to undertake this work. Urban Systems Ltd. and BÜRO47architecture Inc were retained to undertake this work and consisted of a team of planners, urban designers, architects, landscape architect/CPTED specialists, illustrators and graphic designers. The project involved site tours, interviews, case study analysis, and committee and stakeholder workshops and interviews. This work is occurring before the Chilliwack 2050 OCP update in order to begin using the updated design guidelines before the end of 2025.

2. DEVELOPMENT PERMITS

Local governments have the authority to designate development permit areas (DPA) in an Official Community Plan (OCP) to help achieve goals of the community. These areas identify locations that need special treatment for certain purposes including: the protection of development from hazards; establishing objectives for form and character in specified circumstances; or revitalization of a commercial use area.

Chilliwack has 10 DPAs and the focus of this project is to update the DPAs that regulate "form and character". These guidelines generally refer to the outward facing elements of a building such as landscaping, siting, circulation, building shape and exterior design. They are currently implemented through a mix of text based (DPA 5 - Urban Corridor, DPA 7 - Industrial) and graphic based formats (DPA 4 - Downtown, DPA 6 - Multi Unit/Mixed, DPA 10 - Coach House/Garden Suite).



3. PROJECT APPROACH

Beginning the project in June 2024, the consultant's scope of work included several stages planned over the course of 12 months, broken down into phases:

 Phase 1: Project Initiation & Analysis (Spring - Fall 2024) Phase 2: Draft Design Guidelines (Fall 2024 - Winter 2025) WE ARE HERE Phase 3: Refine & Finalize (Winter - Spring 2025) Phase 4: Council Adoption (Spring - Summer 2025) PHASE 1 PHASE 4 PHASE 3 PHASE 2 · Refine & Finalize · Council Reading & Project Initiation · Draft Design the Guidelines Adoption of Plan Guidelines and Analysis ENGAGEMENT **ENGAGEMENT ENGAGEMENT**

3.1 Engagement

The engagement was designed to provide opportunities for industry stakeholders to be involved in the project, identify challenges, priorities, and potential solutions that could be addressed in the updated guidelines. To date, key engagement activities have included:

0	Site Tour:	Jul 2024
•	Industry Stakeholder Interviews:	Aug 2024
	Case Study Review and Interviews:	Sep 2024
•	3 Workshops (Staff, Committees, Council):	Oct 2024
0	Stakeholder World Café Event:	Mar 2025

3.2 Summary of Feedback

Over the past 12 months, input has been provided from staff across various departments, members of the Design Review and Affordable Housing and Development Advisory Committees, Council, and industry stakeholders. Below is a summary of the input received during this engagement, categorized into common themes and ideas that has helped shape the updated guidelines:

Improve usability:

- · Streamline and reduce
- · Clear and concise
- Avoid repetition

Address local factors:

- Floodplain and water table
- CPTED principles
- Guideline gaps

Focus on main design goals:

- Street interface
- Site layout
- Priority locations

Use appropriate tool:

- Update zoning
- Keep guidelines as guidelines
- Align with OCP update

4. UPDATED FORM AND CHARACTER DESIGN GUIDELINES

4.1 Document Language, Visuals, and Structure

Each design guideline document is written in a consistent language and organized with a common structure to improve design guideline interpretation and usability.

• Language:

- Design guideline topics are structured to clearly communicate the design goals of the city, with intent statements identified at the beginning of each topic.
- Each design guideline is written as a clear and directive statement. Some are further reinforced with additional design instructions ("must", "should", "may").

• Visuals:

 Graphic illustrations are incorporated throughout each document and are meant to be simple and easy to read, ensuring they communicate guidelines well.

Structure:

- An administration page describes the area, justification, objectives, requirements, and any applicable exemptions (required by the LGA).
- Design guidelines are grouped into 4 themes by topic: site planning, building design, landscape, and lighting.

4.2 Key Updates

Below is a summary of key updates to zoning, policies, and procedures to improve development permit review efficiency and help support the implementation of updated design guidelines.

- Amend Zoning Bylaw to support design guideline goals, responding to frequent variances, and supporting street activation.
- Incorporate common design review conditions into design guidelines or regulation.
- Incorporate CPTED (Crime Prevention Through Environmental Design) principles into design guidelines, with supplemental CPTED reports provided only as necessary on a caseby-case basis.
- Exempt murals from development permits and refer them through the Public Art Policy process.
- Exempt industrial development in Cattermole and locations along the Fraser River from requiring a development permit application.

4.3 Committee Support

Staff presented the final draft of the updated form and character design guidelines and related changes to zoning, policies, and procedures, to the Affordable Housing and Development Advisory Committee (AHDC) on May 22nd and the Design Review Advisory Committee (DRAC) on June 10th. The following resolutions were made by each committee:

AHDC:

"That the Committee supports in principle the final form and character design guidelines as presented."

DRAC:

"That the Committee supports in principle the final form and character design guidelines as presented; and that the Committee recommends a using a 6 month transition period to phase in the new guidelines for in-stream development permit applications."

5. NEXT STEPS

5.1 Implementation and Monitoring

A transition period is proposed by staff to ensure in-stream form and character development permit applications are gradually brought into alignment with the new regulations. In order to support a smooth transition for in-stream development permit applications, staff recommend using a flexible approach when applying the new guidelines to these applications for the next 6 months. New development permit applications, including any resubmissions following a cancellation, withdrawal, or expiration, will be reviewed under the new regulations.

In addition, after approximately 1 year of implementation, staff propose to review the new regulations to address any unanticipated "housekeeping" matters. This would also include exploring other improvements to further enhance application review efficiency, such as potentially delegating development permit approval to staff.

6. RECOMMENDATION & SUBSTANTIATION:

Recommendation:

That "Official Community Plan Amendment Bylaw 2025, No. 5487", a proposed text amendment to include the updated form and character design guidelines as a new Schedule B in the 2040 Official Community Plan, and relevant text, schedule, and map changes, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (OCP00047)

That "Zoning Bylaw Amendment Bylaw 2025, No. 5488", a proposed text amendment to relevant regulations to align with updated form and character design guidelines, be given first and second reading; and further, that a Public Hearing be called for July 2, 2025. (RZ001805)

Substantiation:

This work delivers new form and character design guidelines for mixed-use, residential, commercial, and industrial development. Based on best practice and feedback received through stakeholder interviews and engagement, the updated form and character design guidelines have been prepared to improve guideline clarity, development permit review efficiency, and create a predictable review and approval process, while continuing to foster high quality design. Various zoning, policies, and procedures have also been updated to help support the implementation of the updated design guidelines.

7. SOURCES OF INFORMATION:

- Design Review Advisory Committee (DRAC) Minutes June 10, 2025
- Affordable Housing & Development Advisory Committee (AHDC) Minutes May 22, 2025
- Development Application Review Team Minutes (DART) May 1, 2025
- Policy Directive K-15 (Chilliwack Public Art)



City of Chilliwack Notice of Public Hearing Council Chambers 8550 Young Road, Chilliwack BC V2P 8A4

When: Wednesday, July 2, 2025 at 4:00 PM

Watch: The live council meeting broadcast at chilliwack.com/live

Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487 (OCP00047) Zoning Bylaw Amendment Bylaw 2025, No. 5488 (RZ001805)

Applicant: City of Chilliwack

Purpose: An Official Community Plan amendment has been prepared to update the form

and character design guidelines for mixed-use, residential, commercial, and industrial development, supported with a reformatting of the design guidelines

for downtown.

A concurrent text amendment to the Zoning Bylaw is proposed to ensure zoning

aligns with the updated form and character design guidelines.

How to share your feedback:



Attend the Public Hearing in person (8550 Young Road)



Mail or email our Legislative Services Department:

Mail: 8550 Young Road, Chilliwack BC V2P 8A4

Email: clerks@chilliwack.com

- Submissions will be accepted until 4:00 PM on June 30, 2025. Any submissions received after this time will not be considered by Council.
- Please include your name and address.
- All mail and emails, including your name and address, will be recorded and form part of the
 official record.

Contact our Planning Department between Wednesday, June 18, 2025 and Wednesday, July 2, 2025 for a copy of the proposed bylaws at planning@chilliwack.com or 604-793-2906.

Jacqueline Morgan, CMC Corporate Officer

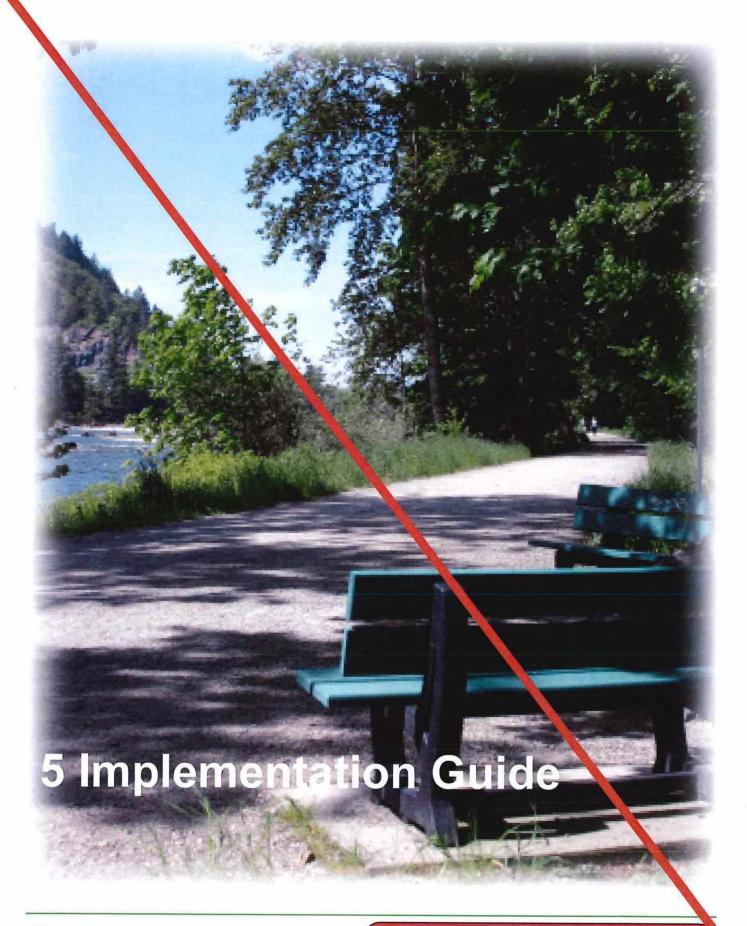
densification process, particularly in mixed use development and innovative site planning and building designs.

- Encourage high quality multi-family residential design through:
 - Development Permit Areas for form and character enhancement in the Downtown and other select areas
 - Multiple Family Infill Development Design Guidelines (Schedule C)
 - e.b. The design review process
- Implement, monitor, and update the City's Affordable Housing Strategy to:
 - Ensure housing policies are inclusive and address barriers to affordability;
 - Address housing needs for special need groups, including those with mental health issues, at-risk youth, and families and singles at risk of homelessness;
 - c. Pursue social housing development opportunities with available senior government programs for low-income households, especially families with children living below the poverty line, seniors requiring various levels of care, people with physical or mental disabilities, and street entrenched individuals:
 - Support community partnerships with public and private sectors and non-profit groups in future social housing endeavors; and
 - e. Encourage private sector initiatives in affordable market housing and special needs/ low income housing through an expedited rezoning/ approval process and flexible parking provisions; and consider innovative proposals that reduce building cost and housing prices/rents.
- Preserve existing residential stock and discourage their conversion to condominium units when the rental vacancy rate is less than 2%.

- Maintain the Building Maintenance and Occupancy Standards Bylaw to ensure all rental units are in safe and livable conditions, and not negatively affecting tenants' health or the appearance of the neighbourhood concerned.
- 6. Address seniors housing needs, including:
 - A comprehensive assessment of the diverse housing and care needs of the 65 and over population with regard to their living requirements, lifestyles and health status, and the ongoing aging trends;
 - Guiding principles for future seniors accommodation developments to ensure a network of support from relatives and service providers;
 - c. Consideration of working with community groups towards a long term strategy to help establish a continuous, consistent and adequate supply of seniors housing/care facilities;
 - d. Universal adaptable housing design (per BC building code) and other practices to enable independent living seniors to age in place, reduce injuries from falling, and facilitate speedy emergency response;
 - e. An evaluation of senior friendliness of neighbourhoods that have a large senior population, and recommendations to improve neighbourhood design, road/sidewalk/ crossing/traffic safety, signage and mobility.

NEIGHBOURHOOD PLANNING

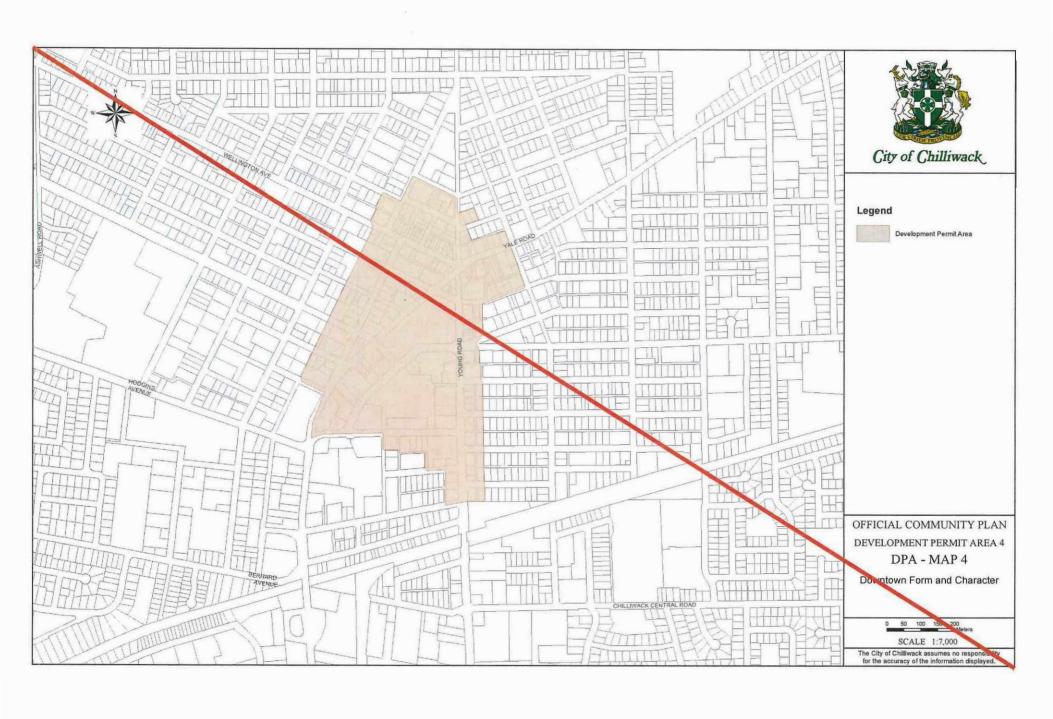
Neighbourhoods form part of our intimate living environment and shape our daily life. An urban neighbourhood is usually close to a commercial, employment or civic centre, and encourages local shopping and greater involvement in the local economy and neighbourhood activities. It offers more people-gathering places, diverse developments and a vibrant street life. It encourages walking and promotes healthy community development. On the other hand, a suburban neighbourhood offers quiet and spacious living but requires much traveling from

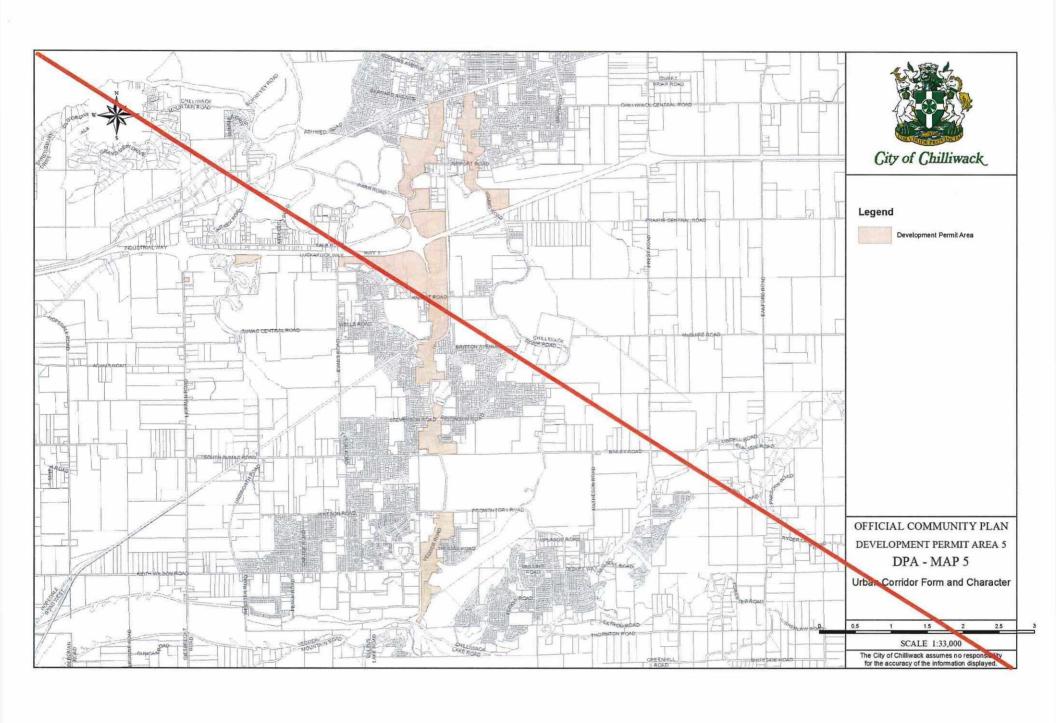


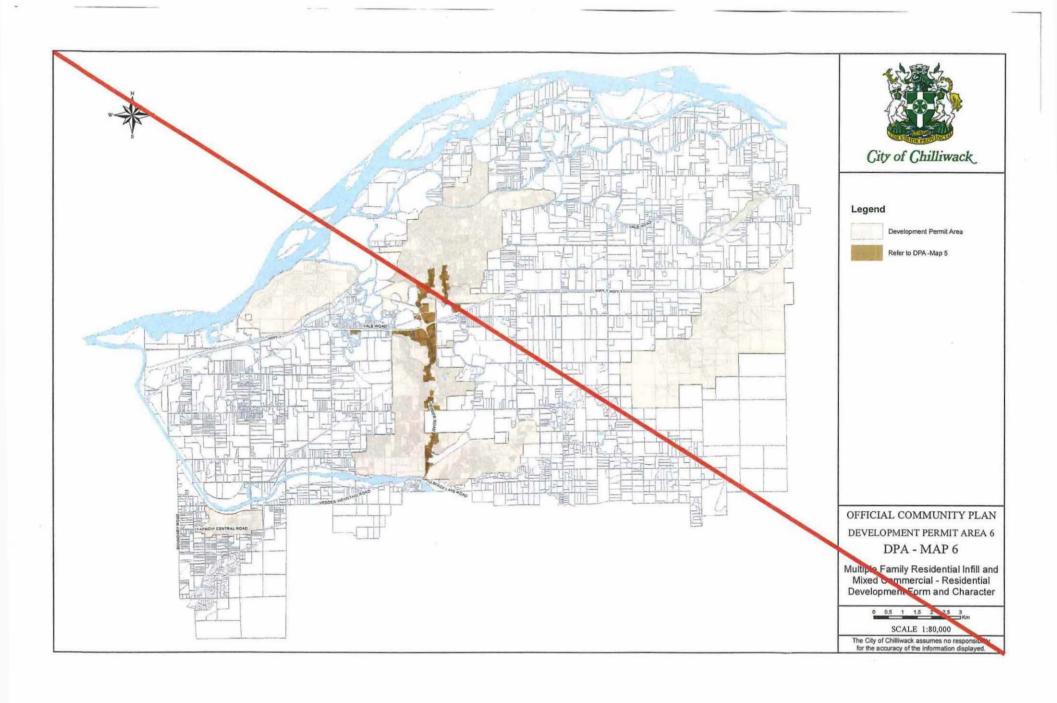
development permit area

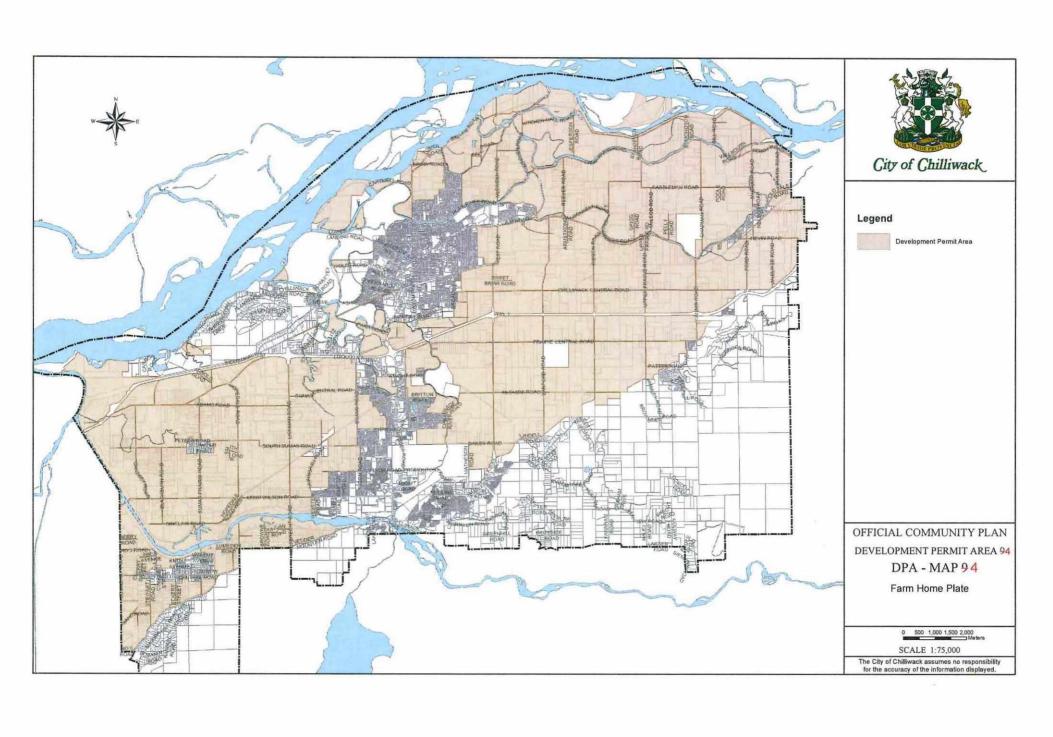
DPA Map 1A	Sardis Vedder Aquifer
DPA Map 1B	Vedder River Fan
DPA Map 1C	Municipal Watershed: Volkert Creek, Yarrow, Majuba Hill
DPA Map 1D	Municipal Watersheds: Elk Creek and Dunville Creek
DPA Map 2A	Promontory, Ryder Lake and Eastern Hillsides
DPA Map 2B	Little Mountain
DPA Map 2C	Chilliwack Mountain
DPA Map 2D	Majuba Hill and Vedder Mountain
DPA Map 4	Downtown Form and Character (Heritage Core and Contemporary Core)
DPA Map 5	Urban Corridor Form and Character
DPA Map 6	Multiple Family Residential Infill and Mixed Commercial
	Residential Development Form and Character
DPA Map 9 4	Farm Home Plate

***Development Permit Area 3, 7, 8 and 10 cover the City of Chilliwack in its entirety.









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Schedule A - Regional Context Statement

Schedule B - Downtown Design Guidelines Form and Character Design Guidelines

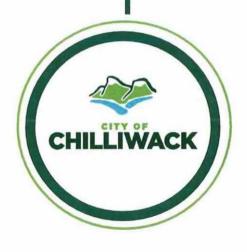
Schedule C Design Guidelines, Multi Family In ill Development

Schedule DC- Neighbourhood Plans

- 1. Downtown Land Use and Development Plan
- 2. Eastern Hillsides Comprehensive Area Plan
- 3. Agricultural Area Plan
- 4. Alder Neighbourhood Plan
- 5. Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- 6. Sardis Neighbourhood Plan
- 7. South Vedder Neighhourhood Plan
- 8. Yarrow Neighbourhood Plan

Schedule ED - Growth Projection Tables

(All Schedules are located at the end of the report.)



DOWNTOWN DESIGN GUIDELINES

MARCH 2016

DESIGN GUIDELINES



Commercial, Intensive/Multi-Family Residential, and Mixed Commercial - Residential Development













City of Chilliwack



(4) In each ZONE, the section titled 'LOT DIMENSIONS (MINIMUM)' sets out the specific use or situation to which the minimum LOT dimension applies on the left, and the minimum LOT dimension that applies to that use or situation to the right for the subject ZONE.

- (5) In each ZONE, the section titled 'DENSITY (MAXIMUM)' sets out the maximum DENSITY for the subject ZONE.
- (6) In each ZONE, the section titled 'LOT COVERAGE (MAXIMUM)' sets out the maximum LOT COVERAGE for the subject ZONE.
- (7) In each ZONE, the section titled 'FLOOR AREA RATIO (MAXIMUM)' sets out the maximum FLOOR AREA RATIO for the subject ZONE.
- (8) In each ZONE, the section titled 'SETBACKS (MINIMUM)' sets out the specific situation to which the minimum SETBACK applies in the column on the left, and the minimum SETBACK that applies in that situation in the columns to the right for the subject ZONE. In the heading for each column, the abbreviation FLL refers to FRONT LOT LINE, RLL refers to REAR LOT LINE, ISLL refers to INTERIOR SIDE LOT LINE, and ESLL refers to EXTERIOR SIDE LOT LINE.
- (9) In each ZONE, the section titled 'SITING' sets out specific siting requirements for the subject ZONE.
- (10) In each ZONE, the section titled 'BUILDING HEIGHT (MAXIMUM)' sets out the specific situation to which the maximum BUILDING HEIGHT applies on the left, and the maximum BUILDING HEIGHT that applies in that situation to the right for the subject ZONE.
- (11) In each ZONE, the section titled 'SPECIAL REGULATIONS' sets out the special regulations that apply within the subject ZONE.
- (12) Site specific permitted uses specified in this BYLAW are permitted only on the land whose legal description, as of the date of coming into force of this BYLAW, is that specified for the permitted use.

4.06 ACCESSORY AND ANCILLARY USES

(1) ACCESSORY DWELLING UNIT

- (a) An ADU is permitted where the LOT is in a ZONE permitting an ACCESSORY DWELLING UNIT.
- (b) Only 1 ADU may be located on a LOT.
- (c) The ADU shall be one of the following types, as regulated herein and within the permitted uses and special regulations section of each ZONE:
 - (i) SINGLE DETACHED DWELLING
 - (ii) MANUFACTURED HOME
 - (iii) SECONDARY SUITE
 - (iv) COACH HOUSE
 - (v) GARDEN SUITE
 - (vi) PARK MODEL TRAILER
 - (vii) TEMPORARY FARM WORKER HOUSING
 - (viii) TOWNHOUSE ACCESSORY DWELLING UNIT
- (d) On properties within the Agricultural Land Reserve, ADUs are permitted in accordance with the Agricultural Land Commission Act and Regulations. On properties subject to the Agricultural Land Commission Act and ALR Regulations, an ADU is limited to a SECONDARY SUITE within the principal residence.
- (e) Despite 4.06(1)(a) and (b) should approval be granted by the ALC, additional ADUs may be permitted on a LOT in the approved built form prescribed as listed in section 4.06(1)(c).

(f) Where an interior staircase is provided for a COACH HOUSE, the staircase shall be located within an entrance foyer with a maximum area of 2m² in size designed for exterior access only (with no access into the ground floor uses).

(f)(g) GARDEN SUITES shall be limited to a maximum GROSS FLOOR AREA of 100m².

(g)(h) The minimum LOT AREA required for a detached ADU shall be in accordance with the level of servicing of the LOT as follows:

- (i) Where the LOT is served by a septic tank, disposal field and private well, the minimum LOT AREA shall be 4000m².
- (ii) Where the LOT is served by a septic tank, disposal field and COMMUNITY WATER SYSTEM, the minimum LOT AREA shall be 2000m².
- (III) Where the LOT is served by a COMMUNITY SANITARY SEWER SYSTEM and COMMUNITY WATER SYSTEM, the minimum LOT AREA shall be the minimum set out for the ZONE in which the ADU is located.

(2) ACCESSORY HOME INDUSTRIAL

- (a) The use shall be ANCILLARY to a SINGLE DETACHED DWELLING and shall be contained within a BUILDING or STRUCTURE.
- (b) The use shall be conducted by no more than 2 employees.
- (c) The use and all associated equipment shall not occupy more than a total GROSS FLOOR AREA of 100m².
- (d) The use shall in no way indicate its presence from the exterior of any BUILDING or STRUCTURE on the LOT except for 1 SIGN in accordance with the regulations for COTTAGE INDUSTRY within the CITY "Sign Bylaw", as amended or replaced from time to time.
- (e) Adequate OFF-STREET PARKING shall be provided for the use such that no MOTOR VEHICLES shall be parked on-street.
- (f) The use shall be limited to the following activities:
 - (i) WAREHOUSING
 - (ii) manufacture of electrical and household appliances, furniture, sporting goods and clothing
 - (iii) sheet metal fabrication
 - (iv) maintenance, repair and sale of small machinery and engines
 - (v) sale and service of electrical equipment, MOTOR VEHICLE PARTS and industrial supplies
 - (vi) MOTOR VEHICLE repair
 - (vii) welding and machine shop.

(3) ACCESSORY HOME OCCUPATION

- (a) AHO may be permitted in accordance with the regulations, as detailed below:
 - (i) common to all DWELLING UNIT types:
 - (A) the use shall be ANCILLARY to a RESIDENTIAL USE and, except where it involves horticulture, it shall be contained within a BUILDING or STRUCTURE
 - (B) the use and all associated equipment shall not occupy more than a total GROSS FLOOR AREA of 30m²
 - (C) the use shall in no way indicate its presence from the exterior of any BUILDING or STRUCTURE on the LOT except for 1 SIGN in accordance with the CITY "Sign Bylaw", as amended or replaced from time to time

4.07 REGULATIONS APPLICABLE TO ALL ZONES

(1) AGRICULTURAL LAND RESERVE

(a) Despite any other provisions of this BYLAW, all lands within the ALR are subject to the provisions of the Agricultural Land Commission Act, ALR Regulations thereto and Orders of the Commission (thereby not permitting the SUBDIVISION of land and the development of new Non-Farm uses unless approved by the ALC).

(2) CONSOLIDATION OF LOTS

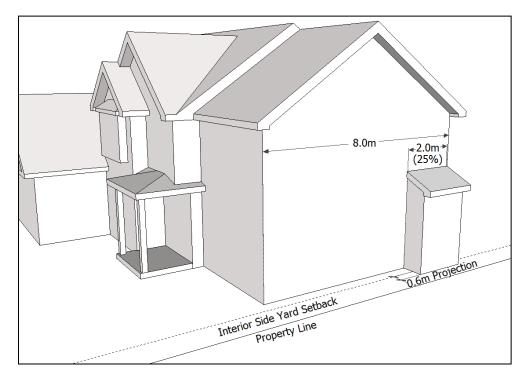
(a) Despite the minimum LOT AREA within any ZONE, 2 or more LOTS may be consolidated into 1 larger LOT.

(3) HEIGHT EXCEPTIONS AND SUPPLEMENTARY HEIGHT REGULATIONS

- (a) Except where limited in 3(b) below, the following STRUCTURES are exempt from the maximum BUILDING HEIGHTS permitted in the ZONE:
 - (i) industrial cranes
 - (ii) storage silos and grain elevators, amateur or private non-commercial radio and television antennas
 - (iii) church spires, belfries and domes
 - (iv) monuments
 - (v) chimneys
 - (vi) power poles, lighting poles and flag poles
 - (vii) fire-hose drying towers
 - (viii) windmills
 - (ix) balloon type SIGNS
 - (x) telecommunication antenna STRUCTURES
 - (xi) Rooftop access structures such as stairwells and elevator shafts, provided the placement of such infrastructure is central to the roof of the building
 - (x)(xii) Rooftop railings, arbours, trellises, or similar freestanding landscape features related to outdoor COMMON AMENITY AREAS.
- (b) Within the flight path of the Chilliwack Municipal Airport, the maximum HEIGHT of BUILDINGS and STRUCTURES permitted elsewhere in the BYLAW shall be subject to Transport Canada Regulations.

(4) SITING EXCEPTIONS

- (a) Eaves, gutters, cornices, bays with or without windows, BALCONIES, porches, ramps, canopies, staircases, chimneys and mechanical heating, cooling and ventilation equipment, and BUILDING features functionally similar to them, may project into required SETBACK to a maximum as specified in 4(b) below, when measured horizontally.
- (b) Projections measured horizontally shall not exceed:
 - (i) 0.6m into an INTERIOR SIDE YARD LOT LINE SETBACK
 - (ii) 1.5m into a FRONT <u>YARD-LOT LINE</u> or EXTERIOR SIDE <u>YARD-LOT LINE</u> SETBACK
 - (iii) 2m into a REAR YARD-LOT LINE SETBACK.
- (c) Except for eaves, gutters and cornices, in no case shall the total linear dimension of projections into a SIDE <u>YARD-LOT LINE</u> SETBACK area exceed 25% of the linear dimensions of the wall from which the projection occurs, as shown in the following diagram:



- (d) In-ground swimming pools, permanent swimming pools not exceeding 1.5m above GRADE, decks not exceeding 0.5m above GRADE, walkways not exceeding 0.5m above GRADE and underground STRUCTURES not exceeding 0.5m above GRADE, may be sited as an ANCILLARY STRUCTURE within the ZONE. In-ground swimming pools, permanent swimming pools exceeding 1.5m, decks exceeding 0.6m above GRADE and walkways exceeding 0.6m above GRADE may be sited as an ANCILLARY STRUCTURE within the Zone.
- (e) Where permitted by the BUILDING CODE, a fire escape may extend into a required rear or exterior side yard only; and to a maximum distance of 1.5m.
- (f) On THROUGH LOTS where both FRONT and REAR LOT LINES ADJOIN a HIGHWAY, the REAR SETBACK for BUILDINGS and STRUCTURES shall be determined as the greater of the FRONT SETBACK and REAR SETBACK as required for that BUILDING or STRUCTURE. This requirement does not apply to ANCILLARY STRUCTURES not exceeding 2.5m in HEIGHT or to LOTS which, owning to topographic or legal access constraints, cannot obtain access from the second HIGHWAY.
- (g) Where the surface of a porch, BALCONY or deck projection does not exceed 3m above GRADE, the minimum REAR SETBACK distance may be reduced by not more than 2.5m, provided that the reduction shall apply only to the projecting feature and not to any roof or sunlight control projection; and providing the projecting feature conforms to the requirements of the BUILDING Code and does not interfere with any underground services.

(6) AMENITY AREA STANDARDS

(a) These standards are for the development and maintenance of amenity areas required in connection with residential development of 3 or more DWELLING UNITS per LOT or BUILDING site. All such amenity areas shall conform to the following standards.

(b) General Requirements:

- (i) amenity areas shall be located on the same LOT as the DWELLING UNITS served
- (ii) OFF-STREET PARKING or OFF-STREET LOADING areas, driveways and service areas shall not be counted as amenity areas
- (iii) all LANDSCAPING and recreational FACILITIES shall be maintained in perpetuity
- (iv) slope of an amenity area shall not exceed 3% but multi-level areas may be interconnected by means of stairs and ramps
- (v) guard railings or other protective devices shall be erected for above-ground locations
- (v)(vi) excluding bareland strata developments, a minimum 1.5m wide

 SIDEWALK, HARD SURFACE is required to provide access from the public HIGHWAY or public sidewalk to each DWELLING UNIT or BUILDING, and is clearly separated from any roadways, driveways, parking lots, MANEUVERING AISLES, and PARKING SPACES, by curbing.

(c) COMMON AMENITY AREAS

- (i) shall be provided for all RESIDENTIAL USE with 10 DWELLING UNITS or more, including small LOT strata and developments with multiple DWELLING UNITS on a single LOT, in accordance with the following:
 - (A) the minimum required area shall be 150m² plus an additional 5m² per DWELLING UNIT
 - (B) the minimum dimension of not less than 6m and a minimum contiguous area no less than 200m²
 - (C) have a grade of 3% or less.
- (ii) Shall be unenclosed areas free, common and readily accessible to all tenants residents and may include any of the following:
 - (A) any combination of lawn, LANDSCAPING, flagstone, concrete, asphalt or other serviceable dust free surfacing
 - (B) recreational FACILITIES such as outdoor swimming pools, tennis courts, horseshoe pitches, etc.
 - (C) the entire roof area of an APARTMENT BUILDING or STRUCTURE for OFF-STREET PARKING provided that:
 - (I) the area shall be accessible through the internal circulation system of the STRUCTURE for multi-unit use
 - (II) areas occupied by vents or other mechanical and operational equipment shall be surrounded by LANDSCAPING and screened from view
 - (III) no area so used shall be located within 5m of any window serving a DWELLING UNIT (IV)(III) areas so used shall have a minimum dimension of 3m.

(d) Outdoor COMMON AMENITY AREAS

- (i) Shall be unenclosed areas free, common and readily accessible to all tenants residents and may include any of the following:
 - (A) any combination of lawn, LANDSCAPING, flagstone, concrete, asphalt or other serviceable dust free surfacing

(B) recreational FACILITIES such as outdoor swimming pools, tennis courts, horseshoe pitches, etc.

- (C) the entire roof area of an APARTMENT BUILDING or STRUCTURE for OFF-STREET PARKING provided that:
 - (I) the area shall be accessible through the internal circulation system of the STRUCTURE for multi-unit use
 - (II) areas occupied by vents or other mechanical and operational equipment shall be surrounded by LANDSCAPING and screened from view

(III) 	o area so used shall be located within 5m of any window serving a DWELLING UNI	Ŧ
(IV) (III	areas so used shall have a minimum dimension of 3m.	

- (e) Indoor COMMON AMENITY AREAS
 - (i) shall be enclosed areas of a STRUCTURE for multi-unit RESIDENTIAL USE or ANCILLARY STRUCTURE, free, common and readily accessible to all residents by way of the internal circulation system of the STRUCTURE or enclosed walkways. Indoor COMMON AMENITY AREAS may include any of the following:
 - (A) covered swimming pool
 - (B) gymnasiums including racquetball and other courts
 - (C) games rooms
 - (D) saunas and exercise rooms.
- (f) PRIVATE AMENITY AREAS shall be unenclosed areas located adjacent to the individual DWELLING UNIT served:
 - (i) where located on ground level, a PRIVATE AMENITY AREA not less than 15m² in area shall be provided for and contiguous to each GROUND ORIENTED DWELLING UNIT
 - (ii) where located above ground a PRIVATE AMENITY AREA of not less than 5m² in area and having minimum dimensions of not less than 1.5m shall be provided for and contiguous to each DWELLING UNIT
 - (iii) when located on ground level, in association with <u>aan ACCESSORY DWELLING UNIT</u>,

 TOWNHOUSE or APARTMENT RESIDENTIAL USE, such area shall be of such size and shape
 that a rectangle included within it shall have a minimum dimension of 3m
 - (iv) when located above ground or as a BALCONY or deck, such area shall be of such size and shape that a rectangle included within it shall have a minimum dimension of 1.5m
 - (v) each such area shall be accessible to only 1 DWELLING UNIT and shall be for the exclusive use of the occupants thereof
- (g) Storage Lockers, where required in association with an APARTMENT RESIDENTIAL USE, shall be located in central areas inside the BUILDING conveniently located and directly accessible or accessible by elevator from either the ground floor or parking level entrance, and shall have the following minimum dimensions:

(i) HEIGHT 1.2m
 (ii) Length 2m
 (iii) Width 1m

(7) SMALL-SCALE, MULTI-UNIT HOUSING

(a) 3 or 4 DWELLING UNITS are considered intensive residential and are permitted on LOTS that meet the following criteria:

(i) Within an AL, AR, AS, RR, R1-A, R1-B, R1-C, R3, M1-A ZONE, or in the SINGLE DETACHED DWELLING and DUPLEX areas of the following COMPREHENSIVE DEVELOPMENT ZONES:

- (A) CD-9, CD-11, CD-14, CD-16, CD-19, or CD-21;
- (ii) Within the urban growth boundary;
- (iii) Connected to COMMUNITY WATER SYSTEM and COMMUNITY SANITARY SEWER SYSTEM;
- (iv) Less than 4,050m² in area;
- (v) Not protected by a Heritage Designation Bylaw as of December 7, 2023;
- (vi) Not within a designated transit-oriented area; and,
- (vii) Where an extension has not been granted by the Ministry.
- (b) The maximum number of DWELLING UNITS on a LOT is:
 - (i) 3 units on LOTS less than or equal to 280m² in area; or,
 - (ii) 4 units on LOTS greater than 280m² in area.
- (c) DWELLING UNITS are permitted in any combination of the following forms:
 - (i) ACCESSORY DWELLING UNIT in the form of SECONDARY SUITES, COACH HOUSES, or GARDEN SUITES;
 - (ii) SINGLE DETACHED DWELLING, which may contain one SECONDARY SUITE;
 - (iii) DUPLEX, which may contain one SECONDARY SUITE per DUPLEX unit;
 - (iv) TOWNHOUSE, which may contain one SECONDARY SUITE per TOWNHOUSE unit; and,
 - (v) APARTMENT, including SMALL UNIT APARTMENT.
- (d) In each LOT'S ZONE, the sections titled 'LOT COVERAGE (MAXIMUM)', 'FLOOR AREA RATIO (MAXIMUM)', 'SETBACKS (MINIMUM)', 'SITING', and 'BUILDING HEIGHT (MAXIMUM)' sets out the regulations.
 - (i) Where a LOT is in the AL, AR, AS, or RR ZONE, it shall meet the sections listed in (d) above in the R1-A ZONE.
 - (ii) Where a LOT'S ZONE does not contain regulations for a detached ACCESSORY DWELLING UNIT, it shall meet the sections listed in (d) above in the R1-A ZONE.
- (e) GENERAL REQUIREMENTS:
 - (i) Where a LOT has LANE access, all vehicle access, including parking, must be from the LANE.
 - (ii) Where a LOT does not have LANE access, the maximum number of driveways permitted is one, except on a LOT with one DUPLEX or two or more SINGLE DETACHED DWELLINGS that is greater than 20m in width.
 - (iii) A driveway may have a maximum width of 6m total paved area extending from the FRONT LOT LINE or EXTERIOR SIDE LOT LINE to the GARAGE on the LOT, except that on LOTS less than 12m in width the driveway is limited to a maximum width of 4m at the FRONT LOT LINE or EXTERIOR SIDE LOT LINE, but may taper up to a maximum width of 6m.
 - (iv) Notwithstanding other regulations of this BYLAW:
 - (A) The FLOOR AREA RATIO must not exceed 0.75.
 - (A)(B) More than one ACCESSORY DWELLING UNIT may be located on a LOT.
 - (B)(C)One OFF-STREET PARKING SPACE is required for each ACCESSORY DWELLING UNIT, regardless the number of bedrooms.
 - (C)(D)An OFF-STREET LOADING SPACE is not required.

- (D)(E) Except for enclosed tandem parking configurations, all required OFF-STREET PARKING SPACES may be located in a GARAGE, provided the GARAGE width is no less than 6.2m.
- (E)(F) One unenclosed OFF-STREET PARKING SPACE per LOT is required for visitor parking where two DUPLEXES are on a LOT.
- (G) A PRIVATE AMENITY AREA must be provided for an ACCESSORY DWELLING UNIT.
- (H) All PRIVATE AMENITY AREAS must be provided on the ground level.

4.09 FENCING, LANDSCAPING, SCREENING

(1) FENCES

- (a) LIVESTOCK Fences:
 - (i) fences shall not be constructed of barbed wire nor electrified, unless located in a ZONE permitting the raising of LIVESTOCK
 - (ii) electrified fences may not be located along LOT LINES adjacent to a Residential ZONE or a ZONE readily permitting public access
- (b) SECURITY FENCES are permitted in all ZONES but, barbed wire or other potentially injurious elements shall be at least 2m above ground.
- (c) A SECURITY FENCE shall be provided around all uses which could constitute a hazard.

(2) LANDSCAPING

- (a) PERIMETER SCREENING AND LANDSCAPING OF VEHICULAR USE AREAS
 - (i) the following LANDSCAPING requirements shall apply to any outdoor area for vehicular use that includes the following:
 - (A) Any parking LOT containing 10 or more PARKING SPACES
 - (B) VEHICLE STORAGE COMPOUNDS
 - (C) OFF-STREET LOADING areas
 - (D) MOTOR VEHICLE sales LOTs.
 - (ii) where an outdoor vehicular use area adjoins a public HIGHWAY, a LANDSCAPING strip shall be provided on the property between the vehicular use area and the public HIGHWAY. Any of the following options or a combination of them, may be employed:
 - (A) a 2m or wider landscape strip planted with a minimum of 1 tree and 5 shrubs per 10m of HIGHWAY FRONTAGE, excluding points of access or egress
 - (B) a 2m or wider landscape strip planted with a minimum of 1 tree per 3m of HIGHWAY FRONTAGE, excluding driveways and walkway openings
 - (C) despite (2)(a)(ii)(A) and (B), the LANDSCAPING strip may be reduced to 1.5m in width if the vehicular area has a minimum grade drop of 0.9m from the public HIGHWAY and is planted in accordance with the above
 - (D) a 7.5m or wider strip of existing woodlands
 - (E) no more than 15% of the LANDSCAPING can be covered with impervious surface.
- (b) LANDSCAPING FOR MULTI-UNIT AND INTENSIVE RESIDENTIAL DEVELOPMENT
 - (i) minimum LANDSCAPING requirements for front SETBACK area shall be:
 - (A) 40% of the front SETBACK area shall have no impervious surfaces or vehicular use

(iv) masonry or concrete walls exceeding 1.2m in HEIGHT may require a BUILDING PERMIT

- (v) view obstructing fences shall consist of structurally suitable new construction materials and may require a BUILDING PERMIT if they exceed 2m in HEIGHT.
- (i) Where an INDUSTRIAL ZONE ADJOINS the Trans-Canada Highway No. 1, a SCREENING of 2.5m in HEIGHT shall be required along those portions of the common property line where BUILDINGS are not constructed to the LOT LINE.
- (j) In commercial, industrial, and multi-unit and intensive residential, and mixed-use ZONES, all mechanical, electrical, communication, air conditioning or other equipment shall be screened from view from the street by a HEIGHT equal to the item being screened.

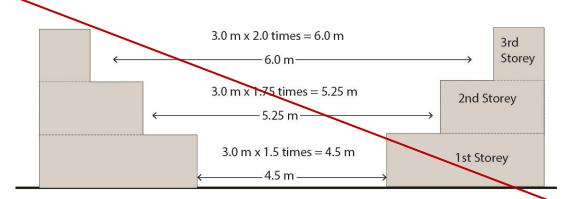
(4) SCREENING, FENCING AND LANDSCAPING MAINTENANCE

- (a) REGISTERED OWNERS, or their agents, shall be responsible for the maintenance of fences and walls required in this BYLAW to ensure the following:
 - (i) fences and walls must serve the purpose for which they were constructed and must present a neat and orderly appearance
 - (ii) Site maintenance shall include:
 - (A) structural repairs or replacement
 - (B) painting
 - (C) clearing of litter or debris.
- (b) Property owners, or their agents, shall be responsible for the maintenance of vegetation SCREENING and LANDSCAPING in a healthy, growing condition to present a neat and orderly appearance.
 - (i) Site maintenance shall include:
 - (A) watering
 - (B) weeding
 - (C) pruning
 - (D) pest control
 - (E) replacement of dead or diseased plant materials
 - (F) clearing of litter or debris.
- (c) CITY is authorized to inspect and enforce all fencing, SCREENING and LANDSCAPING plans accepted by the Planning and Strategic Initiatives Department or any changes to the approved plans.

(8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a "strata" development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

```
(ii) 1st STOREY = SETBACK multiplied by 1.5
(iii) 2nd STOREY = SETBACK multiplied by 1.75
(iii) 3rd STOREY = SETBACK multiplied by 2
```



Example of two buildings oriented side by side, so ISLL would apply.

(a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located faceto-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	10m
(b) URBAN ANCILLARY USES	4m

(10) SPECIAL REGULATIONS

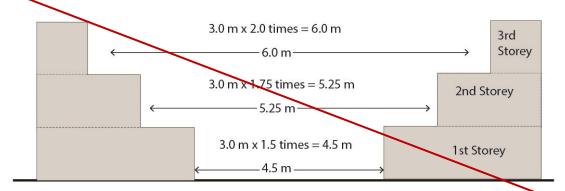
- (a) URBAN ANCILLARY USES shall be limited to:
 - (i) the keeping of PETS not exceeding 3 in number, and
 - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) Where a DWELLING UNIT is served by an internal road (such as within a strata development) each unenclosed OFF-STREET PARKING SPACE must have a minimum length of 6m and a minimum width of 2.6m.
- (d) A DUPLEX may only be permitted in conjunction with a TOWNHOUSE development.

Review General Regulations for Additional Development Requirements

(8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a strata development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

```
(i) 1st STOREY = SETBACK multiplied by 1.5
(i) 2nd STOREY = SETBACK multiplied by 1.75
(ii) 3rd STOREY = SETBACK multiplied by 2
```



- Example of two buildings oriented side by side, so ISLL would apply.
- (a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located faceto-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	7.5m
(b) URBAN ANCILLARY USES	4m

(10) SPECIAL REGULATIONS

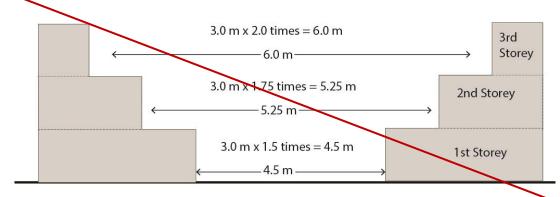
- (a) URBAN ANCILLARY USES shall be limited to:
 - (i) the keeping of PETS not exceeding 3 in number, and
 - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) Where a DWELLING UNIT is served by an internal road (such as within a strata development) each unenclosed OFF-STREET PARKING SPACE must have a minimum length of 6m and a minimum width of 2.6m.
- (d) A DUPLEX may only be permitted in conjunction with a TOWNHOUSE development.

Review General Regulations for Additional Development Requirements

(8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a "strata" development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

```
(ii) 1st STOREY = SETBACK multiplied by 1.5
(iii) 2nd STOREY = SETBACK multiplied by 1.75
(iii) 3rd STOREY = SETBACK multiplied by 2
```



-Example of two buildings oriented side by side, so ISLL would apply.

(a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located faceto-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	10m
(b) URBAN ANCILLARY USE	4m

(10) SPECIAL REGULATIONS

- (a) URBAN ANCILLARY USES shall be limited to:
 - (i) the keeping of PETS not exceeding 3 in number, and
 - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) Where a DWELLING UNIT is served by an internal road (such as within a strata development) each unenclosed OFF-STREET PARKING SPACE must have a minimum length of 6m and a minimum width of 2.6m.
- (d) The minimum number of OFF-STREET PARKING SPACES required for SECONDARY SUITES must include signage to designate them for sole use of the tenant of the SECONDARY SUITE.
- (e) A minimum of 0.2 visitor parking stalls are required to be provided for each TOWNHOUSE ACCESSORY DWELLING UNIT in addition to the minimum number of visitor parking stalls required

8.11 R5 (LOW RISE APARTMENT) ZONE

(1) PERMITTED USES

PRINCIPAL USES

- (a) APARTMENT
- (b) ASSISTED LIVING RESIDENCE
- (c) BOARDING HOUSE
- (d) INDEPENDENT LIVING HOUSING

ANCILLARY USES

- (e) ACCESSORY HOME OCCUPATION
- (f) OFF-STREET PARKING
- (g) OFF-STREET PARKING STRUCTURE
- (h) SUPPORTIVE RECOVERY HOME
- (i) URBAN ANCILLARY USES

(2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	700m²
(b) APARTMENT or BOARDING HOUSE (containing 5 or more DU)	1000m²
(c) ASSISTED LIVING RESIDENCE	1000m²
(d) INDEPENDENT LIVING HOUSING	1000 m²
<u>USE</u>	MINIMUM LOT AREA
(a) All uses	<u>1000m²</u>

(3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	25m	30m
(b) All other uses	30m	30m
<u>USE</u>	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) All uses	<u>30m</u>	<u>30m</u>

(4) DENSITY (MAXIMUM)

(a) APARTMENT
 (b) APARTMENT including SMALL UNIT APARTMENTS
 (c) INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE
 225 DU per ha

(5) LOT COVERAGE (MAXIMUM)

(a) RESIDENTIAL USE, including associated OFF-STREET PARKING STRUCTURE 50% N/A

(b) URBAN ANCILLARY USES

15% or 30m² per DU, whichever is less

(6) FLOOR AREA RATIO (MAXIMUM)

(a) N/A

(7) SETBACKS (MINIMUM)

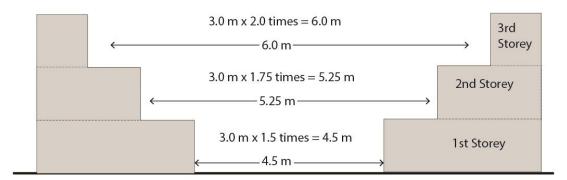
	USE	FLL	RLL	<u>ISLL</u>	ESLL
(a)	APARTMENT or BOARDING HOUSE (containing 4 or fewer DWELLING UNITS)	6m	6m	— 3m	6m
(b)	APARTMENT or BOARDING HOUSE (CONTAINING 5 or more DWELLING UNITS)	6m	6m	6m	6m
(c)	ASSISTED LIVING RESIDENCE or INDEPENDENT LIVING HOUSE	6m	6m	6m	6m
(d)	-URBAN ANCILLARY USES	6m	——1m	— 1m	—4.5m
(e)	OFF-STREET PARKING STRUCTURE not exceeding 3m above GRADE	6m	—0m	— 0m	- 4.5m
(f) Despite (a) above, where a STRUCTURE for RESIDENTIAL USE has a PRIVATE AMENITY AREA adjacent to an ISLL, the required minimum SETBACK to the STRUCTURE shall be no less than 4.5m (c) Despite (b) above, the required SETBACK to an ISLL shall increase by 0.75m per STOREY.					
(g)		L shall incr	ease by 0.75	m per STOI	REY
(g)	4.5m Despite (b) above, the required SETBACK to an IS beyond the third STOREY to a maximum of 9m	L shall incr	ease by 0.75	m per STOF	REY
(g)	Despite (b) above, the required SETBACK to an IS	L shall incr	ease by 0.75	m per STOF	ESLL
	Despite (b) above, the required SETBACK to an ISbeyond the third STOREY to a maximum of 9m			·	
<u>(a)</u>	Despite (b) above, the required SETBACK to an ISbeyond the third STOREY to a maximum of 9m USE	FLL	RLL	ISLL	<u>ESLL</u>
(a) (b)	Despite (b) above, the required SETBACK to an IS beyond the third STOREY to a maximum of 9m USE RESIDENTIAL USE	FLL 6m	RLL 6m	ISLL 6m	ESLL 6m
(a) (b) (c)	Despite (b) above, the required SETBACK to an IS beyond the third STOREY to a maximum of 9m USE RESIDENTIAL USE URBAN ANCILLARY USES OFF-STREET PARKING STRUCTURE located	FLL 6m 6m 1m	<u>RLL</u> <u>6m</u> <u>1m</u>	<u>ISLL</u> <u>6m</u> <u>1m</u>	<u>ESLL</u> <u>6m</u> <u>4.5m</u>

(8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a strata development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

*as defined in the CITY "Floodplain Regulation Bylaw", as amended.

(i) 1st STOREY = SETBACK multiplied by 1.5
(ii) 2nd STOREY = SETBACK multiplied by 1.75
(iii) 3rd STOREY = SETBACK multiplied by 2



Example of two buildings oriented side by side, so ISLL would apply.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) APARTMENT or BOARDING HOUSE	17.5m
(b) INDEPENDENT LIVING HOUSING OF ASSISTED LIVING RESIDENCE	17.5m
(c) URBAN ANCILLARY USES OF OFF-STREET PARKING STRUCTURE	
(i) on a LOT less than 1000m² in area	4m
(ii) on a LOT 1000m² or greater in area	6m
<u>USE</u>	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	<u>17.5m</u>
(b) URBAN ANCILLARY USES	
(i) on a LOT less than 1000m ² in area	4 <u>m</u>
(ii) on a LOT 1000m ² or greater in area	6 <u>m</u>

(10) SPECIAL REGULATIONS

- (a) Despite (2) and (3) above, where bare land strata LOTS are created within a strata development, the number of strata LOTS shall be determined on the basis of the overall strata development, while the strata LOT AREA and dimensions shall be equivalent to the siting area as defined in (8) above.
- (b) URBAN ANCILLARY USES shall be limited to:
 - (i) the keeping of household PETS not exceeding 3 in number, and
 - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (c) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (d) A minimum of 50% of all new APARTMENT units must be built to the Adaptable Housing Standards of the BC BUILDING Code.

(1) PERMITTED USES

PRINCIPAL USES

- (a) APARTMENT
- (b) ASSISTED LIVING RESIDENCE
- (c) BOARDING HOUSE
- (d) INDEPENDENT LIVING HOUSING

ANCILLARY USES

- (e) ACCESSORY HOME OCCUPATION
- (f) OFF-STREET PARKING
- (g) SUPPORTIVE RECOVERY HOME
- (h) OFF-STREET PARKING
- (i) URBAN ANCILLARY USES

(2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	700m²
(b) APARTMENT or BOARDING HOUSE (containing 5 or more DU)	1000m²
(c) ASSISTED LIVING RESIDENCE	1000m²
(d) INDEPENDENT LIVING HOUSING	1000m²
<u>USE</u>	MINIMUM LOT AREA
(a) All uses	<u>1000m²</u>

(3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DU)	20m	30m
(b)—APARTMENT or BOARDING HOUSE (containing 5 or more DU)	30m	30m
(c) ASSISTED LIVING RESIDENCE or INDEPENDENT LIVING HOUSING	30m	30m
<u>USE</u>	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) All uses	<u>30m</u>	<u>30m</u>

(4) DENSITY (MAXIMUM)

(a) APARTMENT
 (b) APARTMENT including SMALL UNIT APARTMENTS
 (c) INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE
 250 DU per ha

(5) LOT COVERAGE (MAXIMUM)

- (a) RESIDENTIAL USE, including associated OFF-STREET PARKING STRUCTURE——N/A——50%
- (b) URBAN ANCILLARY USES or OFF-STREET PARKING STRUCTURE 15%
- (c) INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE 60%

(6) FLOOR AREA RATIO

(a) N/A

(7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL
(a) APARTMENT or BOARDING HOUSE (containing 4 or fewer DWELLING UNITS	6m	6m	3m	6m
(b) APARTMENT or BOARDING HOUSE (CONTAINING 5 or more DWELLING UNITS)	6m	6m	6m	6m
(c) INDEPENDENT LIVING HOUSING OF ASSISTED LIVING RESIDENCE	6m	6m	6m	6m
(d) URBAN ANCILLARY USES	6m	— 1m	1m	- 4.5m
(e)—OFF-STREET PARKING STRUCTURE not exceeding 3m above GRADE	6m	—— 0 m	— 0m	4.5m
(f) where a PRIVATE AMENITY AREA abuts ISLL			-4.5m	
(g) Despite (b) above, the required SETBACK to an ISLL shall increase by 0.75m per STOREY beyond the third STOREY to a maximum of 9m				
<u>USE</u>	FLL	<u>RLL</u>	<u>ISLL</u>	<u>ESLL</u>
(a) RESIDENTIAL USE	<u>6m</u>	<u>6m</u>	<u>6m</u>	<u>6m</u>
(b) URBAN ANCILLARY USES	<u>6m</u>	<u>1m</u>	<u>1m</u>	<u>4.5m</u>
(c) OFF-STREET PARKING STRUCTURE located entirely below GRADE	<u>1m</u>	<u>0m</u>	<u>0m</u>	<u>1m</u>
(d) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area meets flood construction level requirements*	<u>3m</u>	<u>0m</u>	<u>0m</u>	<u>3m</u>
(e) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area exceeds flood construction level requirements*	<u>6m</u>	<u>0m</u>	<u>0m</u>	<u>6m</u>

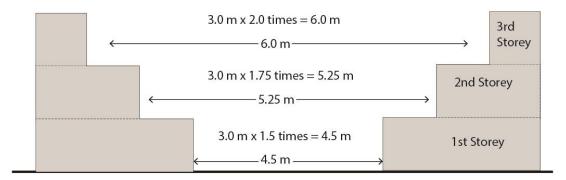
(8) SITING

(a) Where more than 1 STRUCTURE for RESIDENTIAL USE is sited on a LOT or within a strata development, each STOREY of said STRUCTURE shall be separated from the corresponding STOREY of the adjacent STRUCTURE by a distance not less than the SETBACK applicable to the

*as defined in the CITY "Floodplain Regulation Bylaw", as amended.

orientation of the STRUCTURE multiplied by a factor determined by the relative STOREY as follows:

(i) 1st STOREY = SETBACK multiplied by 1.5
 (ii) 2nd STOREY = SETBACK multiplied by 1.75
 (iii) 3rd STOREY = SETBACK multiplied by 2



Example of two buildings oriented side by side, so ISLL would apply.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a)—APARTMENT or BOARDING HOUSE	25m
(b)—INDEPENDENT LIVING HOUSING or ASSISTED LIVING RESIDENCE	25m
(c) OFF-STREET PARKING STRUCTURE	6m
<u>USE</u>	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	25m

(10) SPECIAL REGULATIONS

- (a) URBAN ANCILLARY USES shall be limited to:
 - (i) the keeping of household PETS not exceeding 3 in number, and
 - (ii) the OFF-STREET PARKING of licensed MOTOR VEHICLES in association with the RESIDENTIAL USE.
- (b) Any STRUCTURE occupied by a PRINCIPAL RESIDENTIAL USE shall have a minimum overall width of at least 6m, excluding additions and projections.
- (c) A minimum of 50% of all new APARTMENT units must be built to the Adaptable Housing Standards of the BC BUILDING Code.
- (d) All new INDEPENDENT LIVING HOUSE units must be built to the Adaptable Housing Standards of the BC BUILDING Code.
- (e) A storage locker shall be provided for each APARTMENT.
- (f) At least 20% of the total residential BUILDING space for an INDEPENDENT LIVING HOUSE shall be devoted to common FACILITY use and INDOOR COMMON AMENITY AREA.

Review General Regulations for Additional Development Requirements

(7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL	LANE
(a) ACCESSORY DWELLING UNIT	6m	6m	1.5m	6m	3m
(b) Gasoline Pump Island	6m	6m	6m	6m	3m
(c) Gasoline Pump Island Canopy	2.5m	2.5m	2.5m	2.5m	2.5m
(d) SERVICE STATION	10m	0m	0m	6m	3m
(e) All other uses	10m 3m	0m	0m	3m	3m

(f) Despite the above, where a CS1 ZONE ADJOINS a residential ZONE a minimum SETBACK of 6m shall be required from the common LOT LINE for all BUILDINGS and STRUCTURES.

(8) SITING

(a) An ACCESSORY DWELLING UNIT may be located above or behind the PRINCIPAL USE or in a separate SINGLE DETACHED DWELLING.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) All BUILDINGS and STRUCTURES	10m

(10) SPECIAL REGULATIONS

- (a) GENERAL COMMERCIAL uses shall specifically exclude:
 - (i) an ADULT ENTERTAINMENT FACILITY within 1 km of any SCHOOL
 - (ii) an AMUSEMENT CENTRE
 - (iii) a PAWNBROKER within that area bounded by Hope River to the North, Prest Road to the East, CN Railway Right of Way to the South and Ashwell Road to the West
 - (iv) PAY DAY LOAN STORE within a 300m radius of a SCHOOL, PLAYGROUND, or another PAY DAY LOAN STORE
 - (v) THEATRE
 - (vi) a vape store within a 300m radius of a SCHOOL, PLAYGROUND, or another vape store.
- (b) A BEVERAGE CONTAINER RETURN DEPOT
 - (i) shall not exceed 100m² in area
 - (ii) shall not involve any outdoor activity except the actual shipment of materials
 - (iii) shall not involve the crushing or breaking of glass.

Review General Regulations for Additional Development Requirements

9.11 CS2 (TOURIST COMMERCIAL) ZONE

(1) PERMITTED USES

PRINCIPAL USES

- (a) CONVENIENCE COMMERCIAL
- (b) GENERAL COMMERCIAL
- (c) TOURIST ACCOMMODATION
- (d) VEHICLE ORIENTED COMMERCIAL

ANCILLARY USES

- (e) ACCESSORY DWELLING UNIT
- (f) ACCESSORY HOME OCCUPATION
- (g) OFF-STREET PARKING
- (h) OFF-STREET LOADING
- (i) URBAN ANCILLARY USES

(2) LOT AREA(MINIMUM)

USE	MINIMUM LOT AREA
(a) All uses	1000m²

(3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(a) All Uses	25m	N/A

(4) DENSITY (MAXIMUM)

(a) N/A

(5) LOT COVERAGE (MAXIMUM)

(a) All BUILDINGS and STRUCTURES

40%

(6) FLOOR AREA RATIO (MAXIMUM)

(a) All uses 1

(7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL	LANE
(a) ACCESSORY DWELLING UNIT	6m	6m	1.5m	6m	3m
(b) Gasoline Pump Island	6m	6m	6m	6m	3m
(c) Gasoline Pump Island Canopy	2.5m	2.5m	2.5m	2.5m	2.5m
(d) SERVICE STATION	10m	0m	0m	6m	3m
(e) All other uses	10m 3m	0m	0m	4.5m <u>3m</u>	3m

(7) SETBACKS (MINIMUM)

USE	FLL	RLL	ISLL	ESLL	LANE
(a) ACCESSORY DWELLING UNIT	10m	6m	1.5m	6m	6m
(b) Gasoline Pump Island	6m	6m	6m	6m	3m
(c) Gasoline Pump Island Canopy	2.5m	2.5m	2.5m	2.5m	2.5m
(d) SERVICE STATION	10m	0m	0m	6m	3m
(e) All other uses	10m 3m	0m	0m	3m	3m

(f) Despite the above, where a CSM ZONE ADJOINS a RESIDENTIAL ZONE a minimum SETBACK of 6m shall be required from the common LOT LINE for all BUILDINGS and STRUCTURES.

(8) SITING

(a) An ACCESSORY DWELLING UNIT may be located above or behind the PRINCIPAL USE or in a separate SINGLE DETACHED DWELLING.

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) All BUILDINGS and STRUCTURES	12m

(10) SPECIAL REGULATIONS

- (a) GENERAL COMMERCIAL uses shall specifically exclude:
 - (i) an ADULT ENTERTAINMENT FACILITY within 1 km of any SCHOOL
 - (ii) an AMUSEMENT CENTRE
 - (iii) a PAWNBROKER within that area bounded by Hope River to the North, Prest Road to the East, CN Railway Right of Way to the South and Ashwell Road to the West
 - (iv) PAY DAY LOAN STORE within a 300m radius of a SCHOOL, PLAYGROUND, or another PAY DAY LOAN STORE
 - (v) SHOPPING CENTRE
 - (vi) THEATRE
 - (vii) a vape store within a 300m radius of a SCHOOL, PLAYGROUND, or another vape store.
- (b) A MOTOR VEHICLE DISMANTLING use
 - (i) shall be fully enclosed within a BUILDING, and
 - (ii) shall have no OPEN STORAGE of dismantled MOTOR VEHICLES or MOTOR VEHICLE parts.
- (c) Materials in OPEN STORAGE shall not exceed the HEIGHT of SCREENING provided.
- (d) A COMMUNITY GAMING FACILITY as defined in Section 2.01 of this BYLAW shall only be permitted within the property identified as PID: 002-591-651, Lot 27 District LOT 340 Group 2 New Westminster District Plan 55390.

Review General Regulations for Additional Development Requirements

City of Chilliwack

Bylaw No. 5487

A bylaw to amend the "Official Community Plan Bylaw 2014, No. 4025"

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

- 1. This bylaw may be cited as "Official Community Plan Bylaw Amendment Bylaw 2025, No. 5487".
- 2. "Official Community Plan Bylaw 2014, No. 4025", is hereby amended in Section 4 GOALS, OBJECTIVES, AND POLICIES, GOAL 5 BUILD HEALTHY COMMUNITIES, HOUSING, POLICIES, Section 2, Subsection a., by deleting the words "enhancement in the Downtown and other select areas" after the words "and character".
- 3. Said Bylaw is hereby further amended in Section 4 GOALS, OBJECTIVES, AND POLICIES, GOAL 5 BUILD HEALTHY COMMUNITIES, HOUSING, POLICIES, Section 2, by deleting Subsection b. in its entirety, and re-lettering the existing Subsection accordingly.
- 4. Said Bylaw is hereby further amended by deleting Section 5 IMPLEMENTATION GUIDE in its entirety, and substituting with a new Section 5 IMPLEMENTATION GUIDE, as attached.
- 5. Said Bylaw is hereby further amended by deleting the Development Permit Area Maps Table of Contents in its entirety, and substituting with a new Development Permit Area Maps Table of Contents, as attached.
- 6. Said Bylaw is hereby further amended in Development Permit Area Maps, by deleting DPA Map 4 Downtown Form and Character (Heritage Core and Contemporary Core), DPA Map 5 Urban Corridor Form and Character, and DPA Map 6 Multiple Family Residential Infill and Mixed Commercial, in their entirety; and further, by renumbering the existing DPA Map accordingly.
- 7. Said Bylaw is hereby further amended by deleting the OCP Schedules Table of Contents in its entirety, and substituting with a new OCP Schedules Table of Contents, as attached.
- Said Bylaw is hereby further amended by deleting Schedule B Downtown Design Guidelines in its entirety, and substituting with a new Schedule B Form and Character Design Guidelines, as attached.
- 9. Said Bylaw is hereby further amended by deleting Schedule C Design Guidelines, Multi-Family Infill Development in its entirety, and re-lettering the existing Schedules accordingly.
- **10.** Said Bylaw is hereby further amended throughout the text of the Bylaw where reference is made to section numbers and updated to reflect the new reference numbering.

Received first and second reading on the 17th day of June, 2025. Public hearing held on the Received third reading on the Consultation Process considered by Council on the 3rd day of June, 2025. Received adoption on the Mayor Corporate Officer



5 Implementation Guide





The OCP brings together the various plans of the City and community partnerships for an integrated vision and unified action. Its effectiveness depends on the execution of the policies and actions recommended herein, as well as the implementation of the affiliated plans, Development Permit Areas guidelines, the Zoning and Subdivision and Development Regulations. In the first case and in the context of the current development process, OCP policies are translated into land use designations and maps, indicating where major types of development should take place. The designation maps affect both public and private interests at the property level where the City and other public agencies make everyday development decisions, ranging from rezoning to subdivision applications, building permits, business licensing, and amenity/facility provision. The land use designations have an equally profound influence on how and where the private sector invests and builds in the City. Therefore, the designations should be clear on the intent, scope and description of permitted uses, and guide interpretation where needed.

The OCP's land use/development policies are also advanced through detailed neighbourhood plans. Given their close relationship with the OCP policies, they are incorporated into the OCP as special schedules. Other schedules are included to carry out regional and provincial planning policies and are legislated requirements.

Therefore, the OCP's Implementation Guide and supplementary documents comprise the following:

- ✓ Land use designations and proposed land use maps (under Implementation Guide)
- ✓ Regional Context Statement (Schedule A)
- ✓ Development Permit Areas and their guidelines in this chapter, with detailed

design guidelines for Downtown, Mixed-Use, Residential, Commercial & Industrial (Schedule B).

- ✓ Adopted Comprehensive Development/ Area /Neighbourhood Plans (Schedule D):
 - Downtown Land Use and Development Plan
 - Eastern Hillsides Comprehensive Area Plan
 - Agricultural Area Plan
 - Alder Neighbourhood Plan
 - Chilliwack Proper and Fairfield Island
 Neighbourhoods Plan
 - Sardis Neighbourhood Plan
 - South Vedder Neighbourhood Plan
 - Yarrow Neighbourhood Plan
- ✓ Temporary Use Permits
- ✓ Development Approval Information
- ✓ Administration /Interpretation/ Severability

The expanded scope of implementation highlights the interconnected decisions in the development process, and the importance of ongoing communication among the various departments, committees and outside agencies involved. In due course, additional neighbourhood plans will be added as the City undertakes detailed planning for the select neighbourhoods and further advance the OCP's vision and policies.

LAND USE DESIGNATIONS

The City is divided into land use designations in the land use maps of this bylaw. Following their adoption (including subsequent neighbourhood plans) land use boundary lines are maintained and available at the following link https://maps.chilliwack.com.

LAND USE DESIGNATION STRATEGY OVER-VIEW BY AREAS

Downtown (Schedule D-1)

The land use designations of the downtown core and neighbourhoods are presented in the Downtown Land Use and Development Plan, OCP Schedule D-1. The designations recognize the downtown as the City centre and a focus for commercial, civic and mixed use (commercial-residential) development. They reinforce the dynamics created by the traffic corridors that converge at the historic Five Corners, the main street that has evolved along Wellington Avenue, Yale Road and Young Road, and the open malls that cluster around the downtown gateways. They also recognize the residential root of the downtown and establish a development framework that fosters a functional and attractive built environment, a distinct lifestyle and culture, and a vibrant, healthy community.

Key designations include:

- Urban Quarter (mixed use with high density residential development)
- Village Quarter (mixed use with medium density residential development)
- Service commercial
- Civic institutional
- Civic Recreation/Culture
- Industrial
- Health Related Services (Permitted Secondary Use)
- Village Walk Heritage Area
- Residential 4 (mid/high rise focusing on the Downtown as the predominant high-density residential area)

- Residential 3 (low-rise apartment)
- Residential 2 (townhouse)
- Residential 1 (single family attached)
- Parks and Recreation

Each designation is supported by descriptions of its intent and general characteristics, including appropriate built-forms, density, building height and parking provision. For detail and the Proposed Downtown Land Use Figure, see OCP Schedule D -1 Downtown Land Use and Development Plan.

Chilliwack Proper (Map 17A)

Map 17A presents the balance of Chilliwack proper outside the downtown core and neighbourhoods delineated in Appendix D1. It embraces the single detached residential neighbourhoods that once were the suburbs of the historic downtown settlement, as well as more recent single family residential subdivisions. The OCP designations recognize these low density neighbourhoods and their significance in maintaining an adequate supply of family housing in Chilliwack proper.

Since Sardis-Vedder began its urban transformation and new traffic corridors emerged between the northern and southern settlements, commercial uses have established themselves along Yale Road and Young Road; concurrently, the Broadway corridor has attracted much multi-family residential development. These corridor developments will only be entrenched as densification continues, and the OCP designations need to reflect that trend, which is part of the overall urban corridor consolidation process. Throughout the early settlement history of Chilliwack proper, some industries were attracted to the "fringe" of the original Chilliwack settlement and they now represent opportunities for unique industrial activity that can add to the diversity and vibrancy of the downtown.

Sardis-Vedder (Map 17B)

Sardis-Vedder is a corridor community anchored by two centres at its northern and southern ends. Over time, developments, including a neighbourhood commercial node and a number of townhouse projects, infilled the space between the two centres along Vedder Road. Land use designations for Sardis-Vedder (Map 17B) reinforce this twin-centre structure, with medium-density residential development along Vedder Road, the traffic corridor, to support the activity focal points and a more cosmopolitan lifestyle. Behind the corridor development, residential neighbourhoods will remain largely traditional single detached in support of family housing; nevertheless, strategically placed townhouse projects may be accommodated if certain site specific conditions are met.

Inside the centre of Sardis the designations underscore the importance of regional shopping centres to the City's retail trade and economic growth; they intend to accommodate some major scale commercial densification for future growth capacity. Meanwhile, the traditional core of Sardis, whose densification began in the 1990s, will redevelop - both commercially and residentially - in accordance with the Alder Neighbourhood Plan that forms Schedule D-4 of this OCP. The focus of redevelopment is to support core businesses with a strong local population base through higher density residential development, and to ensure safe traffic movement to/from Vedder Road and within the neighbourhood. It will harmonize with the City's vision for Vedder Road and address amentity and urban design issues.

Designations for the Vedder centre aim to support the continuous development of Garrison Crossing and the sizable vacant sites in Vedder East and Vedder West under the guidance of a comprehensive development area or site plan.

These designations reflect the urban corridor concept that is framed by the three main

north-south traffic routes, Vedder Road, Evans Road and Chilliwack River Road. This framework, however, has to adjust to the strong presence of the First Nations whose developments are growing in scale, density and servicing needs: they have to be part of the Sardis-Vedder community and within the Urban Growth Boundary. Also within the urban corridor are some ALR parcels. While many of these parcels will continue to be agricultural in use and designation, those on the west side of Sardis and surrounded on three sides by residential subdivision have been a subject of discussion between the City and the Agricultural Land Commission. From a servicing perspective, they have been limiting Sardis' north-south road connection to the main arterial routes and the servicing mains along Vedder Road and a parallel street. Long term designations for these parcels are pending the outcome of an ongoing dialogue among all stakeholders, including the ALC. In the meantime, they are acknowledged as agricultural land within the Urban Growth Boundary.

Yarrow (Schedule D-8)

With its Eco-Village development, pioneer history, and free-spirited lifestyle, Yarrow has demonstrated another facet of healthy community living. Its settlement boundary is well defined by the ALR. Minimal growth is envisioned in Yarrow given its rural setting, location outside of the Urban Growth Boundary, and servicing and floodplain constraints. The land use designations of the Yarrow Neighbourhood are presented in the Yarrow Neighbourhood Plan, OCP Schedule D-8.

These OCP designations represent a refinement of the current and future community structure and character. They are intended to promote a more focused commercial district, emphasizing its role as a community centre, a market place for local residents and visitors, and a pedestrian friendly and cultural environment. Ultimately,

they work toward a healthy community: realizing Yarrow's tourism potential, building a robust local economic base, and enhancing the community's livability with a greater diversity of services, amenities and activities.

Rosedale (Map 17C) and Greendale (Map 17D)

Like Yarrow, both the development limits of Rosedale and Greendale are defined by the ALR and their own community vision. As most residents are content with the current development situation and servicing level, the designations in Maps 17C and 17D primarily reflect the status quo — a rural healthy community with an appropriate level of servicing.

Agricultural and Rural Areas (Map 17E)

The ALR parcels are subject to the ALC Act and remain designated as Agricultural; this applies to the valley floor and upland ALR lands. The only exceptions would be parcels on which the ALC and the City have agreed for their exclusion in due course. Rural areas refer to locations that lie outside the urban corridors, Yarrow, Rosedale and Greendale; they are not part of the ALR or forest areas, and are predominantly large rural residential estates and vacant acreages in a natural state.

Except for the downtown core and neighbourhoods whose designations (in particular the high density residential designations) are provided in the Downtown Land Use and Development Plan (Schedule D1), the land use designations that apply to Maps 17A, 17B, 17C, 17D and 17E are defined in detail as follows:

LOW DENSITY RESIDENTIAL (RL)

DENSITY

In the range of 12 - 50 uph (units per hectare) - the Housing types are specified in the Appropriate Built Forms section below.

INTENT

- Provide family housing especially for those with children.
- Provide affordable rental housing for students, singles, seniors (coach housing and accessory dwelling units / basement suites).

APPROPRIATE LOCATION

Traditional residential neighbourhoods, and greenfield sites, where available, adjoining established residential areas and serviceable by existing utilities, schools, parks and other civic facilities.

PERMITTED USES

Residential uses per recommended densities and built forms, neighbourhood oriented civic uses such as: elementary schools, local churches, neighbourhood centers and parks and recreational facilities, and convenience commercial.

FORM AND CHARACTER

Subject to Development Permit regulation regarding multi-family residential (townhouse) form and character.

APPROPRIATE BUILT FORMS

- single family detached
- duplex
- small lot single family detached
- carriage home
- cottage home cluster
- Appropriately scaled townhouse development, subject to the conditions of OCP Housing Policy 1(e) under Goal 5 (Build Healthy Attractive Communities) and the following considerations:

- Convenient/direct access to major roads and transit routes;
- Traffic impact within local road designed capacity and not fundamentally changing the existing neighbourhood livability;
- Access to or served by City's bicycle routes and an adequate sidewalk system;
- Housing design emphasizing street fronting facades and maximizing green amenity space in the front – to harmonize with the surrounding single detached homes with traditional (larger) front and side yards;
- Rear lane access to reduce or eliminate front driveways and over-sized garage doors, while facilitating the development of a continuous green streetscape;
- Proximity to ample amenities such as parks, recreational facilities, libraries/civic services, health care, schools and shopping;
- Proposed building height and mass being sympathetic to surrounding homes; and.
- Project scale not exceeding 10 townhouse units; development proposals involving more than 10 units will require comprehensive impact analyses, including traffic/mobility study, urban design analysis (streetscape/ neighbourhood character) and amenity provision.

MEDIUM DENSITY RESIDENTIAL (RM)

DENSITY

Maximum 155 uph (units per hectare) or up to 225 uph for developments which include the provision of small unit apartments (maximum of 51 m² gross floor area) or congregate care.

Minimum 25 uph (units per hectare)

The density of 225 uph for small unit apartments is only applicable on lots within:

- 400 m of a bus stop on a frequent transit route; or,
- 800 m of a transit exchange.

INTENT

- Provide affordable housing for diverse income groups and household types: seniors, students, empty nesters, singles, small families and special needs groups.
- Accommodate density bonusing and inclusionary zoning (subsidized housing units).

APPROPRIATE LOCATIONS

The cores of Sardis-Vedder, areas in close proximity to a neighbourhood commercial centre, and locations along urban traffic corridors; in all cases, utility capacities, services and amenities such as schools and parks should be available.

DIRECT ACCESS

Collector / arterial roads

PERMITTED USES

Residential uses per recommended densities and built forms; neighbourhood oriented civic uses such as elementary schools, local churches, neighbourhood centres, parks and recreational facilities; and convenient commercial uses at suitable locations and subject to the conditions stipulated in the zoning bylaw.

FORM AND CHARACTER

Subject to Development Permit regulation regarding multi-family residential form and character.

APPROPRIATE BUILT FORMS

- 3 to 6 storey wood frame apartment.
- Stacked townhouse (attached up-and-down and side-by-side ground-oriented/accessed units).
- Townhouse (attached side-by-side): street fronting, rear lane access, clustered, part of mixed housing project, fee simple or strata.
- Coach housing and accessory dwelling units where appropriate.







GENERAL COMMERCIAL (CG)

DENSITY

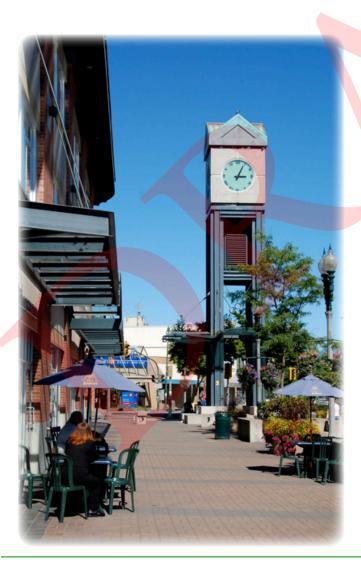
N/A

INTENT

- Reinforce community cores as business centres
- Encourage main street development.
- Support neighbourhood commercial development at strategic locations.

APPROPRIATE LOCATIONS

Neighbourhood commercial notes in Chilliwack proper, commercial centres of Sardis-Vedder, Yarrow, Rosedale and Greendale.



PERMITTED USES

Retail, personal and business services, government offices, churches and other civic uses, entertainment/ recreation, small-to-medium size shopping centers, and mixed commercial-residential use (apartments above ground-level businesses). Hotel development in community cores, or at locations in traffic corridors supported by amenities.

FORM AND CHARACTER

Subject to Development Permit regulation regarding commercial form and character.

APPROPRIATE BUILT FORMS

- Commercial building: up to 4-storeys
- Mixed commercial-residential development: up to 6-storeys.
- 3-storeys or lower in rural communities where the required service capacities are available.

Main street development refers to the retail landscape that typifies a traditional community centre. Shops, restaurants and a variety of commercial establishments and services open to a common, pedestrian-friendly street, and their facades conjoin to form a continuous street front. It encourages residents to walk, gather and celebrate.

THOROUGHFARE COMMERCIAL (CT)

DENSITY

Maximum 1.0 FAR (floor area ratio)

INTENT

Consolidate general and vehicle-oriented commercial locations in key urban traffic routes.

APPROPRIATE LOCATIONS

Commercial corridors along Yale Road and Young Road, from the downtown to the Vedder Road Interchange at the Trans-Canada Highway.

PERMITTED USES

Small-to-medium-size shopping centres, vehicle-oriented commercial uses, retail, personal and business services, government offices, churches and other civic uses, and entertainment.

FORM AND CHARACTER

Subject to Development Permit regulation regarding commercial form and character.

APPROPRIATE BUILT FORMS

Commercial building: up to 4-storeys.





GENERAL INDUSTRIAL (IG)

DENSITY

Maximum 1.0 FAR (floor area ratio)

INTENT

- Promote diversified industrial growth and strengthen local economic base.
- Create local employment to meet the needs of the future labour force growth.

APPROPRIATE LOCATIONS

- Established separate industrial districts: Village West, Cattermole and Legacy-Pacific Industrial Park.
- Established industrial locations within communities: between the BC Hydro Railway and Young Road, and those in Yarrow and Rosedale.

PERMITTED USES

- Manufacturing, warehousing, and industrial services.
- Accessory office and sale outlet of the principal industrial use.
- Commercial services that cater to the industrial workers.
- Select heavier industrial uses (already existing) that have sound management of nuisance (noise, dust, odor and fume).

FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial form and character.

APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

AGRI-BUSINESS PARK (IA)

DENSITY

Maximum 1.0 FAR (floor area ratio)

INTENT

- Promote agriculture- related industrial development in support of the local agricultural growth.
- Create local agricultural employment as part of the Agricultural Area Plan implementation.

APPROPRIATE LOCATIONS

 The agri-business park at Kerr Avenue and Brannick Place.

PERMITTED USES

- Agriculture related manufacturing, warehousing, and industrial services.
- Accessory office and sale outlet of the principal industrial use.
- Commercial services that cater to industrial workers.

FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial form and character.

APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

GRAVEL AND RELATED INDUSTRY (IGR) DENSITY

Maximum 0.35 FAR (floor area ratio)

INTENT

- Ensure adequate supply to meet local gravel needs.
- Reduce gravel import and truck traffic's impact on the regional and local transportation systems.
- Limit gravel sites in hillside/upland areas where geological and environmental sensitivities are high and the roads are not designed for gravel truck traffic.

APPROPRIATE LOCATIONS

Approved gravel sites on Vedder mountain.

PERMITTED USES

Gravel extraction, processing and sale – subject to applicable provincial environmental and mining regulations.

APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

SPECIAL INDUSTRIAL (IS)

DENSITY

FAR: maximum 1.0

INTENT

Accommodate industries that are heavy in nature, involve nuisances or require special measures on health, public safety and security.

APPROPRIATE LOCATIONS

Existing sites approved for specific heavy and special industrial uses per conditions of the approval. New locations are to be evaluated in accordance with the potential impact of the development proposal as it relates to the environment (including air quality), the surrounding uses, the health of workers and residents in the area, truck movement and traffic volume, potential nuisances (noise, fume, vibration and odor) and the aesthetics of the area concerned.

PERMITTED USES

- Select heavier industrial uses (already established) that have sound management of nuisance (noise, dust, odor, fume and security).
- Accessory office and sale outlet of the principal industrial use.

FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial form and character.

APPROPRIATE BUILT FORMS

Industrial building: up to 3-storeys

COMPREHENSIVE DEVELOPMENT AREA (CDA)

DENSITY

Density as regulated or recommended by a comprehensive development zone or plan.

INTENT

- Support comprehensive neighbourhood planning in select neighbourhoods.
- Enable comprehensive planning for major development sites, especially those that involve a mix of land uses and built-forms, an overall multi-phase development plan, a systemic servicing scheme, and careful considerations for integrating with the existing neighbourhood.
- Facilitate innovative planning for unique developments.

APPROPRIATE LOCATIONS

- Neighbourhoods of Chilliwack Proper and Sardis-Vedder that may be selected from time to time, including:
 - Former UFV campus
 - Garrison and Dieppe areas
 - Webster Landing and Rivers Edge areas
- Select hillside areas with plans that guide development and form part of the OCP growth management strategy, including:
 - Promontory
 - Chilliwack Mountain
- Select affordable housing locations from time to time.

PERMITTED USES

Uses as regulated or recommended by a comprehensive development zone or plan.

FORM AND CHARACTER

Subject to applicable Development Permit regulation regarding form and character.

APPROPRIATE BUILT FORMS

Subject to specific regulations as set out in the Zoning Bylaw.



MIXED COMMERCIAL AND INDUSTRIAL

(MCI)

DENSITY

Maximum 1.0 FAR (floor area ratio)

INTENT

- Accommodate compatible commercial and industrial service uses that require convenient access and exposure to main traffic routes.
- Limit sites to the established mixed commercialindustrial service areas only.
- Reduce pressure on industrial districts to accommodate big-box retail and other largescale or isolated commercial developments.

APPROPRIATE LOCATIONS

Established mixed commercial-industrial sites along the track of Southern Railway of BC and along Airport Road (between Yale Road and Young Road)

PERMITTED USES

Light industrial service, small scale warehousing/ wholesale use, office, automobile related use, building material sale, large format retail use, and similar commercial/industrial uses.

FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial/commercial form and character.

APPROPRIATE BUILT FORMS

Industrial/commercial buildings: up to 3 storeys.



INSTITUTIONAL AND CIVIC USE (PI)

DENSITY

Maximum 1.0 FAR (floor area ratio)

INTENT

Recognize major institutional and civic uses, and their importance to anchoring community cores and/or neighbourhoods.

APPROPRIATE LOCATIONS

Canada Education Park, University campus, Regional secondary and middle school sites, the hospital, major care facility, public libraries, RCMP buildings/facilities, recreational facilities and cemeteries.

PERMITTED USES

Government and school district administration, public work yards, civic facilities, health care use, residential care, regional secondary/middle schools, police administration, churches, NGO and similar uses.

FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial/commercial form and character.

APPROPRIATE BUILT FORMS

Non-residential buildings up to 3 storeys (federal and provincial buildings are exempt).



AIRPORT (PA)

DENSITY

Maximum 1.0 FAR (floor area ratio) or subject to municipal review.

INTENT

- Support the airport's role in the city's economic development.
- Facilitate airport operation and its development plan.
- Promote aerospace service and manufacturing industries.

APPROPRIATE LOCATIONS

Municipal airport and associated properties that form part of the future plan and development of the airport.

PERMITTED USES

Airport operation and related activities, aerospace industries and industrial services that cater to the airport operation or the aerospace industry.

FORM AND CHARACTER

Subject to Development Permit regulation regarding industrial/commercial form and character.

APPROPRIATE BUILT FORMS

Built-forms: subject to federal regulations and municipal review.



COMMUNITY PARK AND RECREATION (PR)

INTENT

Recognize regional, city and community parks, sportfields, and recreational facilities.

APPROPRIATE LOCATIONS

All major parks and recreational facilities.

PERMITTED USES

Public park, sports-field, ice skating/curling /hockey arena, public and swimming pool/leisure centre, and indoor sport facility.



OUTDOOR RECREATION (OR)

INTENT

Recognize major private and municipal outdoor recreational facilities, in particular, golf courses.

APPROPRIATE LOCATIONS

Golf courses, campgrounds and RV Parks.

PERMITTED USES

Golf course and accessory use, amusement park, campground, RV Park and other private outdoor recreational facilities.



AGRICULTURE (AG)

INTENT

Recognize and protect the Agricultural Land Reserve and other farmlands.

APPROPRIATE LOCATIONS

All ALR parcels and other farm lands.

PERMITTED USES

- All agricultural uses.
- Farm residences (principal and accessory).
- Associated retail/processing/ manufacturing use approved by the ALC.
- Cottage/home-based industries approved by the ALC and City.
- Anaerobic digester development approved by the ALC and the City.
- Other compatible, unobtrusive uses traditionally permitted on small agricultural acreages.

FOREST RESOURCE (FR)

INTENT

Recognize and preserve forest resources as part of prudent practices in management, and safeguard the aesthetic value forests that is vital to the City's hillside landscape and green identity.

APPROPRIATE LOCATIONS

All crown forests and other established properties.

PERMITTED USES

Forestry use as approved by the Ministry of Forests and representing a balanced practice in light of the City's hillside landscape.



RURAL (R)

DENSITY

- Rural residential subdivision 1 ha minimum where permitted.
- Rural acreage subdivision: 4 ha minimum where permitted.

INTENT

Define rural areas where municipal services are limited and development density is maintained at a low level to not exceed the natural capacity of the land.

APPROPRIATE LOCATIONS

Rural hillsides, including Ryder Lake, Vedder Mountain and Majuba Hill (excluding ALR lands).

PERMITTED USES

- Rural residential subdivision: limited to existing rural residential subdivision areas.
- Rural acreage: residential use based on semi-serviced or unserviced standards and where geological issues permit and the environmental impact is minimal (as determined by geotechnical and environmental impact assessments).

VEDDER RIVER MANAGEMENT AREA (PV)

INTENT

Recognize the special status and importance of the Vedder River Management Area.

APPROPRIATE LOCATIONS

Vedder River Management Area.

PERMITTED USES

Flood control, environmental conservation, and uses approved by the Vedder River Management Area Committee.



ENVIRONMENTAL RESERVE (ER)

INTENT

Recognize and protect the established environmental reserves.

APPROPRIATE LOCATIONS

Bert Brink Wildlife Management Area, Great Blue Heron Nature Reserve and natural reserves held by NGOs.

PERMITTED USES

Environmental conservation and appropriate accessory use.



FIRST NATION RESERVE (FN)

INTENT

Recognize First Nation Reserves as an integral, social, economic and environmental part of the overall community.

Acknowledge that First Nation Reserves are outside the City's jurisdiction and that their governance and development decisions are rested with the responsible First Nation authorities under Canada's Indian Act.

APPROPRIATE LOCATIONS

All First Nation Reserves within the City's boundaries.

WATER LOTS & ISLANDS (WL)

INTENT

Recognize water areas and islands in the Fraser River that are within the City's boundaries and that their use may not be subject to the control of the City.

APPROPRIATE LOCATIONS

All lots and areas that now form part of the Fraser River channel, be they under water or islands in the river.

PERMITTED USES

Licensed tree farms where appropriate; outdoor recreation where suitable.

FEDERAL (PF)

INTENT

Recognize federally owned lands and acknowledge that their governance and development decisions are rested with the Canadian Government.

APPROPRIATE LOCATIONS

All lands owned by the federal government, including the DND parcel on the former CFB Chilliwack and Coqualeetza.

TEMPORARY USE PERMITS

A Temporary Use Permit may be issued to accommodate entrepreneurs on short-term business opportunities or property owners for a specific, approved use for a defined duration. All activities and uses, other than those permitted in the zoning bylaw, shall require a temporary use permit issued under the OCP, and this requirement applies to the municipality as a whole.

Purpose of Temporary Use Permit

- a) Provide short term economic opportunities
- b) Ensure the long-term planning policy for the subject area is not affected
- c) Balance public and private interests
- d) Maintain compatibility with the surrounding developments

Permit Guidelines/Conditions

- Permits may allow a temporary use approved by the City to operate up to three years and could be considered for renewal once for any further period up to three years.
- The subject temporary use shall not precipitate public health and safety hazards or cause environmental degradation.
- Where potential risks to public health and safety or environmental quality exist or are anticipated, the applicant shall resolve them to the satisfaction of the City and other concerned authorities before the proposed temporary use or development is approved.
- Where warranted, environmental protection, post-development site restoration and nuisance abatement measures, including noise abatement, operation hours and season, duration of permitted use, traffic management,

- parking, property security, performance security, and establishing buffers and screens, may be required.
- Upon the expiration of the Temporary
 Use Permit, the subject temporary use
 shall cease to operate and the concerned
 land may need to be restored to the
 conditions prior to the temporary use or
 in accordance with the terms specified in
 the original permit.

DEVELOPMENT PERMIT AREAS

Development Permits play a key role in bringing OCP policies to the ground level when current development proposals are evaluated. Where the OCP policies are strong in direction, strategy and process, development permits are focused on specific concerns and challenges of current development and practical solutions. Under Section 488 of the *Local Government Act*, the OCP has established ten development permit areas (DPA) for the following purposes:

- protection of the City's drinking water
 sources aquifers and watersheds (DPA 1);
- protection of development from hazardous hillside conditions and environmentally sensitive areas (DPA 2 and DPA 3);
- protection of the natural environment, especially riparian areas (DPA 3);
- farm home plate (DPA 4);
- form and character guidelines for:
 - hillside development (DPA 5)
 - o downtown (DPA 6);
 - o mixed-use (DPA 7);
 - residential (DPA 8);
 - commercial (DPA 9);
 - o industrial (DPA 10).

General Policies

- Within a designated Development Permit Area (DPA), a Development Permit (DP) is required prior to the subdivision of land; the construction of, addition to, or alteration of a building or structure on the land; or the alteration of land, except where exemption provisions apply. The DP requirement is in addition to the requirements of the Zoning Bylaw, the Subdivision and Development Bylaw and all other applicable regulations in the development process.
- 2. Where a parcel is governed by two or more Development Permit Area designations, respective Development Permits for the subject parcel are required.

NATURAL ENVIRONMENT & GEOTECHNICAL DPAs

A number of areas in Chilliwack, because their physical locations, ecological attributes and sensitivity, or importance to the community's drinking water supply, require protection or careful planning and execution to ensure the natural environment is not detrimentally affected by development. There are also areas that are excessively steep and susceptible to erosion and/or flooding; they must be carefully planned or protected to minimize potential hazardous conditions and associated threat to life and property. Landowners should also consult the City of Chilliwack Floodplain Regulation Bylaw to see if it applies to their properties. Development applicants should be cognizant of the information requirements of the Geotechnical and Floodplain Report Guidelines and/or other technical report guidelines that are administered by the City.

Development Permit Area 1 - Municipal Watersheds and Aquifers for Drinking Water

Description and Exemptions

The municipal watersheds as shown on DPA 1 – Map

1A (Sardis-Vedder Aquifer), 1B (Volkert Creek) 1C (Vedder River Fan), and 1D (Elk Creek-Dunville Creek) are designated as Development Permit Areas (DPA 1) for the protection of the community's sources of water supply from contamination, flow reduction and quality degradation. This DPA is established in accordance with Section 919.1, (1)(a) of the Local Government Act.

A Development Permit is required for the subdivision of land; the construction of, addition to, or alteration of a building or structure on the land; or the alteration of land, including the following:

- ✓ Removal of trees or other vegetation that results in a cleared area or exposed soil disturbance greater than 280 m2 in area.
- ✓ Construction of buildings larger than 70 m2 in floor area.
- ✓ Installation of a septic field.
- Subdivision of land parcels that creates additional lots within this Development Permit Area.
- ✓ Installation of fuel oil or gasoline storage tanks.
- ✓ Construction of a new private well, including geothermal wells, within the Sardis-Vedder Aquifer or Vedder River Fan protection areas (Map 1A and 1C)
- Channel alteration or any activity that may affect existing watercourses.
- ✓ Excavation of an area larger than 20 m2 and deeper than 0.5 m within the Sardis-Vedder Aquifer or Vedder River Fan protection areas (Map 1A and 1C)

The following activities are exempted from the requirement of a Development Permit:

- Construction of a structure that does not require a building permit and is located outside of the corresponding riparian protection area of a permanent or temporary stream.
- Normal residential gardening activities that occur outside of the corresponding riparian protection area of a permanent

- or temporary stream.
- Forest management activities related to timber production and harvesting in the Forest Land Reserve.
- Works undertaken by a municipal water system.
- Emergency removal of a hazardous tree.
- Emergency works to prevent flood damage to structures.
- Subdivision of land parcels where a conservation covenant satisfactory to and in favour of the City of Chilliwack has already been registered for the maintenance of natural drainage and protection of groundwater quality.

Rationale for DPA Establishment

This Development Permit Area is designated for the protection of watershed areas that supply, or have the potential to supply, water to community or private utility water systems. If not carefully managed, development in this Area could result in the degradation of drinking water quality for many homes, endangering public health and incurring substantial remedial costs.

Objective

To protect the quality of drinking water supplied from community or private utility water systems.

<u>Guidelines Specific to Groundwater Sources</u> (<u>Map 1A, Sardis-Vedder Aquifer; Map 1C, Vedder</u> River Fan)

- 1. All developments shall be designed to minimize water quality degradation to the requirements of the City.
- Excavations greater than three metres in depth or within two metres of the highest recorded water table elevation from June 1st to October 1st must implement, under

- the supervision of a Qualified Environmental Professional, groundwater protection measures including, but not limited to, the following:
- Dewatering for the excavation, if required, should not:
 - Impact operation of existing municipal supply wells;
 - Impact base flow in creeks within 5 kilometers;
 - Exceed 75 liters per second flow.
- Excavations unattended must be secured by rigid security fencing;
- c. Surface runoff must be directed away from the excavation to prevent direct seepage into the aquifer;
- d. All necessary steps must be taken to limit the amount of time that the excavation/ aquifer is exposed;
- e. Disposal of dewatering water into the storm water system is not allowed unless approved by the City; and
- f. The excavated native material or equivalent as approved by the City must be used to backfill the excavation, where possible.
- 3. Below-grade structures that extend more than three (3) metres in depth from ground surface or are within 2 metres of the highest recorded water table elevation from June 1st to October 1st must:
 - be water proof. Water proofing of the structure must utilize materials that will not impact groundwater quality and be approved by the Engineer;
 - have an internal design that minimizes potential cracking of the foundation and includes treatment of cold joints to

- create a complete separation between the structure and the Aquifer;
- be constructed with a monitored drainage system for water volumes and hydrocarbons to detect all upsets;
- d. not adversely impact groundwater flow patterns; and
- e. include an internal drainage system that discharges drainage from below grade structures to a sanitary sewer line.
- 4. All storm water, with the exception of residential foundation drains, shall be conveyed off-site to municipal storm sewers.
- 5. Stormwaterfrom roadways and driveways shall not be discharged directly to ground by means of exfiltration systems or rock pits within the 60-Day Capture Zone, as delineated on Map 1A.
- Drainage from subsurface structures and parking lot facilities, with the exception of residential roof and foundation drains, shall be controlled using a closed system, which includes oil and grit separators conveyed off-site to a municipal storm sewer.
- 7. Where a municipal storm sewer system is not available, drainage from subsurface structures and parking lot facilities shall be conveyed to outside of the 60-Day Capture Zone (shown on Map 1A) to a triple chamber treatment facility, which must include, but is not limited to, an oil and grit separator and a gate valve before the infiltration chamber to contain spills.
- 8. On-site treatment facilities shall be designed by a Qualified Environmental Professional and must ensure the discharged water will not degrade the quality of the aguifer.
- 9. Commercial, industrial and parking facilities, having areas that are not paved or completed with buildings, shall be covered with low permeability material to reduce infiltration.

- A soil liner consisting of 0.60 metres of finetextured soil (clay or clay-loam) constructed beneath Topsoil is an acceptable alternative.
- 10. All Hazardous Materials, which are handled, and/or stored, shall be minimized and subject to secondary containment utilizing non-permeable construction material, which may consist of a concrete pad and sidewalls to contain the substances should a spill or leak occur. The storage area shall be covered and secured against vandalism. The capacity of secondary containment shall equal at least the maximum volume of the stored material, plus 10%. Secondary containment systems for volumes of hazardous material greater than 200 litres shall be inspected by a Qualified Environmental Professional.
- 11. No underground storage tanks for Hazardous Materials shall be permitted. Above ground storage tanks for Hazardous Materials shall conform to requirements set out in this guideline for Petroleum Storage Tanks.
- 12. Temporary storage of Hazardous Materials during development and/or construction shall:
 - a. Utilize secondary containment;
 - b. Be covered and secured against vandalism; and
 - Be protected from damage due to construction equipment and/or construction activities.
- 13. During construction and/or development:
 - All equipment not in use shall have oil drip pans under the equipment to prevent contamination;
 - Equipment refueling shall be performed in a controlled and secured location and every effort taken to prevent fuel spillage; and
 - c. Spill containment and cleanup equipment

and material shall be available on site. This cleanup material must include, at a minimum:

- adequate quantities of sand for containment on paved or impervious surfaces
- adequate quantities of absorbent pads or material to cleanup hazardous spills (capable of absorbing 100% of the Hazardous Materials)
- 14. The operator of a facility handling or storing Hazardous Materials exceeding a volume of 200 litres shall have a Best Management Plan (BMP) prepared by a Qualified Environmental ProfessionalThe certified BMP shall address the handling, storage and disposal of Hazardous Materials, and include provisions for strict inventory controls.
- 15. The operator of a facility handling or storing Hazardous Materials exceeding a volume of 200 litres shall have a Spill Response Plan prepared by a Qualified Environmental Professional, and forward one copy to the City's Engineer. The certified Spill Response Plan shall address measures that should be taken at the site in the event of a spill or accident.
- 16. No underground storage tanks shall be permitted for storing petroleum products. Aboveground storage tanks used for the purpose of containing petroleum products within the Total Capture Zone shall be smaller than 800 liters in size and meet or exceed the Environmental Code of Practice for Aboveground and Underground Storage Tank Systems Containing Petroleum and Allied Petroleum Products (2003 or latest version) and the British Columbia Fire Code (2006 or latest version).
- 17. Without limitation to Section 16, aboveground petroleum product storage tanks (ASTs) within the Total Capture Zone shall be constructed to include the following:
 - a. Double-walled steel tank construction;

- b. Secondary containment of piping;
- c. Tanks coated with rust-resistant material;
- d. Overfill protection device;
- e. Spill containment device around fill pipe;
- f. A dispenser sump and tank sump, for the control of possible leakage from the dispenser or piping; and
- g. Leak detection of the interstitial space, piping and sump(s).
- 18. Installation of aboveground petroleum product storage tanks shall be conducted by a licensed qualified contractor under the supervision of a Professional Engineer.
- 19. Every storage tank shall be tested for leakage, following procedures outlined in the Fire Code of British Columbia before putting a new tank into service.
- 20. Installation of new private wells regardless of purpose is prohibited unless approved by the City. Approvals shall only be considered for properties not serviced by the municipal system. Owners that have a new private water supply well installed shall provide the City with a copy of the well installation record within 30 days of installation.
- 21. Subsurface geothermal systems including the installation of wells are prohibited.
- 22. New buildings shall be connected to the municipal sanitary sewer system.
- 23. Where a municipal sanitary sewer system is not available residential sewage shall be conveyed to an on-site private sewage disposal system which must include, but is not limited to, a two-stage septic system, a large capacity tank and a gate valve before infiltration to subsurface. The two-stage system shall be designed by a Qualified Environmental Professional and shall consist of a separate tank where the sludge is digested and will prohibit mixing of digested sludge with incoming sewage.

24. New commercial, industrial and institutional facilities with an on-site sewage disposal system are not permitted.

<u>Guidelines Specific to Surface Water Sources</u> <u>Map 1B Volkert Creek; Map 1D Elk Creek and</u> Dunville Creek)

- 1. All developments shall be designed to minimize water quality degradation to the requirements of the City.
- 2. An applicant for a development permit must provide, at his or her expense, a plan certified by a Professional Engineer with experience in the protection of ground and surface water, which clearly shows how to control storm water drainage and avoid the deterioration of water quality.
- 3. Non-residential structures for the purpose of storage or handling materials in quantities sufficient to pollute water supply should not be located in this DPA. If such a location cannot be avoided, the structure shall be designed and constructed to ensure that spills can be properly contained and handled without causing pollution.
- 4. New roads and septic fields should not be permitted within this DPA. If such a location cannot be avoided, then a qualified professional should supervise the design and construction of the road or septic field to satisfy the objectives and guidelines of this DPA.
- 5. For subdivisions that create additional lots, any new lots, roads, building sites, septic fields and driveways must be positioned, designed and constructed to meet the objectives and guidelines of this DPA.

Development Permit Area 2 - Hillside and Upland Areas

Description and Exemptions

Pursuant to Section 919.1(1)(a) and (b) of the *Local Government Act*, the areas as shown on DPA Maps 2A, 2B, 2C and 2D are designated as Development Permit Area 2 (DPA 2) for the protection of fish and fish habitats, wildlife and vegetation, and development from natural hazards.

In areas where development is permitted, a Development Permit is required for the subdivision of land; the construction of, addition to, or alteration of a building or structure on the land; or the alteration of land, including the following:

- ✓ Removal of trees with a trunk diameter greater than 30 cm measured 1.5 m above ground;
- ✓ Removal of vegetation in a wetland;
- ✓ Installation of a septic field within 61 m of the natural boundary of a lake;
- ✓ Any works or installation of structures within a stream or below the natural boundary of a lake; and
- The subdivision of land parcels that creates additional lots within this DPA.
- ✓ Construction of a building greater than 100 m².

The following activities are exempted from the requirement to obtain a DP:

- Forest management activities related to timber production and harvesting in the Forest Land Reserve;
- Fish habitat enhancement work approved by the Department of Fisheries and Oceans or the Ministry of Environment, Lands and Parks;
- The emergency removal of a hazardous tree;
- Emergency works to prevent flood damage

- to structures or repair to public service utilities;
- The subdivision of land parcels where a conservation covenant satisfactory to and in favour of the City of Chilliwack has already been registered for the maintenance of natural drainage and protection of environmentally sensitive and hazardous areas; or
- Tree removal required for surveying, road construction, and utility servicing by the City of Chilliwack.

Rationale for DPA Establishment

- i. Lakes and streams, including ephemeral watercourses, provide natural habitats for fish and wildlife. Many also supply drinking water to individual wells, water license holders or community water supply systems. If not carefully managed, development in this Area could result in the degradation of water quality to the detriment of the fish and wildlife populations. It could also incur high costs of remedial water treatment.
- ii. This DPA contains habitats for many different species and is particularly susceptible to disturbance. Development could lead to losses of, or high stresses on, a disproportionately large number of native plant and animal species.
- iii. Land in this DPA has been identified as having serious hazards due to slope instability or soil erosion. If not carefully managed, disturbance of the land in this Area could result in significant soil erosion and increased hazards to developments.
- iv. This DPA may be subject to high forest fire risks. Adequate forest fire interface shall be identified and carefully managed through a Fire Risk Assessment Analysis Report.

Objectives

1. To protect the quality of drinking water

- supplies, including safeguarding the water supply of private wells.
- 2. To protect fish, wildlife and vegetation, particularly sensitive riparian habitat.
- 3. To ensure development remains compatible with the natural environment.
- 4. To protect development from potential landslides, debris torrents and other unstable conditions.
- 5. To reduce the potential forest fire risks.

Guidelines

- Stream bank vegetation shall remain undisturbed together with a green strip of at least 30 meters from the top of banks of fish bearing or fish habitat streams.
- 2. Fencing shall not be allowed in areas where it would interfere with the movement of wildlife.
- 3. The Tree Management (Land Development) Bylaw is considered critical to the implementation of this DPA's guidelines.
- 4. The Development Approval Information Bylaw is an essential part of this DPA's implementation.
- 5. No development shall be allowed in areas subject to high risks from debris torrents, flooding or erosion unless properly engineered floodproofing and protection measures are incorporated and certified by a Professional Engineer with experience in hydrogeology.
- 6. A Professional Engineer with experience in hydrogeology is required to certify site development on hillside and upland areas, and may recommend conditions or requirements for the issuance of the permit. The certification must clearly show how to control storm drainage, flood hazard and erosion, and to protect groundwater, including:
 - preserving natural channels to the maximum extent possible;
 - ✓ utilizing detention or retention ponds and

- minimize impervious surface;
- establishing interceptor ditches above steep slopes, where required, in such a way to not saturate soil, and the intercepted water should be conveyed in a pipe or other appropriate manner to a municipal storm sewer system or to the bottom of a ravine or bluff;
- utilizing discharge point stabilization for natural drainage path; and
- ✓ providing a control mechanism to minimize erosion and siltation.
- 7. Development proposals shall be accompanied by a hydro-geotechnical study that identifies the hazardous nature of the subject area, including:
 - √ vegetation types;
 - ✓ ecologically sensitive areas;
 - √ view vistas;
 - ✓ soil types;
 - ✓ soil and terrain stability;
 - ✓ rock outcroppings;
 - ✓ specific hazard area; and
 - protective and mitigating measures to be used during and after construction and development.
- 8. A Professional Engineer with experience in geotechnical engineering shall submit a geotechnical study in accordance with the landslide assessment guidelines published by APEGBC (Associated Professional Engineers and Geoscientists of BC) and the City of Chilliwack Guidelines for Geohazard Assessment and Investigation indicating that the development will not be endangered, or that the measures have been taken to ensure that the development will not be endangered, by rock fall hazard, landslides, earthflow or other slope or foundational instability.
- A storm water management plan must be submitted to the satisfaction of the Director of Engineering and must provide on-site drainage so as not to adversely affect adjacent properties. Further, all post development water flows into

- the storm drainage system must not exceed predevelopment flows in accordance with the City of Chilliwack Policy and Design Criteria Manual for Surface Water Management.
- 10. Stream crossings and roadway construction adjacent to streams shall obtain all necessary approvals and be designed to accommodate flows and retain the streambed in a natural condition.
- 11. A Qualified Professional is required to supervise all excavations or placement of fill in natural slope areas.
- 12. Road design should minimize the potential danger of erosion, landslide and flooding. The following techniques may apply where appropriate:
 - √ follow contours;
 - ✓ allow split level, one-way streets;
 - allow flexibility in the placement of lot lines to accommodate "traversing driveways"; and
 - employ narrow pavement widths, within the limits of public safety, by the use of off-street parking in bays and clusters.
- 13. Hillside and upland development should employ environmentally sound techniques in engineering and architecture such as:
 - ✓ grading to complement natural land forms to minimize terracing (cut and fill);
 - ✓ using indigenous materials in landscaping;
 - placing, grouping and shaping of manmade structures to complement the natural landscape; and
 - encouraging a variety of building types clustered to maximize the amount of open space and natural features.
- 14. Hillside and upland development should complement or enhance the aesthetic qualities of the natural landscape. Where possible, skylines and ridgetops, and tree and shrub masses should be preserved, and all man-made structures should be properly positioned, scaled and designed so as not to dominate the general hillside and upland

- landscape. A site plan addressing these concerns shall accompany the development permit application
- 15. Development shall be restricted in areas subject to occurrence or high susceptibility of rock fall hazard, landslide or earthflow with unstable soil conditions in accordance with requirements stipulated in the Zoning Bylaw.

Development Permit Area 3 - Riparian Area

Description and Exemptions

All lands within the boundaries of the City of Chilliwack are designated as Development Permit Area 3 (DPA 3) for the protection of the natural environment, its ecosystems and biological diversity, and in particular fish and fish habitats and riparian habitats, pursuant to Section 919.1(a), (b) and (i) of the Local Government Act.

Rationale for DPA Establishment

This DPA defines riparian assessment areas for the protection of fish habitats, based on the information of OCP Maps 8A and 8B, the Fish Protection Act and the Riparian Areas Regulation. It enables a site-specific, science-based assessment protocol for Qualified Environmental Professionals to establish consistent and appropriate requirements, conditions and standards regarding development within riparian assessment areas.

Objectives of this Development Permit Area

- To protect the biological functioning of riparian areas; and
- 2. To clarify the responsibilities of landowners regarding development of riparian areas.

Definitions:

For the purpose of this Development Permit Area, the following definitions shall apply:

- 1. "Active floodplain" means an area of land within a boundary that is indicated by visible high water mark or the water level of a stream that is reached during annual flood events.
- 2. "Development" means any of the following:
 - a. removal, alteration, disruption or destruction of vegetation
 - b. disturbance of soils
 - c. construction or erection of buildings and structures
 - d. creation of nonstructural impervious or semi-pervious surfaces
 - e. flood protection works
 - f. construction of roads, trails, docks, wharves and bridges
 - g. provision and maintenance of sewer and water services
 - h. development of drainage systems
 - i. development of utility corridors
 - j. subdivision under the Land Title Act or the Strata Property Act
- 3. "Qualified Environmental Professional" (QEP) means an applied scientist or technologist, acting alone or together with another qualified environmental professional.
 - a. The individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association:
 - The individual's area of expertise is recognized in the assessment methods set out in the Schedule to the Riparian Areas Regulations as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal; and

- c. The individual is acting within that individual's areas of expertise.
- 4. "Riparian assessment area" means the riparian area lying within the distance of a watercourse specified below in relation watercourse classes A through E.
- 5. "Top of bank" means the point closest to the boundary of the active floodplain of a watercourse where a break in the slope of the land occurs such that the grade beyond the break is flatter than 3:1 (3 horizontal / 1 vertical) at any point for a minimum distance of 15 meters measured perpendicularly from the boundary of the active floodplain.
- 6. "Top of ravine bank" means the first significant break in a ravine slope where the break occurs such that the grade beyond is flatter than 3:1 (3 horizontal / 1 vertical) for a minimum distance of 15 metres measured perpendicularly from the break, and the break does not include a bench within the ravine that could be developed.

Watercourse Classification:

The Watercourse Map (Map 8A) identifies the classification of the inventoried watercourses within the City of Chilliwack as follows:

<u>Development Permit Required</u>

As set out on the OCP Watercourse Map (Map 8A) and Village West Riparian Setbacks Map (Map 8B), the following activities require a Development Permit:

- Development within 30m of the top of bank of a watercourse classified as Class "A".
- 2. Development within 30m of the top of the bank of a watercourse classified as Class "B", where the existing or potential adjacent vegetation is continuously over 30m wide.
- 3. Development within 15m of the top of bank of a watercourse classified as Class "B", where the existing or potential adjacent vegetation is less than 30m wide.

- 4. Development within 15m of the top of bank of a watercourse classified as Class "C".
- 5. Development within 7.5m of the top of bank of a watercourse classified as Class "D".
- 6. Development within the setbacks from top of bank as indicated on the Village West Riparian Setbacks Map (OCP Map 8B).
- 7. Development within 30m of the top of bank of a watercourse classified on the Watercourse Map, as "E" (unclassified) unless it is tributary to Class "C" or "D" watercourse; in which case the distance shall be 15m to 7.5m respectively.
- 8. Development within 30m of the top of bank of an unmapped watercourse identified at time of development unless it is tributary to Class "C" or "D" watercourse; in which case the distance shall be 15m and 7.5m respectively.

Exemptions

The following activities are exempted from the requirements for a Development Permit:

- 1. Farming operations as defined in the Farm Practices Protection Act;
- Reconstruction or repair of a permanent structure remaining on its existing foundation; and
- 3. Development not associated with or resulting from residential, commercial or industrial activities.

The above exemptions do not remove setbacks requirements from watercourses stipulated by the City of Chilliwack Floodplain Regulation Bylaw that is in force from time to time. In the event of any inconsistency between the guidelines of this DPA and other DPAs, the former shall prevail.

Guidelines

 In compliance with the Riparian Areas Regulation, development may be permitted if the City is notified by the appropriate federal and provincial ministries that they have been notified of the development proposal, and provided with a copy of an assessment report prepared by a QEP that:

- a. Certifies that they are qualified to carry out the assessment;
- Certifies that the assessment methods set out in the Schedule to the Riparian Areas Regulation have been followed; and,
- c. Provides a professional opinion, that if the development is implemented as proposed or if the streamside protection and enhancement areas identified in the report are protected from the development and the measures identified in the report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area;

2. The City may include:

- a. development permit requirements or conditions;
- b. standards in accordance with s.920.(7) of the Local Government Act, vary;
- c. a bylaw under Division 7 or 11 of the Local Government Act, and
- d. conditions respecting the sequence and timing of construction, in order to give effect the protective measures identified in the report of the QEP.
- 3. In the event that a harmful alteration, disruption or destruction of fish habitat (HADD) cannot be avoided, development may be permitted if the Minister of Fisheries and Oceans or a regulation under the *Fisheries Act* (Canada) authorizes the harmful alteration, disruption or destruction of the riparian assessment area that would result from the implementation of the development proposal.

Development Permit Area 4 – Farm Home Plate

Description and Exemptions

DPA 9 is designated under Section 488 (1)(c) of the *Local Government Act*, for the protection of farming, and comprises all valley floor farmland, as shown on DPA Map 9.

- 1. Within the designated area, the following activities will require a development permit prior to commencement:
 - a. construction of a residential building, structures, or residential amenities which do not conform with the established Zoning Bylaw siting regulations for a farm home plate.

A "farm home plate" is an area of the property where all residential and related buildings, structures, and activities are clustered, leaving the balance of the property for agricultural use. This includes homes and ancillary uses, including detached garages or carports, attached or detached household greenhouses or sunrooms, residential related workshops, tool and storage sheds, artificial ponds not serving farm drainage or irrigation needs and landscaped areas associated with the residential use, recreation areas including but not limited to tennis courts and pools, and septic tanks and other related facilities, excluding sewerage disposal fields.

- 2. The following activities are exempted from the requirement to obtain a DP:
- Agricultural activities including farm related buildings and driveways for equipment operation (e.g. silos, barns, greenhouses, etc.)
- Development of a residential unit above an existing building, where permitted.

Rationale for DPA Establishment

Residences and other farm buildings on agricultural land may reduce the amount of land available for agricultural production; make production less efficient; or place limits on agricultural operations on adjacent properties. The City's zoning standards for the siting and area of farm home plates are intended to minimize the impact of residences and related buildings and activities on agricultural land and ensure agricultural land is retained for agriculture in the long term. However, as these standards may not be achievable due to specific site characteristics, this development permit area provides for alternative home plate siting, in keeping with established guidelines.

Objectives

- To minimize the impact of residences and related buildings and activities on agricultural land
- To retain agricultural land for agricultural uses in the long term

Guidelines

- 1. Alternative siting for a farm home plate is supportable with the goal of using a minimum farm land area as possible:
 - Variations in siting are desired to allow the clustering of farm homes with farm buildings for efficiency or security of operations (e.g. to tend dairy cows or to watch over valuable equipment);
 - b. Construction of a home is proposed to take place on higher ground to meet floodplain requirements or avoid a hazardous area;
 - c. Increased maximum setbacks for an equivalent home plate are warranted due to narrow or irregular shaped lots, including panhandle lots;
 - d. A home must be located adjacent to a septic field and/or disposal field that cannot be situated within the home plate area due to ground conditions;

- Easements utility corridors, riparian areas, or other physical features prevent the location of a farm plate within the area established by the zoning bylaw;
- A shared driveway to support farm operations and a house are proposed (dual purpose);
- c. For minor additions to existing homes which may not conform to farm home plate standards established by the zoning bylaw.
- 1. Proposals will not be supported to:
 - Facilitate increases in total allowable farm home plate area under the zoning bylaw;
 - b. Allow placement of a home outside of a farm home plate area for reasons that do not support farming of the parcel (e.g. for aesthetic reasons personal preference, or where no physical impediments exist (e.g. watercourse, utility corridor, etc.); or,
 - c. Locate the home in the middle of the property.

DEVELOPMENT PERMIT AREAS -HILLSIDE DEVELOPMENT, MIXED-USE, RESIDENTIAL, COMMERCIAL, INDUSTRIAL FORM AND CHARACTER

A principal goal of the OCP is to create a visually enhanced community through the redevelopment of existing built areas and the development of new sites. The following Development Permit sites are intended to foster revitalization and establish guidelines for the form and character of hillside development, mixed-use, residential, commercial, and industrial. Design guidelines for mixed-use, residential, commercial, and industrial are found in Schedule B.

Development Permit Area 5 - Hillside Development

Description and Exemptions

The City of Chilliwack in its entirety forms

Development Permit Area 5 for the purpose of:

- protecting the natural environment, its ecosystems and biological diversity;
- protecting development from hazardous conditions; and
- establishing objectives for the form and character of intensive residential, multi-family residential, commercial and industrial development.

A Development Permit is required for the following works and activities:

- Subdivision of land with 20% or greater slopes and zoned for residential, commercial, industrial or institutional use; or
- 2. New earthworks and construction on land with 20% or greater slopes zoned for residential, commercial, industrial or institutional use.

In addition a third party review of the application will be required per the City's Development Approval Information Bylaw where the subject development proposal involves 30% or greater slopes.

A Development Permit is not required where:

- 1. The subject property contains only areas with natural slopes less than 20 percent;
- Development activities are restricted to areas with natural slopes less 20 percent, and any areas with slopes of percent or more are permanently protected through dedication, registration of a covenant, or other acceptable method; or,
- 3. Construction only involves fences or single-tier retaining walls of less than 1.2 metres in height.

Rationale for DPA Establishment

The establishment of this Development Permit Area is to ensure that development, while it may be accommodated, must respond to the steeper slope context in a sensitive and flexible manner. It emphasizes the protection of the natural environment, the protection of development from hazardous conditions, and the preservation of the character and beauty of Chilliwack's hillside areas.

Nothing in the following DP Guidelines require the City to issue a DP where it remains concerned that the requirements have not being satisfactorily addressed.

Objectives

The objectives of DPA 5 are to ensure that new hill-side development:

- 1. Positively contributes to Chilliwack's hillside character;
- 2. Integrates seamlessly with its hillside context through context-sensitive design approaches;
- 3. Preserves the aesthetic values of Chilliwack's scenic "green backdrop";
- 4. Respects views both to and from the hillside;
- 5. Provides safe access and services that fit the hill-side context;
- 6. Maintains many of the unique features of the hillside, such as rock outcrops, watercourses, ravines, mature trees and vegetation, and ridgelines;

- 7. Protects wildlife habitat and environmentally sensitive areas;
- 8. Avoids unstable or hazardous portions of the hillside and provides protection against slope instability and erosion; and,
- 9. Uses economic and efficient approaches to construction and maintenance.

Guidelines

1. Unique Natural Characteristics

1.1 In the development concept plan, identify and integrate natural site characteristics such as rock outcrops, watercourses, wetlands, ravines, mature stands of trees, and significant wildlife habitat.

2. Ridgelines:

- 2.1 Preserve the natural qualities of ridgelines for the benefit of the community-at-large. To minimize view impacts to the ridgeline, development should:
 - a. provide additional setbacks from the top of the ridgeline; and/or
 - b. preserve or plant trees and vegetation to screen development; and/or
 - reduce building height to ensure that new development has a low profile on the ridgeline.

3. Trees and Vegetation:

- 3.1 Clearly identify tree clearing limits in the Development Concept Plan.
- 3.2 Identify and preserve stands of trees and vegetation.
- 3.3 Complete a Tree Management Plan and plant new trees in accordance with the provisions of the City's Tree Management (Land Development) Bylaw.

4. Restoration of Disturbed Areas:

- 4.1 Restore disturbed areas as soon as possible and prior to occupancy in accordance with a re-vegetation plan that is prepared by a registered landscape architect (BCSLA) and designed specifically to promote plant health, mitigate erosion, and offset any visual impacts of hillside development.
- 4.2 Intensely landscape each lot, with particular attention to areas adjacent to street frontages and areas adjacent to retaining features.
- 4.3 Use native plant materials to the greatest extent possible.
- 4.4 Limit the use of irrigation. Where irrigation is essential, water conserving principles should be employed in the design of the irrigation system. In addition automatic shut-off valves should be provided for all irrigation systems to prevent risk of accidental erosion due to system failures.
- 4.5 Replace trees and vegetation in a manner that replicates the characteristics and performance of the natural setting, including the provision of a sufficient density of trees (as specified in the City's Tree Management Bylaw), sufficient ground cover, and intensity of vegetation. Trees should be planted in organic clusters rather than in lines or formal arrangements.
- 4.6 Replace trees and vegetation in such a way that they reach maturity in a 10 year time frame.
- 4.7 Manufactured slopes should not appear engineered but should blend with existing slope conditions.
- 4.8 Re-vegetation should consider viewscapes from the hillside.
- 4.9 When restoring disturbed areas, adequate depth of growing medium should be provided in accordance with the specifications of the BC Landscape Standard.

5. Lot Size and Configuration:

- 5.1 Cluster development as a means of minimizing site disturbance, protecting open space in steeper areas, and protecting the natural environment.
- 5.2 Where possible, direct higher density development, including small lot single-detached residential and townhouses, towards areas with less steep slopes that are most easily developable.
- 5.3 In general, locate the majority of hillside development in areas with natural slopes of less than 30%, and preserve open space in areas with natural slopes of 30% or more, where there are greater inherent risks associated with development.
- 5.4 Utilize alternative lot configurations (e.g. wide/shallow lots) to reflect unique site conditions.

6. Parks, Open Space and Trails:

- 6.1 Retain natural hillside features as a means of creating unique park spaces.
- 6.2 Avoid extensive grading when creating parks, trails and open spaces.
- 6.3 Preserve contiguous open space networks to provide habitat linkages within the site and to neighbouring areas. Where practical these networks should be integrated into existing riparian corridors.
- 6.4 Utilize trails to connect parks and schools as well as parts of the community that cannot be linked by roads due to topographic constraints.
- 6.5 Locate key park spaces to capitalize on scenic views from the hillside.
- 6.6 Set up barriers with clear warning signage to discourage the public from accessing slopes that are considered dangerous.

7. Roads:

- 7.1 Align roads to follow natural site contours, conforming to topographic conditions rather than cutting across contours.
- 7.2 Provide for reduced design speeds (minimum 40 km/hour on collectors and arterials and minimum 30 km/hour on local roads) and increased road grades (maximum 15%) where it can be demonstrated that design measures will be employed to help ensure that travelled speeds remain close to the posted speed limits through reduced straight sight distances and road geometric design.
- 7.3 Utilize connectivity in the road network over long cul-de-sacs and "dead-end" situations where topographic conditions permit.
- 7.4 Utilize alternative approaches to turnarounds (e.g. hammerhead configurations) to reduce the amount of required grading works.
- 7.5 Allow cul-de-sac length to be increased where connectivity in the road network is not possible due to topographic conditions, provided that appropriate emergency access is constructed. Emergency vehicle access lanes shall generally have a minimum hard packed surface width of 4 metres and a cleared width of 6 metres.
- 7.6 Utilize split roads and/or one-way roads to preserve significant natural features, to reduce the amount of slope disturbance, or to improve accessibility to individual parcels.
- 7.7 Require one-way roads to have a minimum pavement width of 6 metres and a minimum right-of-way of 10 metres.
- 7.8 Utilize reduced pavement widths and rightof-way widths (e.g. local road with minimum pavement width of 6 metres plus parking bays and minimum right-of-way of 12 metres) where service levels and emergency access can be maintained. The reduced widths should demonstrate less slope disturbance, and the reduced widths should contribute to the overall neighbourhood character.

7.9 Encouraging meandering sidewalks adjacent to the road as a means of eliminating long, sustained steeper grades, preserving natural features, or reducing grading requirements within the right-of-way. Varied offsets between the road and sidewalk will be considered for these purposes.

8. <u>Driveways and Lanes:</u>

- 8.1 Individual driveway grades up to 20% may be permitted where site conditions warrant and where it can be demonstrated that grade transitions will ensure good vehicular access.
- 8.2 Ensure the first 3.5 m on a downslope driveway has a grade no greater than 7%.
- 8.3 Lanes and shared driveways may be permitted where significant site grading can be reduced with the following provisions:
 - a. Grades should not exceed 14%.
 - b. Single in and out lanes, and shared driveways should be limited to servicing 6 lots and they should include turn around provisions.
 - c. Through lanes and shared driveways may service up to 15 lots.
 - d. Minimum paved lane width shall be
 4.0m with widening where necessary to permit safe vehicle movements.
 - e. Lane design must allow for access by emergency, garbage collection vehicles, and moving vehicles at a design speed of 20 km/hour.
 - f. One on-site guest parking spot must be provided per lot serviced.
 - g. Where house frontage is not visible from the street, civic addresses must be placed on a sign that is visible from the street.
 - h. For shared driveways, an appropriately sized and located area will be required for common garbage and recycling

- pick-up from the road. Space must be provided to allow for a vehicle to pull off the road to access this area.
- 8.4 Rear lanes are encouraged particularly on the high side of lots, in order to allow for stepping of buildings, eliminate the need for steep driveways, and to allow for retaining features and/or reduced grading requirements in front vards.
- 8.5 Driveway widths should not exceed 3.5m at the curb face, in order to minimize grading requirements.

9. Building Siting and Orientation:

- 9.1 Orient buildings so they run parallel with the natural site contours to reduce the need for site grading works and to avoid high wall facades on the downhill elevation.
- 9.2 Site buildings to minimize interference with the views from nearby (uphill) buildings.

10. Earthworks and Grading:

- 10.1 Maintain yard areas in a natural slope condition. Large cuts and fills to achieve flat yards will not be permitted.
- 10.2 Ensure cuts and fills blend in with the natural topography, providing smooth transitions and mimicking the pre-development site contours. This can be accomplished by providing berms, grading the site to reflect original topographic conditions, and providing landscaping that mimics the site topography.
- 10.3 Re-vegetate manufactured slopes to reflect natural conditions.
- 10.4 Rock cuts are an acceptable alternative to retaining and they will be permitted where necessary (i.e. for roads) but with consideration for the visual impact of the exposed rock faces.

Lot grading should be provided on a consistent, comprehensive basis throughout the whole of the development. Grading should not be undertaken on a parcel by parcel basis: all grading and retaining should be completed by the master developer, and at an individual parcel level, there should not be a requirement for builders to manipulate land.

11. Retaining:

- 11.1 Retaining materials should evoke a sense of permanence and reflect natural qualities in appearance through the use of context-sensitive materials (i.e. stone, masonry, brick, etc.), colours, and textures. Large concrete lock block is not considered to be a context-sensitive retaining material, and if used, it must be masked or screened (e.g. through the use of landscaping).
- 11.2 Retaining walls should generally be curvilinear and follow the natural contours of the land.
- 11.3 Utilize terracing of retaining walls to break up apparent mass and to provide planting space for landscaping features.
- 11.4 Use systems of smaller, terraced retaining walls where significant retaining is necessary, rather than providing a single, large, uniform wall. The height and depth of terraced walls shall be consistent with the natural terrain and the general predevelopment slope conditions above and below the walls.
- 11.5 Provide landscaping to screen or supplement all retaining features.
- 11.6 Minimize the height of retaining walls. In site-specific circumstances, high walls may be permitted where warranted. Retaining walls over 1.2m in height should either be terraced with landscaped tiers, be screened by landscaping, have a unique surfaced texture/pattern, or use innovative design techniques (e.g. green retaining wall systems primarily on southern exposures)

to mitigate visual impacts. Note that for proposed walls in excess of 1.2m the developer will be required to show that the wall is essential to accommodating road geometry.

12. Building Mass and Height

- 12.1 Utilize a range of design tools to reduce apparent building height and mass. Options include:
 - a. Stepping the building foundation to reduce site grading and retaining requirements (i.e. buildings should be set into the hillside and integrated with the natural slope conditions);
 - Avoiding single vertical planes in excess of two storeys;
 - c. Varying rooflines;
 - d. Articulating buildings;
 - e. Avoiding unbroken expanses of wall;
 - f. Designing buildings in smaller components that appear to fit with the natural topography of the site;
 - g. Designing roof pitches to reflect the slope of the natural terrain (i.e. angling roof pitches at slopes that are similar to those of adjacent slopes).

COMPREHENSIVE PLANS

The following comprehensive plans are attached and form part of this bylaw (Schedule D - Neighbourhood Plans):

- Downtown Land Use and Development Plan
- Eastern Hillside Comprehensive Area Plan
- Agricultural Area Plan
- Alder Neighbourhood Plan
- Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- Sardis Neighbourhood Plan
- South Vedder Neighbourhood Plan
- Yarrow Neighbourhood Plan

DEVELOPMENT APPROVAL INFORMATION

For the purpose of Section 920.01 of the *Local Government Act*, development approval information may be required under any of the following circumstances:

- 1. The development results in any of the following:
 - a. a change in the Official Community Plan land use designation;
 - b. a change in zoning;
 - c. a requirement for a development permit; or,
 - d. a requirement for a temporary use permit;
- 2. The development may result in impacts on:
 - a. transportation patterns and traffic flow;
 - infrastructure including sewer, water, roads, drainage, street lighting and other infrastructure;
 - c. public facilities such as schools and parks;
 - d. community services; or,
 - e. the natural environment;
- The development could result in other impacts that may be of concern to the residents of City of Chilliwack, City staff or City Council.
- The information is essential to meeting the Geotechnical and Floodplain Report Guidelines and/or other technical report guidelines that are administered by the City.

The main objective of the above provisions is to ensure that applicable studies and relevant information are provided to the City prior to development, in order for the City to evaluate the impact of the development on the com-munity.

The types of studies that may be required include but are not limited to the following:

- 1. transportation impact studies;
- 2. infrastructure studies;
- 3. studies on the impacts on public facilities;
- studies on impacts on community services;
- 5. environmental impact studies; and
- 6. studies that identify the impacts on other matters that are identied as a concern to the residents of the City of Chilliwack, City staff or City Council.

ADMINISTRATION

Authority and Interpretation

- 1. City council is given the responsibility and authority to create and adopt an Official Community Plan under the Local Government Act. The Local Government Act outlines the content and function of Official Community Plans.1.
- 2. This Plan applies to the land and surface of the water within the City of Chilliwack.
- 3. The exact location of symbols or boundaries shown on most maps in this Plan will be legally defined by zoning bylaws enacted over time by City Council.
- Any reference of proposed public facilities on private lands is to be considered as a broad objective only.
- 5. Where matters are outside the jurisdiction of Council, this Plan states broad community objectives. This Plan cannot and does not represent a commitment from other agencies to act according to community objectives.
- 6. It is intended that this Plan consists of objectives and policies for action that achieve the stated objectives. Actual priorities and the level and t iming of implementation will be dependent on future discretionary decisions made by successive Councils and the resources available to them.

- 7. Where a word is not specifically defined, then its meaning is the same as indicated by BC legislation or the Oxford Dictionary.
- 8. Metric measurements are used in this Plan. Except for the development permit areas, they should be considered approximate measures that will serve as a general guide for the future development of more specific land use bylaws.
- 9. The Chief Administrative Officer of the City of Chilliwack or other officer appointed by Council will administer the provisions of this Plan.

SEVERABILITY

If any part of this bylaw is for any reason held to be invalid by the decision of any Court of competent jurisdiction, the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder.

OCP REVIEW SCHEDULE

This OCP should be reviewed when the City's population reaches 100,000 and Chilliwack becomes a census metropolitan area. The City may also review their Official Community Plan as circumstances warrant.



development permit area

DPA Map 1A	Sardis Vedder Aquifer
DPA Map 1B	Vedder River Fan
DPA Map 1C	Municipal Watershed: Volkert Creek, Yarrow, Majuba Hill
DPA Map 1D	Municipal Watersheds: Elk Creek and Dunville Creek
DPA Map 2A	Promontory, Ryder Lake and Eastern Hillsides
DPA Map 2B	Little Mountain
DPA Map 2C	Chilliwack Mountain
DPA Map 2D	Majuba Hill and Vedder Mo <mark>un</mark> tain
DPA Map 4	Farm Home Plate

schedeles

Schedule A - Regional Context Statement

Schedule B - Form and Character Design Guidelines

Schedule C - Neighbourhood Plans

- 1. Downtown Land Use and Development Plan
- 2. Eastern Hillsides Comprehensive Area Plan
- 3. Agricultural Area Plan
- 4. Alder Neighbourhood Plan
- 5. Chilliwack Proper and Fairfield Island Neighbourhoods Plan
- 6. Sardis Neighbourhood Plan
- 7. South Vedder Neighhourhood Plan
- 8. Yarrow Neighbourhood Plan

Schedule D - Growth Projection Tables

(All Schedules are located at the end of the report.)



6 DOWNTOWN

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



Area

Development occurring within the downtown area as identified in the map below is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(d) of the *Local Government Act*.



Introduction

The Chilliwack Downtown Design Guidelines have been developed to implement the Official Community Plan and the Downtown Land Use and Development Plan. The Downtown Land Use and Development Plan articulates a clear vision for Downtown Chilliwack to be an attractive, vibrant, and safe neighbourhood. Through the implementation of the Downtown Design Guidelines, the City of Chilliwack is committed to ensuring that development enhances the character and quality of the downtown and creates a pedestrian environment that is memorable and engaging for residents and visitors alike.

The Chilliwack Downtown Design Guidelines highlight and recognize the unique character of the downtown core and encourage the restoration and enhancement of buildings of heritage value by property owners as a means of celebrating Chilliwack's unique and significant cultural heritage, while providing direction for new development.

Overall, the guidelines recognize that the unique character of the downtown can be creatively enhanced without the need for replication of historical styles and techniques. New development is encouraged to utilize the form, proportion, pattern, and detailing of architectural features to form a cohesive design fabric with existing development.

Justification

The designation of this Development Permit Area supports revitalization of the historic downtown core and preserves its heritage character embodied in the Wellington Avenue, Yale Road East, Mill Street and Main Street corridors. It emphasizes a holistic approach that balances urban building and streetscape design with community event programming, healthier community initiatives, and economic development / promotion. Whereas the downtown Business Improvement Association promotes the downtown on behalf of merchants, these design guidelines aim to retain the downtown's walkable main street character, and differentiate it from the vehicle-oriented design of shopping centres and big box retail stores.

Objectives and Goals

- 1. To enhance the image of the downtown as a retail and service center.
- 2. To maintain and foster the downtown's unique main street character, and advance downtown economic and cultural objectives through:
 - a. control of the design of new infill buildings and alterations to existing heritage designated buildings;
 - control of future development to ensure consistency with the established for and character of the areas;
 - c. maintenance and enhancement of the pedestrian-orientated streetscape.

The Chilliwack Downtown Design Guidelines are tools that advance municipal policy to facilitate future development that adds to the vitality of the downtown core. The guidelines aim to promote the Downtown Land Use Development Plan's vision of a vibrant and attractive mixed use core where new development complements the current form and character of downtown Chilliwack. Buildings should have their own 'personality,' yet be sensitive to the surrounding built forms and streetscapes.

The Downtown Design Guidelines aim to create places for people to enjoy in the heart of Chilliwack by promoting the development of built form that contributes to the life, activity, and visual interest of the pedestrian environment. The guidelines also serve as an educational tool and resource demonstrating how sympathetic contemporary architecture can complement Chilliwack's unique historic character.

Requirements and Exemptions:

The following requires a Development Permit:

- Subdivision of land zoned for intensive residential (rowhouses and single family attached dwellings
 where developed in conjunction with a rowhouse or townhouse development), multi-family
 residential, commercial or industrial use.
- Alterations to existing buildings or new construction on land zoned for intensive residential
 (rowhouses and single family attached dwellings where developed in conjunction with a rowhouse or
 townhouse development), multi-family residential development, commercial or industrial use
 including exterior renovation or restoration of a building façade and installation of signs, awnings
 and canopies.
- 3. Consolidation of any parcel that is partially or wholly within this Development Permit Area.
- 4. Exterior building protection on street facing portions of a building (excluding lanes).

The following are exempt from a Development Permit:

- 1. Interior works which do not affect the size or materially affect the external appearance of the building.
- 2. Demolition, including the removal of awnings and canopies.
- 3. Exterior repairs or non-structural alterations where the original materials are either salvaged and reused or replicated by new materials.
- 4. Window decals with 25% or less window coverage.
- 5. Interior building protection that is transparent

Design Guidelines:

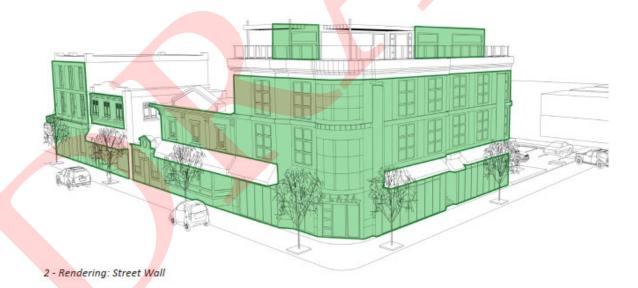
The following guidelines will be considered when setting Development Permit conditions.

Site Planning

Ensure development components (buildings, access and parking) are organized and grouped to be easy to understand and navigate, and to directly integrate both visually and physically to adjacent buildings and the public realm.

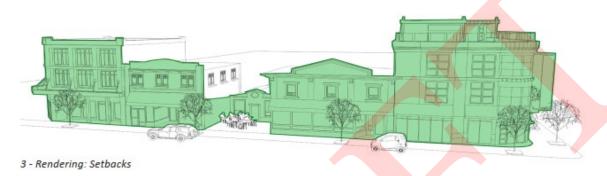
Building Siting

- **D-1 Orientation** Buildings shall be oriented towards the street. In order to contribute to a strong pedestrian experience, the primary building elevation shall face the street, with the windows and main entrance visible and accessible from the street.
- D-2 Street Wall Buildings shall be aligned parallel to the street edge and should incorporate a unified streetscape by maintaining a consistent street wall that defines the public realm and provides a positive environment for pedestrians.



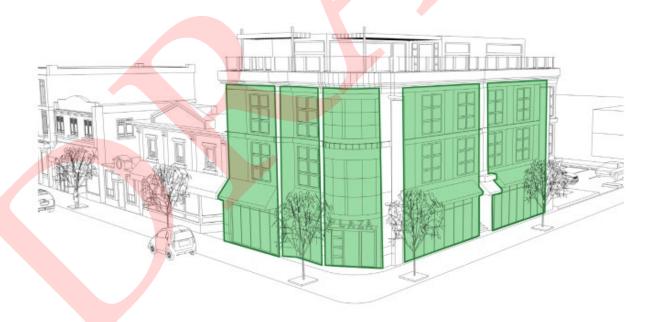
D-3 Setbacks – Buildings shall be located close to the back of the sidewalk. Front setbacks should be eliminated in order to create a strong relationship between building form and the public realm. Setbacks will not be permitted to accommodate front yard parking.

If any setbacks from the front property line are proposed, they should be used to animate outdoor space through the development of outdoor seating, plaza area, or display space. Small front setbacks will also be permitted if required to allow for elevation gain to building entryways in order to meet the requirements of the City of Chilliwack Floodplain Bylaw.



Building Form

D-4 Mass – Development should increase the animation and visual interest along the street by breaking down the mass of buildings into smaller pieces.
 Expansive walls should be divided into smaller sections that look unique.



4 - Rendering: Mass

D-5 Height – Building form within the downtown core should be sensitive to its surrounding context and should minimize sunlight loss to neighbouring streets,

parks and open spaces. Roof lines should be varied to create visual interest and to break down the sense of building mass along the street.

Buildings taller than three storeys shall incorporate a 3.0 m setback above the third storey to create a podium along the street frontage. The podium must be strongly connected to the pedestrian realm and must minimize sunlight loss at the street level.

Where tall buildings are permitted, the applicant must illustrate how buildings have been arranged and designed to minimize sunlight loss to important public spaces including: parks, open spaces, streets, and sidewalks. A sunlight study may be required to illustrate potential impacts. For the tower component of developments with tall buildings, the use of slender towers with small floor plates is encouraged.

Outdoor amenities are encouraged on the roof tops of tall buildings and on building podiums in order to promote active living, 'eyes on the street', and community safety.



5 - Rendering: Height

Active Frontages

Ensure the ground floor of street-fronting development has the character and qualities necessary to engage pedestrians, facilitate safety and create a vibrant streetscape.

D-6 Transparency – The majority of the ground floor front façade should be transparent in order to animate the street and to improve downtown safety.

Glazing should be of transparent material with a low reflective property, and the use of safety glass (e.g. tempered glass) is encouraged. From the street, pedestrians should have a clear view into the ground floor use.



6 - Rendering: Transparency



Photo 1 - Interior retail components can be seen from the street



Photo 2 - Transparent storefront display



Photo 3 - Views from inside the store can help promote safety on the street

D-7 Articulation – Façade treatments within the streetscape should be diverse in order to increase visual interest for pedestrians. Development on the ground level shall be visually distinguishable from the upper levels. Buildings are encouraged to utilize architectural detailing such as window designs, difference in materials, cornices, colours, or other techniques to differentiate between the base and upper sections of a building.

The base section shall contribute directly to the pedestrian realm by establishing scale and character at the street level, and the upper section shall contribute to the overall downtown streetscape and design.

Balconies should be incorporated partially or wholly into the building structure and standalone balcony projections are discouraged.



7 - Rendering: Articulation



Photo 4 - Different materials and colours used to clearly differentiate between the lower and upper levels of the building



Photo 5 - Differing façade treatments between the upper and lower levels of development



Photo 6 - Window size and façade treatments create contrast between the lower and upper levels of the building

D-8 Entrances – Entrances shall be clearly marked and easy to find. The main entrance should be visible from the street and should be prominently shown on the street-facing building elevation. Special detailing around the entrance is encouraged in order to highlight the main entryway.



8 - Rendering: Entrances



Photo 7 - Distinctive corner treatment highlights building entrance



Photo 8 - Entrance that incorporates different treatment than rest of building



Photo 9 - Entrance easily accessed by pedestrians directly off of a main street

D-9 Corners – Where a development is located on a corner property or at the end of a block, special consideration should be given to the side elevations and corners of buildings. The building should be located close to the intersection in order to anchor the corner.

Development should incorporate tapered corner treatments that increase the pedestrian space and address the intersection, avoiding sharp, blind corners that are difficult to navigate and reduce public realm space. The building should also take advantage of high-visibility intersections and corner lots as an opportunity to act as a gateway or landmark.



9 - Rendering: Corners



Photo 10 - Curved corner treatment



Photo 11 - Use of different materials and colours to create a distinctive building corner



Photo 12 - Use of banding to emphasize building corner

Access & Circulation

People arrive to the downtown using all forms of transportation ranging from walking to cycling, driving a car to taking transit. Development needs to be organized to ensure access and parking (whether bike or car) is intuitive and convenient without compromising the pedestrian character of the site and surrounding development.

D-10 Site Access – Ensure the site is easy to access for the pedestrian, cyclist and driver. Driveway access to automobile parking areas shall be provided from side streets or laneways. Parking areas for vehicles must be clearly marked and easy to locate, access, and navigate.

Driveways across primary pedestrian areas should be avoided in order to maintain continuous sidewalk and a consistent streetscape.

A minimum 1.5m wide hard surface sidewalk should be provided from the public highway or public sidewalk to each dwelling unit or building, and be clearly separated from any roadways, driveways, parking lots, parking spaces, and maneuvering aisles, by curbing.

D-11 Parking Facilities – Developments are encouraged to incorporate on-site bicycle facilities. Bike racks should be highly visible and provided close to building entrances. Bike rack design should be reflective of the associated building and landscaping, as well as the surrounding downtown context and character.

Surface parking lots should be located behind development, in order to preserve the frontage for built form with active land uses or for use as vibrant outdoor spaces. Special attention will be required to ensure pedestrians can have direct, easy and safe access to ground floor store fronts and sidewalks.

Where a rear surface parking lot abuts the street, landscape buffers and/or decorative screening will be required to enhance the surrounding pedestrian environment.

Existing street parking facilities should be preserved and used to slow speeds within the downtown area and to act as a buffer between sidewalks and the road.



10 - Rendering: Parking Facilities

D-12 Alley Redevelopment – Redevelopment in downtown alleys is encouraged to activate rear lanes, to utilize available space efficiently and to create interesting and inviting spaces for pedestrians. Redevelopment should improve alleyway safety and should creatively contribute to the character and quality of the downtown.



Photo 13 - Inviting rear laneway



Photo 14 - Creative use of building forms to activate rear lane area



Photo 15 - Use of vegetation to activate rear laneway

Architectural Character

Ensure the design treatments applied to the built form contribute to the interest, comfort, vitality and character of downtown Chilliwack creating a unique and memorable experience for residents and visitors alike.

D-13 Façade treatment – Front façades should address the street, complement adjacent development and reinforce a positive pedestrian environment. The front façade is the primary portrayal of the building seen from the street; therefore, it is critical that the front façade is well designed and contributes to the overall streetscape.

A secondary façade is any side of a building that does not have a primary entrance to the street and is typically a side or rear façade that is generally less ornate than the front façade. Secondary façades should enhance the overall building design and should not be left untreated. Property owners are afforded more flexibility in the treatment of secondary façades and in the use of colour on secondary façades. Secondary façades provide an opportunity for the creative design of lesser used areas and for the incorporation of public art or murals within the streetscape.

Regardless of treatment, secondary façades should be adequately detailed, should not detract from the front façade, and should contribute to the overall character and quality of Downtown Chilliwack.



Photo 16 - Front façade treatment that contributes to the pedestrian environment



Photo 17 - Use of mural on rear façade of building



Photo 18 - Creative treatment of secondary façade

D-14 Windows and Doors – The form, proportion, pattern and detail of windows and doors should be complementary to the surrounding context.

Windows should be largest at the ground level and should incorporate clear glazing that encourages views from the street into the active uses. Upper levels will feature smaller windows that incorporate a symmetrical pattern and detailing. The use of glass block masonry is not permitted on the ground floor and is discouraged on all other levels of the building.



11 - Rendering: Windows & Doors



Photo 19 -Complementary form and proportion of building windows

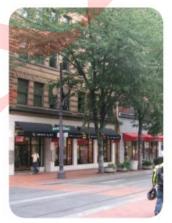


Photo 20 - Symmetrical patterning and detailing of lower and upper level windows



Photo 21 - Windows with clear glazing encouraging views to and from the street

D-15 Awnings and Canopies – Awnings and canopies are design elements used as a form of protection from the elements and a pedestrian amenity in the downtown core. Material and design of awnings and canopies are flexible, however, chosen materials and design should be reflective of the surrounding downtown context and character.

Awnings and canopies may be either fixed or retractable, and do not need be continuous across multiple commercial frontages, but instead may highlight entrances, windows, or patio spaces. They should be located a minimum of 2.5 m (8 ft) above the sidewalk to the lowest structural element, with a minimum setback of 0.6 m (2 ft) from the curb face and no minimum projection.

Awning and canopy colours and fabrics should respect the colour palette of the building to which it is affixed, as well as the general colour scheme of the surrounding streetscape. The use of a variety of colours and patterns and/or backlighting is permitted; however, colours and fabrics should be complementary to the broader image of the downtown core. The use of bright primary colours or patterns, or overly lit awnings and canopies is discouraged.



12 - Rendering: Awnings & Canopies



Photo 22 - Use of awning as an architectural feature create interest within the streetscape



Photo 23 - Use of traditional awning



Photo 24 - Contemporary glass canopy

- **D-16 Materials** New development is encouraged to utilize building materials that reflect the natural characteristics of the surrounding landscape and contribute to the existing downtown character. For exterior building finishing, materials such as masonry, wood and metal are preferred.
- D-17 Signage Signage is a critical visual element used to promote and identify businesses and to contribute to the visual character and ambience of Downtown Chilliwack. As such, it is important that signage throughout the downtown core is of high quality. Signage may take a number of forms including: fascia, projecting, awning, window, and freestanding signage.

Individual signage design is encouraged to be creative and innovative while respecting the overall character of the downtown. Signage colours must complement the overall downtown streetscape and the building to which it is affixed. In general, preference is given to unique and visually appealing externally lit signs in the downtown core. The use of plain, backlit box signs is discouraged.

Ultimately, the scale, type, and number of signs permitted on any given building is governed by the City of Chilliwack Sign Bylaw.



13 - Rendering: Signage



Photo 25 - Corporate logo use in an urban setting



Photo 26 - Use of upright signage that is in keeping with downtown character



Photo 27 - Use of colour in signage

D-18 Colour – The strategic use of colour on buildings is encouraged to support a vibrant and visually attractive downtown streetscape; however, development should ensure sensitivity to the surrounding downtown context.

Buildings should incorporate a colour scheme composed of up to four complementary colours to create visual interest and highlight architectural features. Single colour paint schemes are discouraged and should be avoided.

The dominant colour applied to majority of the façade should be more subdued and muted while more dynamic and contrasting colours are encouraged to be used for defining architectural features or trims, such as window frames, door frames, and mouldings, as appropriate. The large-scale use of colour accents shall be limited to the ground floor and should complement the colour schemes of adjacent buildings. Bold primary colours should not be used on the majority of the façade.

D-19 Lighting – Lighting is an important design element used to convey the intimacy, character, comfort and safety of the downtown area. Ground level lighting must be used to improve street level ambience and pedestrian safety.

The use of lighting as a method of enhancing the appearance of the structure during hours of low light conditions is encouraged. Lighting affixed to buildings provides the opportunity to highlight architectural elements, unique building features, and building signage.

D-20 Window Decals – Window decaling is permitted, where it prioritizes transparency and aesthetic design and avoids dominating the building design, to promote visual character and safety. Window decal standards are based on maximum window coverage – total portion of window space used – and apply to a group of connected windows, including glass doors.

The following is permitted:

- 25% maximum solid graphic decal or
- 40% maximum perforated decal no less than 50% transparency (50/50-vinyl/perforation) or
- 40% maximum frosted decal or
- 40% maximum tinted decal no less than 40% transparency

5% maximum solid graphic decal can be included in the total 40% maximum for perforated, frosted, or tinted decals.

Variances may be sought for creative and aesthetic designs that achieve a high level of transparency and avoid dominating the building character. Third party advertisement is not permitted.

Definitions:

Solid Graphic decal: solid image including text and colour blocks with no transparency

- Tinted decal: semi-transparent tinted film
- Frosted decal: no transparency; lets lights in but you can't see in or out
- Perforated decal: semi-transparent with openings



Perforated



Approximately 25% solid graphic decal



Approximately 25% solid graphic decal



Approximately 25% solid graphic decal



Approximately 40% perforated decal with 50% transparency



Approx<mark>imately 40% frosted decal which includes a 5% solid graphic decal and the control of the </mark>



Approximately 40% tinted decal which includes a 5% solid graphic decal

Examples of decals where a variance may NOT be supported due to low transparency and a dominant impact on building character.









Examples of decals where a variance MAY be supported due to a creative and aesthetic design that maintains transparency and avoids dominating the building character and maintain transparency.









D-21 Building Protection - Commercial buildings may use a variety of protection measures at entry/exitways and on windows as security elements that impact the form and character of buildings. These measures must address other Downtown Design Guidelines, including transparency so pedestrians have a clear view into the ground floor uses from the street. This transparency is important for visual interest, allows window shopping and marketing, and improves street safety by allowing people to see into businesses, and light to spill out onto the sidewalk.

To achieve transparency and consistent design, entry/exit protection shall be:

- fixed-in-place gates or bars (wrought or cast iron, or similar in appearance)
 - o accordion gates or rolling grills are also permitted when storage boxes are hidden behind awnings or painted to match the building wall
- black in colour, or a complementary colour to the building architecture
- transparent (clear view into the ground floor use from the street for the full area of the gate)
- either ornate design with detailing and patterns, or plain design with clean lines
- connected to commercial uses only
 - o not permitted for residential uses

solid shutters are not permitted

To achieve transparency and consistent design, window protection shall be:

- glazing based (including safety film or safety / laminated glass)
- interior or exterior bars, gates, and rolling grills are also permitted
 - black in colour, or a complementary colour to the building architecture
 - transparent (clear view into the ground floor use from the street for the full area of the window, except as permitted for window decals)
 - either ornate design with detailing and patterns, or plain design with clean lines
- solid shutters are also permitted
 - o blank or bare metal is not permitted
 - must be limited to the window frame area and not cover building architecture
 - should use complementary colours with business decals or artwork, or may be transparent

Entry/exit protection examples:



Fixed gate 100% transparent with ornate design showing detailing on bars and complementary colour to the building wall.



Interior accordion gate or bars, 100% transparent, black in colour.



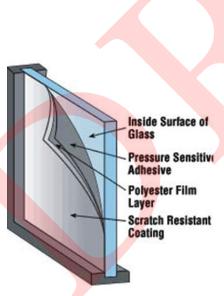
Roll-down gate 100% transparent with complementary colour and gate box hidden behind awning

Gate box hidden behind awning



Accordion gate 100% transparent with complementary colour to the building wall

Window protection examples:



Safety film or laminated safety glass with 100% transparency







Black interior window bars with 100% transparency and either ornate design or plain design with clean lines

Heritage

Promote the protection and enhancement of buildings of heritage value in the downtown core.

Historic Architectural Context

The City of Chilliwack was established in the late 1800's as a service centre for the surrounding agricultural area, at what is now known as "Five Corners": the convergence of Yale Road, Young Road, and Wellington Avenue. As the third oldest municipality in British Columbia, Chilliwack possesses a notable collection of intact historic architecture within the downtown core. Existing architectural styles within the downtown commercial area range from western boom town wood frame construction, to Late Victorian styles such as Queen Anne, Edwardian, Beaux Arts, Classical Revival, and Italianate, and picturesque styles such as Art Deco, Mission Revival, and Tudor Revival. Over the years, many of the commercial structures in the downtown area have undergone renovations, which have diluted their original historic appearance and value. The Design Guidelines generally encourage the restoration and enhancement of historic design treatments and materials. Owners of historic buildings are encouraged to use the following guidelines when considering building renovations, façade improvements or other site enhancements.

Application of Guidelines for Buildings of Heritage Value

Buildings built in the prevailing historic styles from Chilliwack's earlier period 1890's to 1940's (Late Victorian, and Picturesque eras) may have potential heritage value. Design guidelines for buildings of heritage value are provided here for property owners who wish to conserve and enhance the heritage value of their buildings in the downtown core, when undertaking building renovations, façade improvements or other site enhancements.

A formal heritage designation may also be voluntarily pursued by property owners, in accordance with the City's Municipal Heritage Designation Policy.

As investment in the Downtown continues, new buildings are anticipated to support revitalization goals. In balancing heritage conservation and downtown development objectives, the approach will be as follows:

- For voluntarily designated heritage buildings / sites: The City requires a heritage alteration
 permit in accordance with the City's heritage designation policy. Historic guidelines in the DPA
 are provided to support renovations and alterations.
- For buildings deemed to have potential heritage value: Property owners wishing to renovate or alter a building are encouraged to evaluate the condition of the building and follow the historic guidelines, where the total cost of reparations, structural reinforcements, or other requirements to support the retention of buildings and ensure current building standards is not cost-prohibitive.
- Where a building of potential heritage value is demolished as part of a broader community goal:
 Developers are encouraged to consider alternative ways to honor the heritage value of the site

and building to the community (e.g. through appropriate documentation; signage as part of a greater historic program; or other).

Heritage Building Design Guidelines

D-22 Roof Forms and Materials - Roof forms should respect the precedent scale and form displayed by surrounding historic architecture. In most cases, a flat roof with an internal drainage system is the most appropriate for the downtown area. In addition, roof forms are encouraged to reflect the patterns of the surrounding mountainous environment in order to contribute to a varied skyline rhythm, either through pitched roofs or through the use of varied parapet wall designs.

Historically accurate roof materials should be used in the restoration or redevelopment of historic buildings. Typical roof materials include: coloured metal with standing seam or batten rib profiles, non-ferrous metals (copper, zinc, bronze), bitumen-based roofing systems on flat roofs, sawn wood shingles, and clay tiles on Mission Revival style buildings.



Photo 28 - Historic streetscape with varied roof lines



Photo 29 - Example of low-rise commercial building with flat roof



Photo 30 - Roof line variation between adjacent buildings

D-23 Parapet and Cornice Treatments - Parapet and cornice elements are important ornamental features on buildings. Detailed parapet and cornice treatments are encouraged in order to enliven the skyline and to reflect the surrounding natural environment and local historical architectural styles.

Original parapet and cornice treatments should not be removed from buildings of heritage value. Rather, they should be maintained and restored in a historically accurate fashion. Where elements are missing or deteriorating, the replacement and repair of historic parapet or cornice elements should be based on credible historic documentation.



Photo 31 - Historic building with a distinct parapet treatment



Photo 32 - Historic building incorporates cornice treatments along the roof line and across the façade



Photo 33 - Close-up of unique historic parapet treatment

D-24 Windows and Doors - Windows and doors are important architectural elements that express the historic character of a building. As such, original, historic windows should be retained and restored whenever possible.

Restoration and redevelopment of buildings of heritage value should respect the existing form, proportion, pattern, detail, and material of window and door openings, and should complement the precedent fenestration patterns of the surrounding historic architecture.

Where the removal of an historic window is required due to structural or energy conservation issues, the window should be recreated using the same materials. Generally, the window should retain the same form, detailing, and function.

Similarly, buildings of heritage value in the downtown core should retain original historic doors and doorway design. Where restoration work is required, doors should be of wood material with traditional detailing. Where this is not possible, coloured (anodized or painted) metal doors may be permitted.

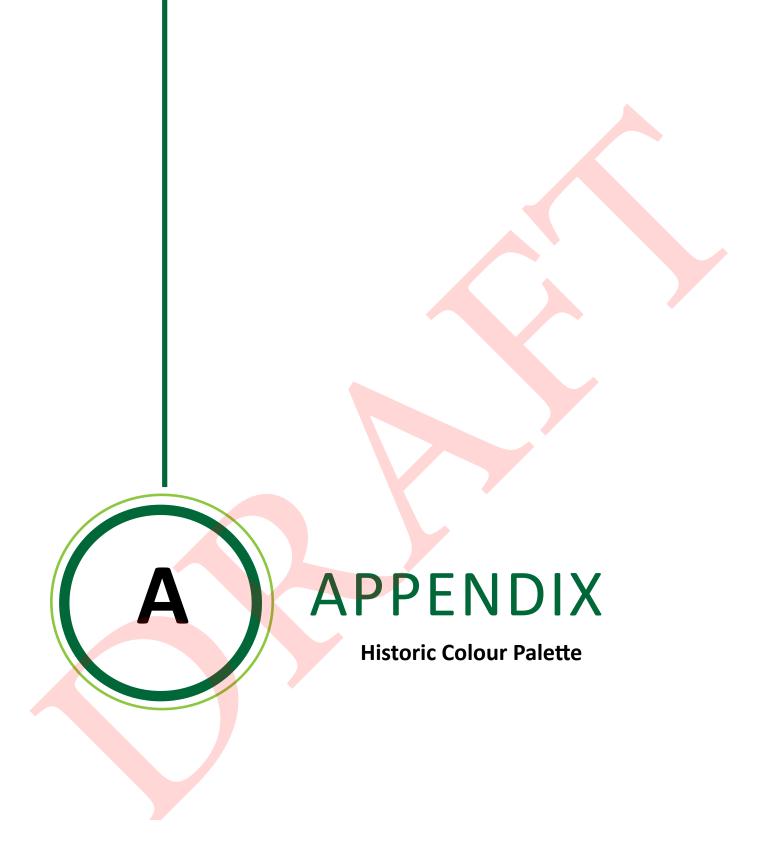
D-25 Building Materials - Historically accurate building materials should be used as exterior finishing materials on buildings of heritage value within the downtown core. Restoration and redevelopment work should retain and use any existing original historic building materials.

Generally, synthetic materials are discouraged, in favour of natural (organic) materials. Original historic materials should not be replaced with synthetic counterparts, nor should historic materials be covered with modern materials. Where historic material has been covered, it is recommended that it be uncovered and restored to as near original condition as possible.

Original historic building materials prevalent in the Chilliwack downtown area include: stone, brick, stucco, cast concrete, concrete block, ceramic & vitreous materials, wood siding materials, and metal. The style and design of various exterior finishing materials should respect the original historic appearance.

D-26 Colour - Colour selection for individual historic buildings within the downtown should consider the appearance of the overall streetscape to ensure compatibility. Where possible, colours should be chosen based on credible historic documentation. Otherwise, colour selection should conform to historic colour palettes (e.g. Vancouver Foundation True Colours Palette, Benjamin Moore Historic Colours, or Sherwin Williams Historic Palettes).

Development should utilize a paint scheme composed of up to four complementary colours to create visual interest and highlight architectural features. Single colour paint schemes are discouraged and should be avoided. Contrasting paint colours may be applied to architectural trims to accent the decorative features of the building façade, including: window frames, door frames, cornices, and other moldings, as appropriate. The use of extremely dark or light colours (e.g. pure white, pure black, chocolate brown) should be avoided.



Interior & Exterior Historical Color Collection Moore PAINTS



Intérieures et Extérieures



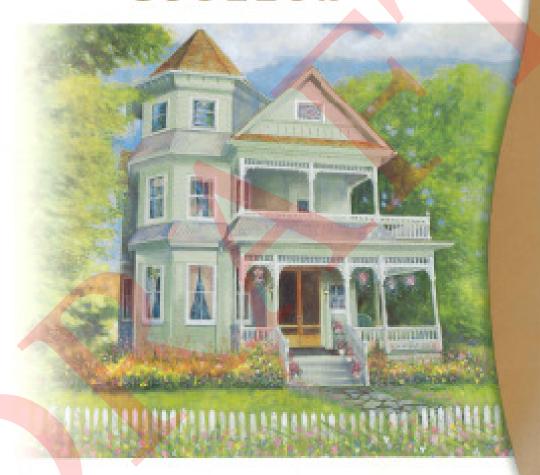






COLOR

COULEUR



Historical Color Collection / La collection de couleurs historiques



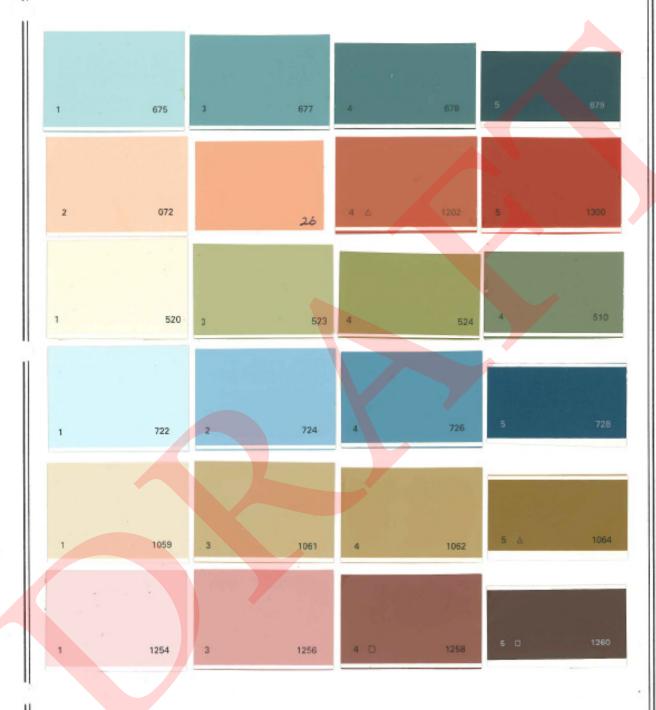






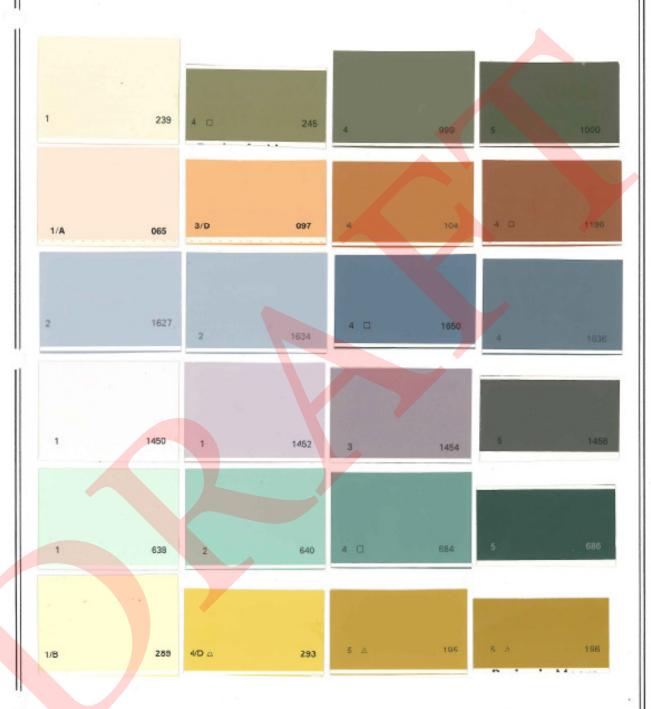


PALETTE

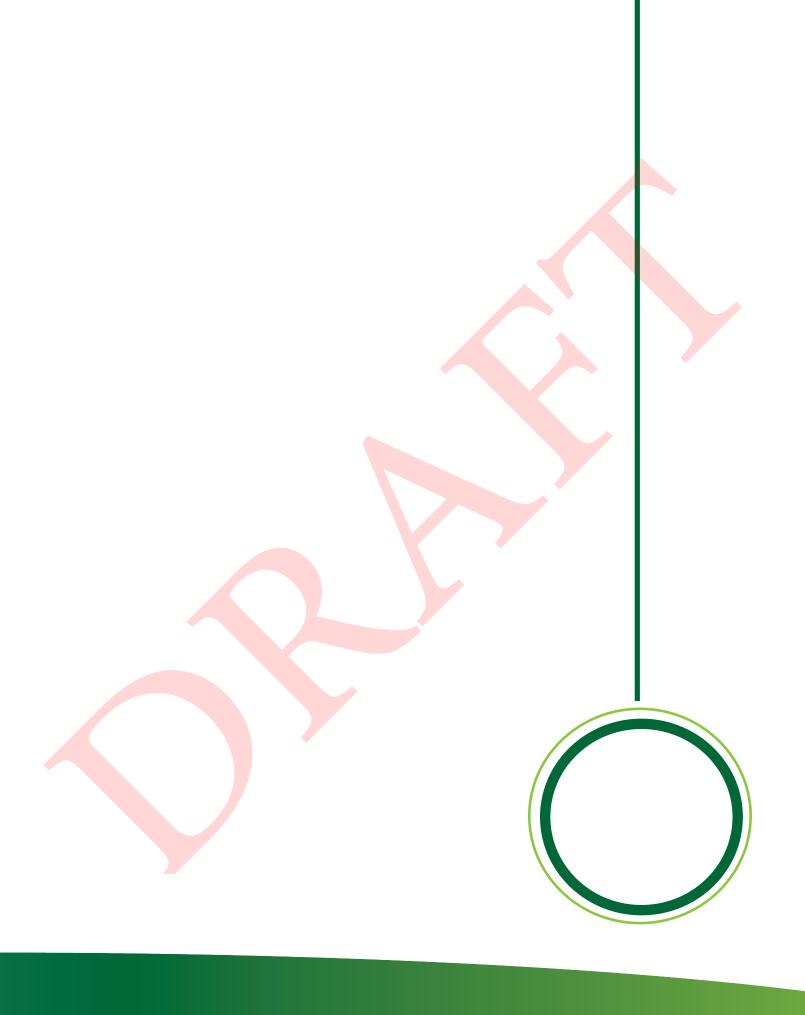


Benjamin Moore Brand Paint Code Numbers

PALETTE



Benjamin Moore Brand Paint Code Numbers





MIXED-USE AREAS

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



Area

All development occurring within mixed-use zones and land use designations in the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under sections 488(1)(d) and (e) of the *Local Government Act*.

Justification

Development occurring within mixed-use areas serve as vital hubs for neighbourhoods throughout the City of Chilliwack, playing a key role in fostering growth and change. It is important that these developments uphold a high standard of design and integrate with the surrounding context. These developments contribute to pedestrian-friendly streets and vibrant spaces that encourage people to walk, gather, and visit. As the city grows and evolves, these developments will enhance the livability and vibrancy of streets and public spaces, becoming integral to the community's ongoing development.

Objectives

Requirements and Exemptions

The following requires a Development Permit:

1. Development, including new construction, additions, signs, and site alterations

The following is exempt from a Development Permit:

- 1. Subdivision
- 2. Facade renovations that do not result in a change to the existing building roofline or footprint
- 3. Site alterations that do not reduce landscaping or amenity space
- 4. Fasc<mark>ia signs</mark>, signage copy change, and window coverings (such as reflective glazing and decals) that do not exceed 25%
- 5. Murals on any building façade (requires additional review in accordance with relevant City policy)

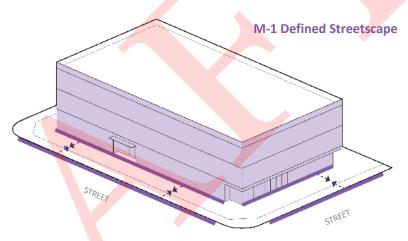
Design Guidelines:

The following guidelines will be considered when setting Development Permit conditions.

Site Planning

The development site provides clear, convenient, and safe use of the site, promotes active streetscapes and enhances the vibrancy of the neighbourhood.

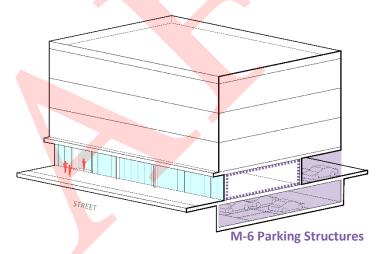
M-1 Defined Streetscape – Place buildings close to and parallel to the street edges, framing the streetscape.



- M-2 Pedestrian-Friendly Elements Incorporate weather protection (such as projection overhangs, eaves, canopies, and awnings), seating opportunities, and display areas throughout the site.
 - a) Development should have weather protection at business entrances, and on street facing façades; it can be used to accent windows, doors, or other façade features, does not need to be continuous, and may be retractable.
- M-3 Pedestrian Circulation Provide safe and efficient pedestrian circulation throughout the site, ensuring accessible, visible walkways to building entrances from streets, bus stops, and parking areas.
 - a) Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surface.
- M-4 Comfortable Outdoor Spaces Design and orient outdoor spaces (such as decks, balconies, patios, gardens, and outdoor amenities) to respond to environmental factors such as sun angles and winter shadowing.
- M-5 Transitions of Spaces Differentiate development between public and private spaces, creating a clear transition through paving patterns, symbolic barriers or

markers, signs and other visual cues to distinguish between what is "private" and what is "shared".

- M-6 Parking Structures Locate parking structures below grade, with active ground floor uses such as commercial units, and residential entrances and lobbies, facing the street.
 - a) Pedestrian access points to parking structures must be provided at grade to avoid creating below grade, concealed entrapment areas.
 - b) Where a parking structure is located above grade it must be either constructed along the interior lot lines or setback a minimum of 2m from the interior lot lines, in order to not create a narrow, unmaintained, and inactive space between the structure and the property lines.
 - c) Where a parking structure is located above grade, it must be masked and wrapped with commercial units and residential entrances and lobbies.



- M-7 Surface Parking Areas Locate surface parking areas beside and behind buildings and visually integrate them with the site, emphasizing landscaping, tree planting, signage, and lighting to minimize visual dominance.
- M-8 Vehicles Provide safe and efficient vehicle circulation throughout the site.
 - a) Routes and access points must be clearly defined and easily visible through techniques such as curbing, pavement treatments, lighting, and wayfinding signage.
- Waste, Loading, and Storage Locate waste receptacles, loading bays, and outdoor storage areas away from public view.
 - Screen waste receptacles and storage areas with attractive materials and/or architectural treatments complementary to the associated building(s).

Building Design

The building design supports an attractive and high-quality environment that directs active uses along the streets, contributing to a vibrant "Main Street" built form that encourages people to walk, gather, and visit.

- M-10

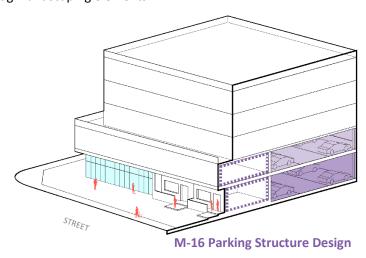
Building Access - Ensure pedestrian building and business entrances are clearly identifiable through architectural distinction, and accessible from the street.

- Residential entrances to a building must be separate from commercial uses and oriented to the street, and should be clearly identified through a 2-storey expression.
- **Building Orientation** Design buildings so that the main façades face the street. M-11
 - a) If served by a lane, architectural design and patterns similar to the main façade must be incorporated along the lane interface.
 - b) If located on a corner lot, the building should be oriented to face both streets.
- M-12 **Building Base** – Design a pedestrian-oriented building base of 1 to 3 storeys in a distinct form and character from upper storeys.
 - a) A cohesive combination of different materials, colours, awnings, projection overhangs and eaves, trim and accents, and building articulation should be used.
- M-13 Visual Interest – Design buildings to create an engaging and appealing environment for both residents and visitors through visual diversity in building form, shape, rooflines, and character, emphasizing patterns, horizontal and vertical articulation, window treatments, and differing materials and colour.
 - a) Large expanses of singular materials and blank walls are not permitted where visible to the public, except where constructed along an interior lot line.
 - b) Non-combustible cladding must be used on balconies and patios associated with residential use.
 - Development may use a variety of materials (such as glass, wood, brick, rock, and similar materials) in various combinations of texture and colour.

M-14 Streetwall Continuity – Provide a continuous streetwall by matching the established setbacks of adjacent buildings or envisioned future built form.



- M-15 Street Amenity Areas Incorporate small setbacks at the ground level to create space for display areas, patios, and/or other outdoor site furnishings to support an active frontage.
 - Additional setbacks beyond zoning requirements may be necessary and appropriate at street corners, building entrances, and other locations to accommodate street amenities.
- M-16 Parking Structure Design Where a parking structure is sited above grade, design it as an integral part of the building by extending the upper façade treatment down to ground level (such as false façades, vertical breaks, and horizonal façades).
 - a) At grade commercial units, residential entrances, and indoor common amenity areas located adjacent to streets must be used to mask or wrap around the structure.
 - b) Where the above uses cannot be used to mask or wrap the structure, mitigate the impact through landscaping elements.

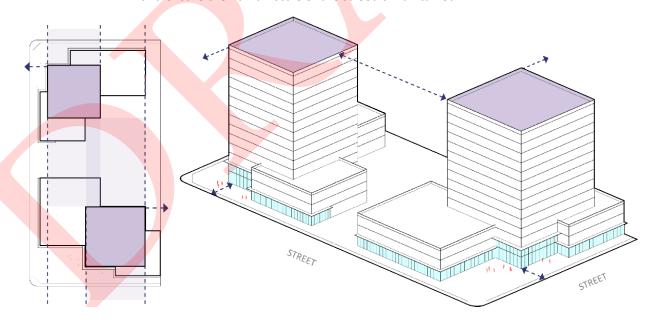


- M-17 Transparent Ground Level Promote visibility of street facing ground level storefronts and lobbies with large amounts of windows and transparent glazing, enhancing street activity and strengthening the connection between indoor and outdoor spaces, and providing natural surveillance.
- M-18 Integrated Signage Design signage to be integrated into the building and complement the character, materials and landscaping.

Mid- to High-Rise

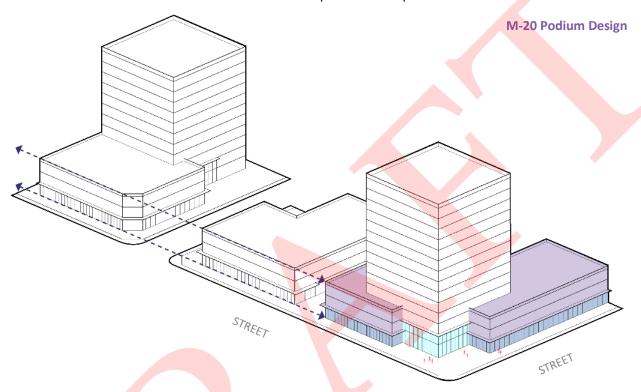
The building design supports an attractive tall building development that contributes to the neighbourhood and integrates with adjacent buildings.

- M-19 Placement and Orientation Orient tall buildings to minimize shadows and overlook effects on adjacent buildings, pedestrian areas, parks, and open spaces.
 - a) Placement of tall buildings should be informed by neighbouring properties and adjacent tall building development. Development should provide a height transition and vertical articulation to complement existing heights, where existing adjacent building heights are not anticipated to change.
 - b) Overlap should be minimized through staggered building placement and orientation.
 - c) Tall buildings should be setback to minimize pedestrian realm impacts and ensure the human-scale of the street is maintained.



M-19 Placement and Orientation

- M-20 Podium Design For tall buildings with a podium and tower design, ensure the podium relates directly to the existing streetwall and aligns with the height and typology of adjacent building façades.
 - a) Where there is not an existing streetwall, a new one should be established that allows for future phased development and evolution.



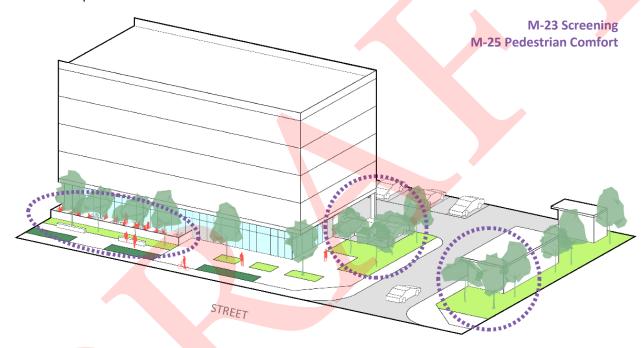
M-21 Outdoor Rooftops – Integrate visible and accessible outdoor amenity spaces on rooftops or podium areas for building residents.

Landscape

The landscape design complements the building architecture and provides year-round interest along pedestrian pathways and building façades, enhancing the visual appeal, quality and functionality of the site.

- M-22 Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation, and incorporating new landscaping throughout the site and along the streetfront, side yards, and rear lanes.
 - a) Landscaping may be added along lanes to delineate vehicle movement, improve visual appeal, and soften the building façade.

- M-23 Screening Use landscaping elements (such as plants, berms, landscape beds) and architectural features to screen parking, loading, waste receptacles and mechanical/ utility equipment from the streetfront.
- M-24 Sightlines and Movement Design landscaping to ensure visibility for safe pedestrian and vehicle movement, minimize concealment, and the creation of potential hiding spots.
 - a) Avoid planting tall growing shrubs and visually concealing fencing and landscaping along the streetfront and walkways.
- M-25 Pedestrian Comfort Plant trees along the streetfront and walkways to protect pedestrians from sun and wind.

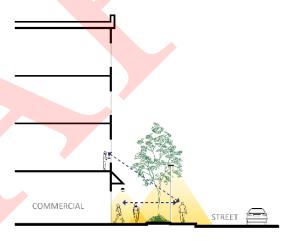


- M-26 Stormwater Infiltration Integrate stormwater infiltration features (such as grass blocks or pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **M-27 Year-Round Interest** Provide landscaping to ensure year-round visual interest and variety along the streetfront and pedestrian walkways.
 - a) Irrigation systems must be used for plants that require additional watering throughout the year.
 - b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

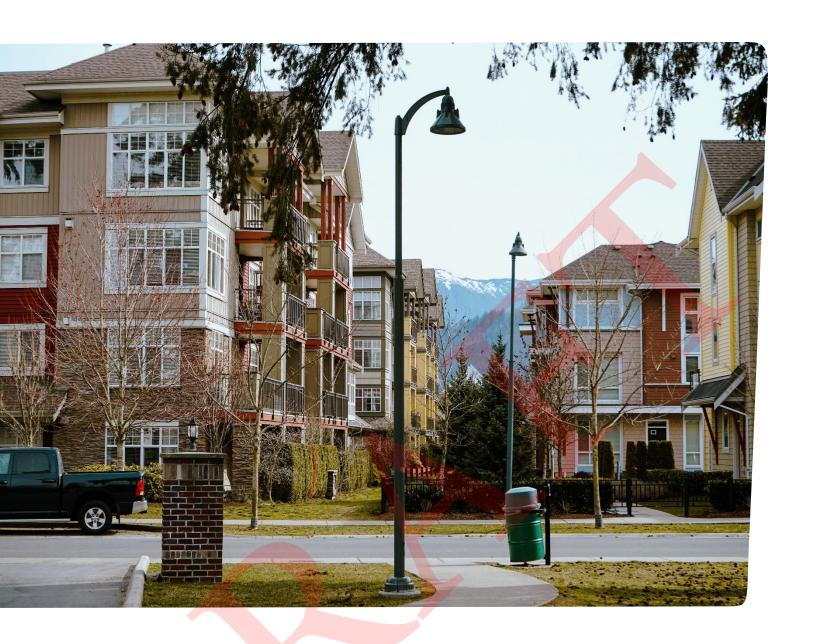
Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- M-28 Building Lighting Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **M-29 Visual Safety** Provide focused lighting in key areas (such as walkways, parking, seating areas, plazas, entrances and exits) to improve visibility, especially in low-light conditions.
- M-30 Light Pollution Direct lighting downward and away from adjacent properties.



M-28 Building Lighting M-29 Visual Safety



RESIDENTIAL

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



Area

Multi-unit, intensive, and detached accessory dwelling unit residential development within the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(e) of the *Local Government Act*.

Justification

Residential developments play a vital role in shaping neighbourhoods and their character. It is essential that these developments maintain a high standard of design, integrating with the natural features of the surrounding environment. New residential development plays an important role in the growth and transformation of an evolving neighbourhood character for its residents. The scale, siting, and form of new residential development should complement the existing neighbourhood by creating pedestrian-friendly and visually appealing spaces, while contributing to the future vision of the neighbourhood.

Objectives

These guidelines aim to ensure that new development integrates seamlessly into the neighbourhood while upholding high standards of site and building design. This can be achieved by coordinating building form and siting with well-planned areas for parking, storage, and landscaping, while also promoting consistent streetscapes and a pedestrian-friendly scale that enhances livability for future residents. A combination of design techniques, including Crime Prevention Through Environmental Design (CPTED) principles, have been incorporated directly into these guidelines () to create more active, engaging, and safe development.

Requirements and Exemptions

The following requires a Development Permit:

1. Multi-unit, intensive, and detached accessory dwelling unit residential development, including new construction, additions, and site alterations

The following is exempt from a Development Permit:

- Subdivision
- 2. Detached accessory dwelling units in the Agricultural Land Reserve or Ryder Lake neighbourhood
- 3. Facade renovations that do not result in a change to the existing building roofline or footprint
- 4. Site alterations that do not reduce landscaping or amenity space
- 5. Murals on any building façade (requires additional review in accordance with relevant City policy)

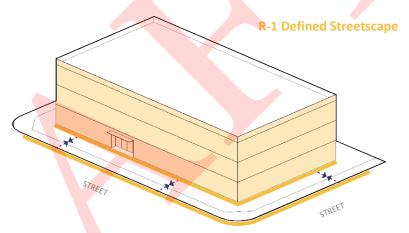
Design Guidelines:

The following guidelines will be considered when setting Development Permit conditions.

Site Planning

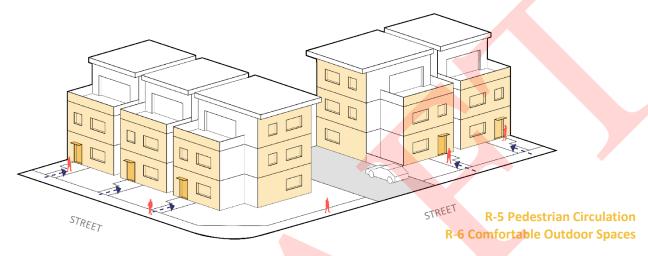
The development site provides clear, convenient, and safe circulation, and the associated building form and placement fits within the broader neighbourhood context, enhancing the vibrancy of the neighbourhood.

R-1 Defined Streetscape – Place buildings close to and parallel to the street edges, framing the streetscape.

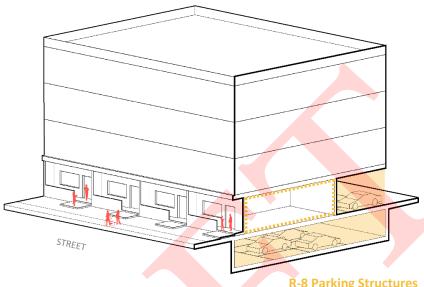


- **R-2 Site Grading** For development located in hillside areas, apply context sensitive design approaches to integrate site grading into the structural design of buildings.
- R-3 Natural Features Incorporate and preserve existing natural features (such as slope, vegetation, and trees) into the development.
- **R-4** Pedestrian-Friendly Elements Incorporate weather protection (such as projection overhangs, eaves, canopies, and awnings) and seating opportunities throughout the site.
 - a) Weather protection should be provided at main building entrances.
- **R-5** Pedestrian Circulation Provide safe and efficient pedestrian circulation throughout the site, ensuring accessible, visible walkways to building entrances from streets, bus stops, and parking areas.
 - a) Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surfaces.

- **R-6 Comfortable Outdoor Spaces** Design and orient outdoor spaces (such as decks, balconies, patios, gardens, and outdoor amenities) to respond to environmental factors such as sun angles and winter shadowing.
 - a) Outdoor common amenity areas must be placed in a central location that is accessible for all ages and abilities.



- R-7 Transitions of Spaces Differentiate development between public and private spaces, creating a clear transition through paving patterns, symbolic barriers or markers, signs and other visual cues to distinguish between what is "private" and what is "shared".
- R-8 Parking Structures Locate parking structures below grade, with active ground floor uses (such as individual unit access, patios, main building entrance, lobbies, and indoor common amenity areas) facing the street.
 - Pedestrian access points to parking structures must be provided at grade to avoid creating below grade, concealed entrapment areas.
 - b) Where a parking structure is located above grade it must be either constructed along the interior lot lines or setback a minimum of 2m from the interior lot lines, in order to not create a narrow, unmaintained, and inactive space between the structure and the property lines.
 - c) If the floor level of residential units is 2m or less above grade, the residential units must have direct access to the streets using a combination of stairs, pathways, and/or gateway elements.
 - d) If the floor level of residential units is greater than 2m above grade, tiered landscape beds must be provided along the street and direct residential unit access to the streets is not required.



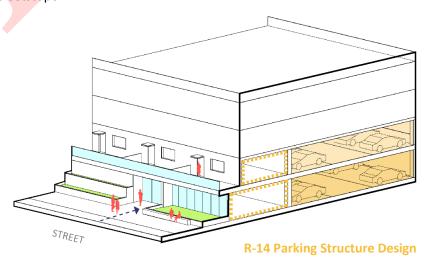
- **R-8 Parking Structures**
- **R-9** Surface Parking Areas – Locate surface parking areas beside and behind buildings and visually integrate them with the site, emphasizing landscaping, tree planting, signage, and lighting to minimize visual dominance.
- **Vehicles** Provide safe and efficient vehicle circulation throughout the site. R-10
 - a) Routes and access points must be clearly defined and easily visible through techniques such as curbing, pavement treatments, lighting, and wayfinding signage.
- R-11 Waste, Loading, and Storage – Locate waste receptacles, loading spaces, and outdoor storage areas away from public view.
 - a) Screen waste receptacles and storage areas with attractive materials and/or architectural treatments complementary to the associated building(s).

Building Design

The building design contributes to an attractive, welcoming, and vibrant multistorey residential neighbourhood, with a focus on creating a well-integrated housing development that supports community interactions with active spaces at the street level, ground-oriented units, and pedestrian-friendly design.

- R-12 **Complementary Design** – Design buildings that complement, rather than replicate, the existing buildings within the area.
 - a) Development should provide a height transition and vertical articulation to complement existing heights, where existing adjacent building heights are not anticipated to change.

- b) Development should protect views and sunlight access when adjacent to heritage protected and heritage interest properties.
- **R-13 Visual Interest** Design buildings to create an engaging and appealing environment for both residents and visitors through visual diversity in building form, shape, rooflines, and character, emphasizing patterns, horizontal and vertical articulation, window treatments, and differing materials and colour.
 - Large expanses of singular materials and blank walls are not permitted where visible to the public, except where constructed along an interior lot line.
 - b) Non-combustible cladding must be used on balconies and patios associated with multi-unit buildings.
 - c) Development should use a variety of quality materials (such as glass, wood, brick, rock, and similar materials) in various combinations of texture and colour.
- **R-14** Parking Structure Design Where a parking structure is sited above grade, design it as an integral part of the building by extending upper façade treatments down to ground level (such as false façades, vertical breaks, and horizontal façades).
 - a) Visibility into the floor level of residential units must be enhanced through the use of decorative, see-through fencing and/or railings combined with low growing landscaping. Continuous solid walls or other visually impermeable fencing extending above the parking structure's ceiling is not permitted.
 - b) At-grade residential entrances, lobbies, and indoor common amenity areas located adjacent to streets should be used to mask or wrap around the structure, with landscape beds to soften the visual impact where these uses are absent.
 - c) A combination of design techniques, materials, and landscaping should be used to minimize the visual impact of staircases and ramps along the streetscape.

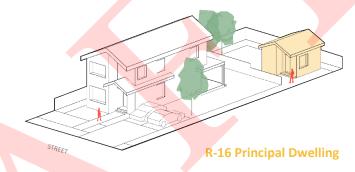


R-15 Integrated Signage – Design signage to be integrated into the overall design of the building and complement the character, materials and landscaping of the building.

Detached Accessory Dwelling Units

The building design supports an attractive and complementary detached accessory dwelling unit development.

R-16 Principal Dwelling – Complement the architectural design of the existing principal dwelling with respect to elements such as the roofline, massing, shape, scale, proportion, exterior finishes, and colour.



- **R-17** Laneway Activation Design the building so that the main façade faces the street or lane from which the unit is accessed.
- R-18 Building Siting Locate the unit beside or behind the principal dwelling.
- **R-19** Overlook and Privacy Place windows to limit overlook and provide privacy.
 - a) Windows should be oriented towards the internal lot, lane, and flanking street (if on a corner lot).
 - b) When windows are oriented externally towards adjacent properties, decorative window frosting, patterns, and textured glass, skylights, and/or clerestory windows must be used, unless a view obstructing screen is provided.
- **R-20** Private Amenity Areas Locate private amenity areas to maximize privacy and limit views onto adjacent properties.
 - a) When located above ground, balconies and/or decks should be oriented towards the internal lot, lane, and/or flanking street (if on a corner lot).
 - b) Roof decks are not permitted.
- **R-21 External Staircases** Design external staircases and associated weather protection as an integrated part of the building.

a) Access should be directed towards the internal lot, lane and/or flanking street (if on a corner lot).

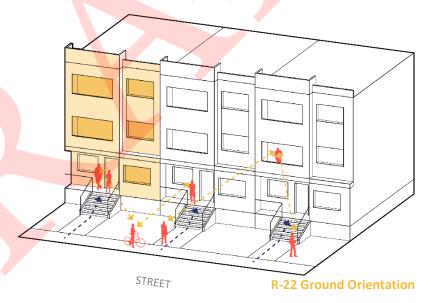
Townhouses

The building design supports an attractive street-facing townhouse development.

- R-22

Ground Orientation – Orient the units and front façade to have an active relationship with the street, ensuring the façades are engaging and visually interesting for pedestrians, while also creating natural surveillance and interaction with the street.

- a) Units adjacent the street with the floor level of the first storey located 2m or less above grade must have direct access to the street.
- b) A combination of design techniques, materials, and landscaping should be used to minimize the visual impact of staircases along the street.
- c) Units adjacent the street should include large street facing windows and architectural details (such as bay windows, stoops, porches, and weather protection) to emphasize the unit's primary entrance.

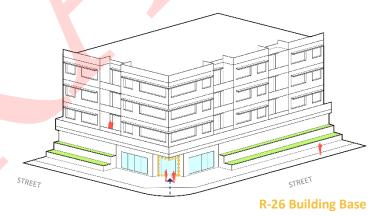


R-23 **Green Neighbourhoods** – Provide sufficient space for landscaping and trees near unit entrances, streets, between walkways and driveways, and outdoor amenity areas.

Apartments

The building design supports an attractive tall building development that contributes to the neighbourhood and integrates with adjacent buildings.

- **R-24** Building Orientation Design buildings so that the main façades face the street.
 - a) If served by a lane, architectural design and patterns similar to the main façade must be incorporated along the lane interface.
 - b) If located on a corner lot, the building should be oriented to face both streets.
- **R-25**Building Access Ensure pedestrian building entrances are clearly identifiable through architectural distinction, and accessible from the street or lane, with the primary building entrance oriented towards the street.
 - a) Buildings on corner lots should position the entrance in proximity to both streets.
- **R-26 Building Base** Design a pedestrian-oriented building base of 1 to 3 storeys in a distinct form and character from upper storeys.
 - a) A cohesive combination of different materials, colours, awnings, projection overhangs and eaves, trim and accents, and building articulation should be used.



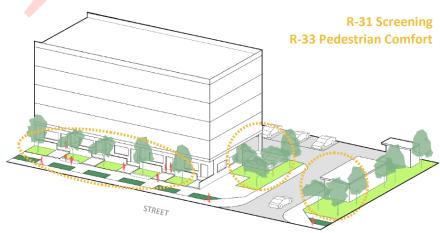
- R-27 Outdoor Rooftops Integrate visible and accessible outdoor amenity spaces on rooftops or podium areas for building residents.
- **R-28** Placement and Orientation Orient tall buildings to minimize shadows and overlook effects on adjacent buildings, pedestrian areas, parks, and open spaces.
 - a) Placement of tall buildings should be informed by neighbouring properties and adjacent tall building development.
 - b) Overlap should be minimized through staggered tower placement and orientation.

- c) Tall buildings should be setback to minimize pedestrian realm impacts and ensure the human-scale of the street is maintained.
- **R-29 Podium Design** Ensure the podium relates directly to the existing streetwall and aligns with the height and typology of adjacent building façades.
 - a) Where there is not an existing streetwall, a new one should be established that allows for future phased development and evolution.

Landscape

The landscape design complements the building architecture and provides year-round interest along pedestrian pathways and building façades, enhancing the visual appeal, quality and functionality of the site.

- R-30 Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation, and incorporating new landscaping throughout the site and along the streetfront, side yards, and rear lanes.
 - Landscaping may be added along lanes to delineate vehicle movement, improve visual appeal, and soften the building façade.
- **R-31** Screening Use landscaping elements (such as plants, berms, fencing, landscape beds) and architectural features to screen parking, loading, waste receptacles, and mechanical/utility equipment from the streetfront.
- **R-32** Sightlines and Movement Design landscaping to ensure visibility for safe pedestrian and vehicle movement, minimize concealment, and the creation of potential hiding spots.
 - a) Avoid planting tall growing shrubs and visually concealing fencing and landscaping along the streetfront and walkways.
- **R-33** Pedestrian Comfort Plant trees along the streetfront and walkways to protect pedestrians from sun and wind.

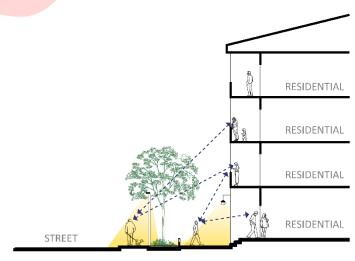


- **R-34 Stormwater Infiltration** Integrate stormwater infiltration features (such as grass blocks or pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **R-35 Year-Round Interest** Provide a variety of plant species and forms to ensure year-round visual interest along the streetfront and pedestrian walkways.
 - a) Irrigation systems must be used for plants that require additional watering throughout the year.
 - b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

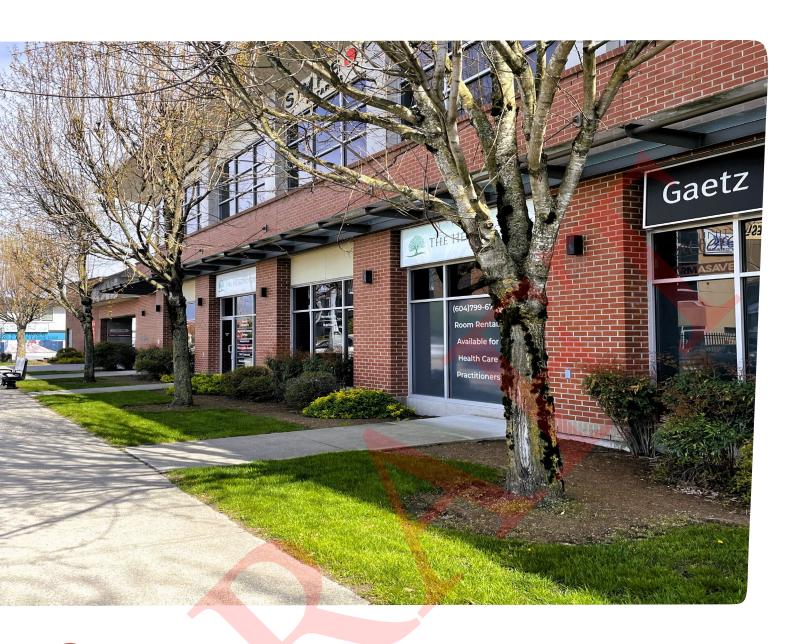
Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- **R-36 Building Lighting** Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **R-37 Visual Safety** Provide focused lighting in key areas (such as walkways, parking, seating areas, plazas, entrances and exits) to improve visibility, especially in low-light conditions.
- **R-38 Light Pollution** Direct lighting downward and away from adjacent properties.



R-36 Building Lighting R-37 Visual Safety



9 COMMERCIAL

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



Area

Commercial development within the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(f) of the *Local Government Act*.

Justification

Commercial developments play a crucial role in neighbourhood growth and vitality by providing essential services to the community. It is essential that these developments positively contribute to existing neighbourhoods, create attractive spaces, and enhance the visual appeal and overall livability of the area.

Objectives

These guidelines aim to establish clear design standards that promote high-quality site and building design for Commercial developments. This can be achieved by ensuring a consistent streetscape, enhancing the pedestrian scale, and coordinating building form, siting, parking, and landscaping to support safe, secure, and cohesive growth. A combination of design techniques, including Crime Prevention Through Environmental Design (CPTED) principles, have been incorporated directly into these guidelines () to create more active, engaging and safe development.

Requirements and Exemptions

The following requires a Development Permit:

1. Commercial development, including new construction, additions, signs, and site alterations

The following is exempt from a Development Permit:

- 1. Subdivision
- 2. Building additions and ancillary buildings to a maximum of 50m² when associated with an existing Commercial use and not visible from the street
- 3. Façade renovations that do not result in a change to the existing building roofline or footprint
- 4. Site alterations that do not reduce landscaping or amenity space
- 5. Fascia signs, signage copy change, and window coverings (such as reflective glazing and decals) that do not exceed 25%
- 6. Murals on any building façade (requires additional review in accordance with relevant City policy)

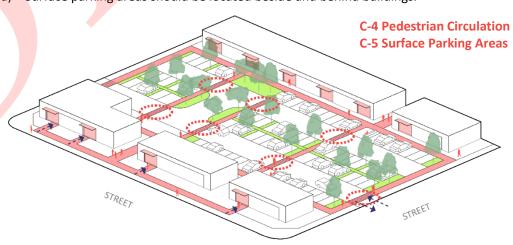
Design Guidelines:

The following guidelines will be considered when setting Development Permit conditions.

Site Planning

The development site provides clear, convenient, and safe circulation and ensures building uses, form and siting enhance the vibrancy of the neighbourhood.

- **C-1 Building Placement** Locate and orient buildings to maximize sunlight and minimize winter shadowing in common areas.
- C-2 Defined Streetscape Place buildings so they face public streets.
- C-3 Pedestrian-Friendly Elements Incorporate weather protection (such as projection overhangs, eaves, canopies, and awnings), seating opportunities, and display areas throughout the site.
 - a) Development should have weather protection at business entrances, and on street facing façades; it can be used to accent windows, doors, or other façade features, does not need to be continuous, and may be retractable.
- C-4 Pedestrian Circulation Provide safe and efficient pedestrian circulation throughout the site, ensuring accessible, visible walkways to building entrances from streets, bus stops, and parking areas.
 - a) Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surfaces.
- C-5 Surface Parking Areas Integrate parking with the site, emphasizing landscaping, tree planting, signage, and lighting to minimize visual dominance.
 - a) Surface parking areas should be located beside and behind buildings.

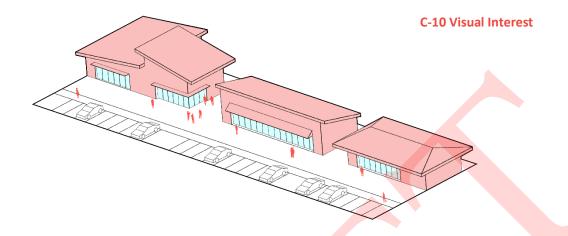


- **C-6 Vehicles** Provide safe and efficient vehicle circulation throughout the site.
 - Routes and access points should be clearly defined and easily visible through techniques such as curbing, pavement treatments, lighting, and wayfinding signage.
- C-7 Waste, Loading, and Storage Locate waste receptacles, loading bays and outdoor storage areas away from public view.
 - Screen waste receptacles and storage areas with attractive materials and/or architectural treatments complementary to the associated building(s).

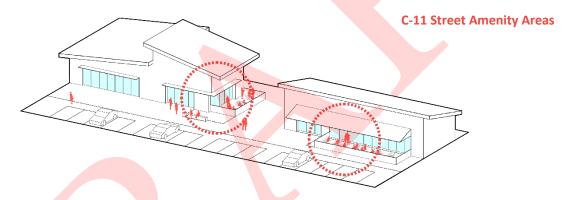
Building Design

The building design supports an attractive, high-quality and vibrant Commercial environment and streetfront that contributes to an aesthetically appealing urban character.

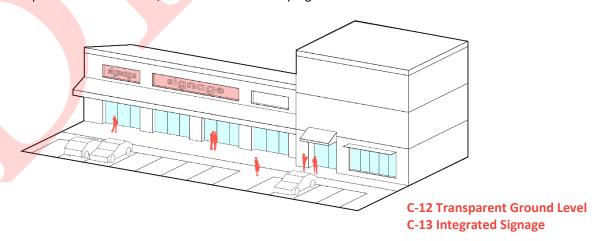
- C-8
- **Building Access** Ensure pedestrian entrances for buildings and businesses are clearly identifiable through architectural distinction, and accessible from the street.
- **C-9 Building Orientation** Design buildings so that the main façades face the street.
 - a) If located on a corner lot, the building should be oriented to face both streets.
- **C-10 Visual Interest** Design buildings that provide visual variety and interest through building form, shape, rooflines, and character, emphasizing unit individuality through patterns, horizontal and vertical articulation, and differing materials and colours.
 - a) Large expanses of singular materials and blank walls are not permitted where visible to the public, except where constructed along an interior lot line.
 - b) Development should use a variety of quality materials (such as glass, wood, brick, rock, and similar materials) in various combinations of texture and colour.
 - c) When visible from Highway 1, the building design should include additional design elements, treatments and features that reflect its prominence and visual impact.



C-11 Street Amenity Areas – Incorporate small setbacks at the ground level to create space for display areas, patios, and/or other outdoor site furnishings to support an active frontage.



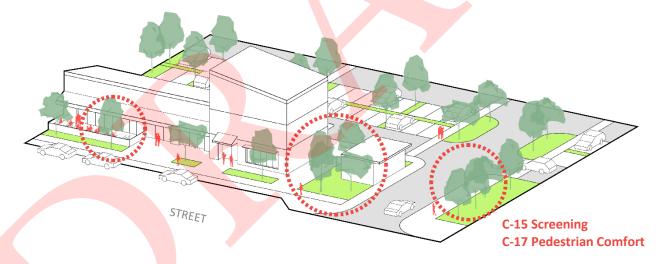
- **C-12** Transparent Ground Level Promote visibility of street facing ground level storefronts and lobbies with large amounts of transparent glazing.
- C-13 Integrated Signage Design signage to be integrated into the building and complement the character, materials and landscaping.



Landscape

The landscape design complements the building architecture and provides year-round interest along pedestrian pathways and streetfronts, enhancing the visual appeal, quality and functionality of the site.

- C-14 Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation and incorporating new landscaping throughout the site and along the streetfront, side yards, and lanes.
- C-15 Screening Use landscaping elements (such as plants, berms, fencing, and landscape beds) to soften architectural features and screen parking, loading, waste receptacles, mechanical/ utility equipment and outdoor storage areas from the streetfront.
- C-16 Sightlines and Movement Design landscaping to ensure visibility for safe pedestrian and vehicle movement, minimize concealment, and avoid creating potential hiding spots.
- **C-17** Pedestrian Comfort Plant trees along the streetfront and walkways to protect pedestrians from sun and wind.



- C-18 Stormwater Infiltration Integrate stormwater infiltration features (such as grass blocks, pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **C-19 Year-Round Interest** Provide landscaping that ensures year-round visual interest and variety along the streetfront and pedestrian walkways.
 - a) Irrigation systems must be used for plants that require additional watering throughout the year.

 b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- C-20 Building Lighting Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **C-21 Visual Safety** Provide focused lighting in key areas such as walkways, parking, seating areas, plazas, entrances and exits to improve visibility, especially in low-light conditions.
- **C-22 Light Pollution** Direct lighting downward and away from adjacent properties.



10 INDUSTRIAL

FORM & CHARACTER
DEVELOPMENT PERMIT AREA



Area

Industrial development within the City of Chilliwack is subject to these Form and Character Development Permit Guidelines facilitated under section 488(1)(f) of the *Local Government Act*.

Justification

Industrial developments serve diverse functions and often have a significant visual presence. Effective design is crucial for their appeal, especially as these sites are frequently situated near gateways to the city, creating a lasting impression of place as people pass by.

Objectives

Requirements and Exemptions

The following requires a Development Permit:

1. Industrial development, including new construction, additions, signs, and site alterations

The following is exempt from a Development Permit:

- 1. Subdivision
- 2. Industrial development in Cattermole and along the Fraser River
- 3. Building additions and ancillary buildings to a maximum of 100m² when associated with an existing Industrial use
- 4. Façade renovations that do not result in a change in the existing building roofline or footprint
- 5. Site alterations that do not reduce landscaping or amenity space
- 6. Fascia signs and signage copy change
- 7. Accessory Home Industrial
- 8. Murals on any building façade (requires additional review in accordance with relevant City policy)

Design Guidelines:

The following guidelines will be considered when setting Development Permit conditions.

Site Planning

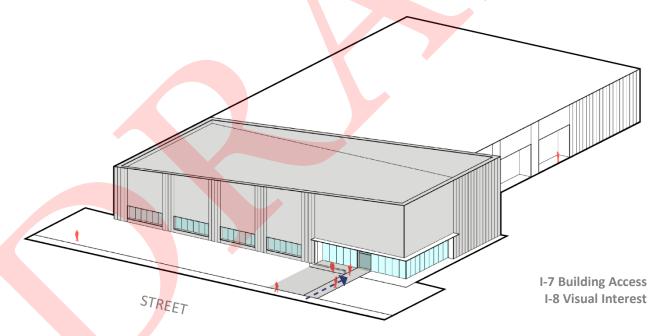
The development site fits within the broader neighbourhood context, provides clear, convenient, and safe circulation, ensures visual screening of waste and storage areas, incorporates employee amenities, and maintains accessibility and security for all users.

- I-1 Comprehensive Planning Ensure efficient use of the entire site to avoid creating untreated and underused space.
- **Neighbourhood Compatibility** Minimize potential impacts of Industrial uses on adjacent non-Industrial uses through the use of strategic site organization, landscape buffers, and screening.
- **1-3** Pedestrian Circulation Provide safe, accessible, and visible pedestrian walkways to building entrances from streets, bus stops, and parking areas.
 - Walkways and pedestrian crossings over vehicle travel routes should have a different treatment, texture, or be raised to differentiate from vehicle travel surfaces.
- **Vehicles Provide safe and efficient vehicle circulation throughout the site.**
 - a) Routes and access points should be clearly defined between different vehicle classes and include wayfinding signage.
- I-5 Outdoor Amenity Areas Provide an employee amenity area (such as a picnic table, weather protection, and seating area) near the building's main entrance or employee entrance.
- I-6 Waste, Loading, and Storage Locate waste receptacles, loading bays, and outdoor storage areas away from public view.
 - a) Screen waste receptacles and storage areas with attractive materials and/or architectural treatments that are complementary to the associated building(s).

Building Design

The building design supports an attractive, interesting, high-quality Industrial environment and streetfront that contributes to an aesthetically appealing and welcoming gateway to the city.

- I-7 Building Access Ensure pedestrian entrances for buildings and businesses are clearly identifiable from the street through architectural distinction.
- **Visual Interest** Design buildings that provide visual variety and interest along the streetfronts through building form, shape, rooflines and articulation.
 - a) Large expanses of singular materials, bare concrete, and blank walls are not permitted along the streetfront.
 - b) Development should use a variety of quality materials (such as glass, wood, brick, rock, metal, painted and patterned concrete, and similar materials) in various combinations of texture and colour.
 - c) When visible from Highway 1, the building design should include additional design elements, treatments and features that reflect its gateway presence and visual impact.



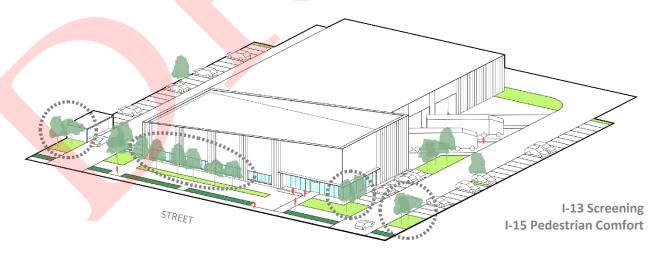
- I-9 Transparency Ensure visibility and consistent design on buildings with active uses (such as offices, meeting rooms, lobbies, and showrooms) at the ground level facing the streetfront.
 - a) Glazing must be used when active uses are located along the streetfront.

- **I-10 Overhead Doors** Ensure overhead doors are recessed or architecturally deemphasized when located along street facing façades.
- **I-11 Integrated Signage** Design signage to be integrated into the building and complement the character, materials and landscaping.

Landscape

The landscape design complements and softens the Industrial uses, enhancing the visual appeal of the site along streetfronts while ensuring visibility for safety and providing year-round visual interest.

- **I-12** Landscape Design and Retention Enhance the visual appearance of the site by retaining and protecting existing vegetation and incorporating new landscaping along the streetfront and side yards.
- I-13 Screening Use landscape elements (such as plants, berms, fencing, and landscape beds) to soften architectural features, screen, and secure parking, loading, waste receptacles, mechanical/utility equipment and outdoor storage areas from the streetfront.
- **I-14** Fencing Incorporate decorative fencing within landscaping along the streetfront.
 - a) Black vinyl chain link fencing hidden in landscaping may be provided along the streetfront.
 - b) Plain galvanized chain link fencing should be avoided along the streetfront.
- I-15 Pedestrian Comfort Plant trees along the streetfront and pedestrian walkways.



- **I-16 Stormwater Infiltration** Integrate stormwater infiltration features (such as grass blocks, pavers, bioswales, and rain gardens) into landscaped areas to manage runoff on-site and promote natural drainage.
- **I-17 Year-Round Interest** Provide landscaping that ensures year-round visual interest and variety along the streetfront and pedestrian walkways.
 - a) Irrigation systems must be used for landscaping that requires additional watering throughout the year.
 - b) Drought-tolerant plants with low water requirements must be used where irrigation systems are not provided to support long-term health of landscape design.

Lighting

The lighting design highlights the building and site features, enhances safety and security in key areas, and minimizes light pollution, ensuring a harmonious and environmentally responsible illumination.

- **I-18** Building Lighting Illuminate the building form in a manner that highlights its architectural features and ensures visibility at night, while avoiding harsh or excessive lighting.
- **Visual Safety Provide** focused lighting in key areas (such as walkways, parking, entrances and exits) to improve visibility, especially in low-light conditions.
- I-20 Light Pollution Direct lighting downward and directed away from adjacent non-Industrial uses.

City of Chilliwack

Bylaw No. 5488

A bylaw to amend the "Zoning Bylaw 2020, No. 5000"

The Council of the City of Chilliwack in open meeting assembled enacts as follows:

- 1. This bylaw may be cited as "Zoning Bylaw Amendment Bylaw 2025, No. 5488".
- 2. "Zoning Bylaw 2020, No. 5000" is hereby amended in Section 4 GENERAL PROVISIONS, Subsection 4.06 ACCESSORY AND ANCILLARY USES, Paragraph (1) ACCESSORY DWELLING UNIT, by deleting Subparagraph (d) in its entirety, and substituting with a new Subparagraph (d), as follows:
 - "(d) On properties within the Agricultural Land Reserve, ADUs are permitted in accordance with the Agricultural Land Commission Act and Regulations."
- 3. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.06 ACCESSORY AND ANCILLARY USES, Paragraph (1) ACCESSORY DWELLING UNIT, by inserting a new Subparagraph (f), as follows, and re-lettering the existing Subparagraphs accordingly:
 - "(f) Where an interior staircase is provided for a COACH HOUSE, the staircase shall be located within an entrance foyer with a maximum area of 2m² in size designed for exterior access only (with no access into the ground floor uses)."
- 4. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.07 REGULATIONS APPLICABLE TO ALL ZONES, Paragraph (3) HEIGHT EXCEPTIONS AND SUPPLEMENTARY HEIGHT REGULATIONS, Subparagraph (a), by adding new Clauses (xi), and (xii), as follows:
 - "(xi) Rooftop access structures such as stairwells and elevator shafts, provided the placement of such infrastructure is central to the roof of the building
 - (xii) Rooftop railings, arbours, trellises, or similar freestanding landscape features related to outdoor COMMON AMENITY AREAS."
- 5. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.07 REGULATIONS APPLICABLE TO ALL ZONES, Paragraph (4) SITING EXCEPTIONS, Subparagraphs (b) and (c), by deleting the word "YARD" and substituting with the words "LOT LINE", wherever it may appear.
- 6. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.07 REGULATIONS APPLICABLE TO ALL ZONES, Paragraph (4) SITING EXCEPTIONS, by deleting Subparagraph (d) in its entirety, and substituting with a new Subparagraph (d), as follows:

- "(d) In-ground swimming pools, permanent swimming pools exceeding 1.5m, decks exceeding 0.6m above GRADE and walkways exceeding 0.6m above GRADE may be sited as an ANCILLARY STRUCTURE within the Zone."
- 7. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (b), by adding a new Clause (vi), as follows:
 - "(vi) excluding bareland strata developments, a minimum 1.5m wide SIDEWALK, HARD SURFACE is required to provide access from the public HIGHWAY or public sidewalk to each DWELLING UNIT or BUILDING, and is clearly separated from any roadways, driveways, parking lots, MANEUVERING AISLES, and PARKING SPACES, by curbing."
- 8. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (c), Clause (ii), by deleting the word "tenants" and substituting with the word "residents", after the words "to all" and before the words "and may"; and further, Subparagraph (d), Clause (i), by deleting the word "tenants" and substituting with the word "residents", after the words "to all" and before the words "and may".
- 9. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraphs (c) and (d), Clauses (ii), Subclauses (C), by deleting Items (III) in their entirety, and renumbering the existing Items accordingly.
- 10. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (f), Clause (iii), by deleting the word "a" and substituting with the words "an ACCESSORY DWELLING UNIT,", after the words "association with" and before the words "TOWNHOUSE or".
- Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (6) AMENITY AREA STANDARDS, Subparagraph (g), by deleting the words "conveniently located and directly accessible or accessible by elevator from either the ground floor or parking level entrance" and substituting with the words "located in central areas inside the BUILDING", after the words "shall be" and before the words ", and shall".
- 12. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (d), by deleting the words 'FLOOR AREA RATIO (MAXIMUM)' after the words 'LOT COVERAGE (MAXIMUM)' and before the words 'SETBACKS (MINIMUM)'.

- 13. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (e), Clause (iv), by inserting a new Subclause (A), as follows, and renumbering the existing Subclauses accordingly.
 - "(A) The FLOOR AREA RATIO must not exceed 0.75."
- 14. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (e), Clause (iv), Subclause (E), by adding the words ", provided the GARAGE width is no less than 6.2m".
- 15. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.08 REGULATIONS APPLICABLE TO SPECIFIC ZONES, Paragraph (7) SMALL-SCALE, MULTI-UNIT HOUSING, Subparagraph (e), Clause (iv), by adding new Subclauses (G) and (H), as follows:
 - "(G) A PRIVATE AMENITY AREA must be provided for an ACCESSORY DWELLING UNIT.
 - (H) All PRIVATE AMENITY AREAS must be provided on the ground level."
- 16. Said Bylaw is hereby further amended in Section 4 GENERAL PROVISIONS, Subsection 4.09 FENCING, LANDSCAPING, SCREENING, Paragraph (3) SCREENING, by deleting Subparagraph (j) in its entirety, and substituting with a new Subparagraph (j), as follows:
 - "(j) In commercial, industrial, multi-unit and intensive residential, and mixed-use ZONES, all mechanical, electrical, communication, air conditioning or other equipment shall be screened from view from the street by a HEIGHT equal to the item being screened."
- 17. Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsections 8.08 R4 (LOW DENSITY MULTI-UNIT RESIDENTIAL) ZONE, 8.09 R4-A (MEDIUM DENSITY MULTI-UNIT), and 8.10 R4-B (LOW DENSITY MULTI-UNIT) ZONE, Paragraphs (8) SITING, by deleting Subparagraphs (a) in their entirety, and substituting with new Subparagraphs (a), as follows:
 - "(a) Where more than 1 STRUCTURE for RESIDENTIAL use is sited on a LOT or within a strata development, a minimum 9m separation is required when the DWELLING UNITS are located face-to-face, rear yard to year yard, or rear yard to side yard. A minimum 3m separation is required when the DWELLING UNITS are located side-by-side."
- 8.11 R5 (LOW RISE APARTMENT), by deleting Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), in their entirety, and substituting with new Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSTIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), as follows:

(2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(a) All uses	1000m²

(3) LOT DIMENSIONS (MINIMUM)

USE	USE MINIMUM LOT WIDTH	
(a) All uses	30m	30m

(7) SETBACKS (MINIMUM)

USE	FLL	RLL	<u>ISLL</u>	ESLL
(a) RESIDENTIAL USE	6m	6m	6m	6m
(b) URBAN ANCILLARY USES	6m	1m	1m	4.5m
(c) OFF-STREET PARKING STRUCTURE located entirely below GRADE	1m	0m	0m	1m
(d) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area meets flood construction level requirements*	3m	0m	0m	3m
(e) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area exceeds flood construction level requirements*	6m	0m	0m	6m
*as defined in the CITY "Floodplain Regulation Bylaw", as amended.				

(9) BUILDING HEIGHT (MAXIMUM)

USE	MAXIMUM BUILDING HEIGHT
(a) RESIDENTIAL USE	17.5m
(b) URBAN ANCILLARY USES	
(i) on a LOT less than 1000m ² in area	4m
(ii) on a LOT 1000m ² or greater in area	6m

Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsection 19. 8.11 R5 (LOW RISE APARTMENT) ZONE, Paragraph (5) LOT COVERAGE (MAXIMUM), Subparagraph (a), by adding the words ", including associated OFF-STREET PARKING STRUCTURE; and further, by deleting the figure "50%", and substituting with the figure "N/A".

20. Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsection 8.12 R6 (MID RISE APARTMENT) ZONE, by deleting Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), in their entirety, and substituting with new Paragraphs (2) LOT AREA (MINIMUM), (3) LOT DIMENSTIONS (MINIMUM), (7) SETBACKS (MINIMUM) and (9) BUILDING HEIGHT (MAXIMUM), as follows.

(2) LOT AREA (MINIMUM)

USE	MINIMUM LOT AREA
(b) All uses	1000m ²

(3) LOT DIMENSIONS (MINIMUM)

USE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH
(b) All uses	30m	30m

(7) SETBACKS (MINIMUM)

USE	<u>FLL</u>	<u>RLL</u>	<u>ISLL</u>	<u>ESLL</u>
(f) RESIDENTIAL USE	6m	6m	6m	6m
(g) URBAN ANCILLARY USES	6m	1m	1m	4.5m
(h) OFF-STREET PARKING STRUCTURE located entirely below GRADE	1m	0m	0m	1m
(i) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area meets flood construction level requirements*	3m	0m	0m	3m
(j) Above GRADE OFF-STREET PARKING STRUCTURE, where the underside of the lowest floor of habitable area exceeds flood construction level requirements*	6m	0m	0m	6m
*as defined in the CITY "Floodplain Regulation Bylaw", as amended.				

(9) BUILDING HEIGHT (MAXIMUM)

	USE	MAXIMUM BUILDING HEIGHT
(c) RESIDEN	TIAL USE	25m

21. Said Bylaw is hereby further amended in Section 8 RESIDENTIAL ZONES, Subsection 8.12 R6 (MID RISE APARTMENT) ZONE, Paragraph (5) LOT COVERAGE (MAXIMUM), by deleting Subparagraphs (a) and (b), and substituting with new Subparagraphs (a) and (b), as follows; and further, by deleting Subparagraph (c) in its entirety:

- "(a) RESIDENTIAL USE, including associated OFF-STREET PARKING N/A STRUCTURE
- (b) URBAN ANCILLARY USES

15%"

- 22. Said Bylaw is hereby further amended in Section 9 COMMERCIAL ZONES, Subsection 9.10 CS1 (SERVICE COMMERCIAL) ZONE, Paragraph (7) SETBACKS (MINUMUM), Subparagraph (e), by deleting the figure "10m" and substituting with the figure "3m".
- 23. Said Bylaw is hereby further amended in Section 9 COMMERCIAL ZONES, Subsection 9.11 CS2 (TOURIST COMMERCIAL) ZONE, Paragraph (7) SETBACKS (MINIMUM), Subparagraph (e), by deleting the figures "10m" and "4.5m" and substituting with the figure "3m".
- 24. Said Bylaw is hereby further amended in Section 9 COMMERCIAL ZONES, Subsection 9.12 CSM (SERVICE COMMERCIAL INDUSTRIAL) ZONE, Paragraph (7) SETBACKS (MINIMUM), Subparagraph (e), by deleting the figure "10m" and substituting with the figure "3m".

Received first and second reading on the 17th day of June, 2025. Public hearing held on the Received third reading on the Received adoption on the

Mayor	
Corporate Officer	